

CITY OF SANTA ANA

BUILDING PERMIT WORKSHEET

PLEASE PRINT

1/14/09: forms/Bldg.App.Worksheet

PROJECT ADDRESS: <u>1230 W 6th ST</u>		SUITE:	SAPIN # <u>10173778</u>	
USE OF BUILDING: <u>RESIDENTIAL</u> COMMERCIAL INDUSTRIAL OTHER			MASTER ID#	
NATURE OF WORK: NEW <u>ADD</u> ALTER/T.I. DEMO REROOF REPAIR SIGN MISC				
NEW/ADDITION/ALTERATION: <u>810 SF</u>				
1ST FL..	<u>810</u> SF	BASEMENT: YES/NO	_____ SF	NO. OF STORIES: _____
2ND FL..	_____ SF	PATIO/ENCL. PATIO:	<u>530</u> SF	BLDG. HEIGHT: _____
TOTAL OF OTHER FLS:	_____ SF	RES. REMODEL:	_____ SF	PROPOSED USE: _____
GARAGE/CARPORT:	_____ SF	ALTER/T.I.:	_____ SF	
JOB DESCRIPTION (non-residential projects see reverse side of this application): <u>735 SF SQUARE FT OF ROOM & BATHROOM ADDITION, REMODEL KITCHEN, FRONT PORCH & BACK PATIO COVER</u>				
BUILDING OWNER'S NAME: <u>Juan Ramos</u>			PHONE NO: <u>714 547-8935</u>	
ADDRESS: <u>1230 W 6th ST</u>		CITY: <u>Santa Ana</u>	STATE: <u>CA</u>	ZIP: <u>92703</u>
TENANT'S NAME (Comm/Ind):			PHONE NO:	
CONTRACTOR'S NAME:		STATE CONTR. #:	LICENSE CLASS:	PHONE NO:
ADDRESS:		CITY:	STATE:	ZIP:
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER:		STATE LICENSE #:	PHONE NO:	
ADDRESS: <u>1230 W 6th ST</u>		CITY: <u>Santa Ana</u>	STATE: <u>CA</u>	ZIP: <u>92703</u>
CONTACT NAME: <u>Jennifer Ramos</u>		PHONE NO: <u>721-6928</u>		
E-MAIL ADDRESS:		FAX NO:		

OFFICE USE ONLY:	ACC OR SPC (CIRCLE ONE) _____	HRS PER _____	BLDG. FEE \$ _____
OCC. GROUP: _____	RECEIPT # <u>55446</u>	P/C FEE PD \$ <u>725</u>	
TYPE OF CONSTR: _____	VALUATION: \$ <u>90,300</u>	SUBMITTAL DATE: <u>11/30/11</u>	
FIRE SPKR: YES / NO _____	A/C: YES / NO _____	FLOOD ZONE: _____	PROCESSED <u>[Signature]</u>
RES. DEV. FEE: YES / NO _____	PRIOR DWELLING UNIT: YES / NO _____	COMMENTS: _____	
PLANNING OK TO CHECK & DATE _____	BLDG. DEPT. APPROVAL & DATE _____		
PLNG CONDITIONS: _____			

PLEASE CHECK ALL THAT APPLY TO YOUR PROJECT

JOB DESCRIPTION CHECKLIST:

- | | |
|--|---|
| <input type="checkbox"/> Additional square footage | <input type="checkbox"/> Partition walls |
| <input type="checkbox"/> Awnings | <input type="checkbox"/> Rated corridors |
| <input type="checkbox"/> Canopy | <input type="checkbox"/> Rated shafts |
| <input type="checkbox"/> Ceiling work | <input type="checkbox"/> Roof mounted equipment |
| <input type="checkbox"/> Change of occupancy (use) | <input type="checkbox"/> Security bars |
| <input type="checkbox"/> Disabled accessible (H/C) restrooms | <input type="checkbox"/> Screening for equipment |
| <input type="checkbox"/> Dust collector | <input type="checkbox"/> Skylights |
| <input type="checkbox"/> Elevator shaft | <input type="checkbox"/> Stairs |
| <input type="checkbox"/> Exterior doors or windows | <input type="checkbox"/> Storefront/facade improvements |
| <input type="checkbox"/> Equipment pads | <input type="checkbox"/> Storage racks or shelving over 5'-9" |
| <input type="checkbox"/> Interior demo | <input type="checkbox"/> Walk-in coolers |
| <input type="checkbox"/> Kitchen equipment | |

ITEMS REQUIRING SEPARATE BUILDING PERMIT APPLICATIONS:

- Block wall
- Card readers
- Complete demo
- Fence
- Fire signaling system
- Fire sprinklers
- Flagpole
- Lawn sprinkler system
- Light Standards
- Parking lot repaving
- Parking lot restriping
- Pedestrian protection
- Pool/Spa
- Signs
- Spray booth
- Temporary power pole
- Trash enclosure

CITY OF SANTA ANA
PLAN CHECK - CHECKLIST

JOB ADDRESS: 1230 W 6th
TRACKING #: 10173778 DATE: 11-28-11

FOR PLANCHECK STATUS CALL (714) 647-5800

PLEASE INITIAL EACH ITEM BELOW

- FR 1. I agree to pay a plancheck fee established for this project with the understanding that this payment is not a guarantee that a permit will be issued and that this fee is not refundable once a plancheck has commenced.
- FR 2. I understand that I may request an "Accelerated Plancheck" at an additional cost to me. This plancheck will be performed by an in-house plan checker with the intention of reducing plancheck time for the Building & Safety Division.
- FR 3. I understand that the project valuation (from which plancheck and permit fees are calculated) will be reviewed during the plancheck process and that said valuation shall be adjusted up or down in accordance with established fee computation regulations.
- FR 4. I understand that I shall submit separate plans, applications and plancheck fees for the following when plan check is required:
- a. Electrical Plans - 2 complete sets
 - b. Plumbing Plans - 3 complete sets
 - c. Mechanical Plans - 2 complete sets
 - d. Grading Plans - 3 complete sets
- FR 5. I understand that I shall visit the Public Works Department to verify whether a field inspection of the property is required. I understand that prior to the issuance of the Building permit I am required to obtain Public Works Agency approval if my project valuation exceeds \$30,000 or has added plumbing fixtures, or added bedrooms, or exceeds 500 sq.ft.

AGREED TO BY APPLICANT OR AGENT

Applicant's Signature Francisca Ramos
Print Name Francisca Ramos Address 1230 W 6th ST
Telephone Number 714 721-6928 Fax _____

FOR OFFICE USE ONLY: "Checklist of items discussed" APPROVALS & FEES REQUIRED: Y/N

- | | | |
|---|--|---|
| 1 <input checked="" type="checkbox"/> Planning Department | 7 <input checked="" type="checkbox"/> Title 24 (Energy) | 14 <input checked="" type="checkbox"/> Const. Act. Req. |
| 2 <input checked="" type="checkbox"/> Public Works Agency | 8 <input type="checkbox"/> Title 24 (Disabled Access) | 15 <input checked="" type="checkbox"/> Res. Dev. Fees |
| 3 <input type="checkbox"/> Fire Department | 9 <input type="checkbox"/> Roof Mounted Equip. | 16 <input checked="" type="checkbox"/> SMIP |
| 4 <input type="checkbox"/> Police Department | 10 <input type="checkbox"/> List of Subcontr. | 17 <input checked="" type="checkbox"/> Microfilming |
| 5 <input checked="" type="checkbox"/> School District | 11 <input type="checkbox"/> Bldg. Pmt. Info. | 18 <input checked="" type="checkbox"/> Const. Debris Recyc. |
| 6 <input type="checkbox"/> Health Department | 12 <input checked="" type="checkbox"/> Summary of Appr. Req. | 19 <input checked="" type="checkbox"/> FCWP Surcharge |
| | 13 <input checked="" type="checkbox"/> FY Information | 20 <input checked="" type="checkbox"/> LOA/Owner-Builder Ver. |

PERMIT TECHNICIAN [Signature]

CITY OF SANTA ANA

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1/14/09 forms/Bldg App Worksheet

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USE OF BUILDING:	<u>RESIDENTIAL</u>	COMMERCIAL	INDUSTRIAL	OTHER
				MASTER ID#
NATURE OF WORK:	NEW	<u>ADD</u>	ALTER/T.I.	DEMO
		REROOF	REPAIR	SIGN
		MISC		
NEW/ADDITION/ALTERATION:				
1ST FL..	_____ SF	BASEMENT: YES/NO	_____ SF	NO. OF STORIES: _____
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TOTAL OF OTHER FLS:	_____ SF	RES. REMODEL:	_____ SF	PROPOSED USE: _____
GARAGE/CARPORT:	_____ SF	ALTER/T.I.:	_____ SF	
JOB DESCRIPTION (non-residential projects see reverse side of this application):				
<u>Patio Front, Side Patio</u> <u>Room Addition</u>				
BUILDING OWNER'S NAME:			PHONE NO:	
<u>Francisca Ramos</u>			<u>714) 721-6928</u>	
ADDRESS:	CITY:	STATE:	ZIP:	
<u>1230 W 6th St</u>	<u>S.A.</u>	<u>CA</u>		
TENANT'S NAME (Comm/Ind):			PHONE NO:	
CONTRACTOR'S NAME:		STATE CONTR. #:	LICENSE CLASS:	PHONE NO:
ADDRESS:		CITY:	STATE:	ZIP:
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER:		STATE LICENSE #:	PHONE NO:	
ADDRESS:		CITY:	STATE:	ZIP:
CONTACT NAME:			PHONE NO:	
E-MAIL ADDRESS:			FAX NO:	

OFFICE USE ONLY: ACC OR SPC (CIRCLE ONE) _____ HRS PER _____ BLDG. FEE \$ _____

OCC. GROUP: _____ RECEIPT #: _____ P/C FEE PD \$ _____

TYPE OF CONSTR: _____ VALUATION: \$ _____ SUBMITTAL DATE: _____

FIRE SPKR: YES / NO A/C: YES / NO FLOOD ZONE: _____ PROCESSED _____

RES. DEV. FEE: YES / NO PRIOR DWELLING UNIT: YES / NO COMMENTS: _____

PLANNING OK TO CHECK & DATE _____ BLDG. DEPT. APPROVAL & DATE _____

PLNG CONDITIONS: _____

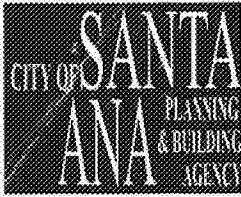
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 Building Safety Division
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

**RESIDENTIAL PLAN CHECK
 COMMENTS**

PLAN CHECK NO:	10173778		
PROJECT ADDRESS:	1230 W Sixth St		
PLAN CHECK ENGINEER:	George Moran	TEL: 714	667-2771
		FAX: 714	647-5897
TYPE OF CONSTRUCTION:	V B		
OCCUPANCY CLASSIFICATION(S):	R-3, U		
PLAN CHECK DATES:		REMARKS/RECHECK ITEMS:	
APPLICATION	11/30/2011	<i>810 SF addition</i>	
INITIAL REVIEW	12/8/2011		
EXPIRATION	5/28/2012		
RECHECKS:	1. <i>2-9-2012</i>	PROJECT APPLICANT CONTACT PERSON:	
	2. <i>2-8-12</i>	Jennifer Ramos	
	3. <i>2-8-12</i>	TEL:	(714)721-6928
VALUATION:	\$90,300.00	FAX:	
FLOOD ZONE:	X-0602320257J	EMAIL:	

Note: Numbers in parenthesis (unless otherwise noted) refer to code sections of the 2010 California Residential Code (CRC); 2010 California Building Code (CBC); CMC = 2010 California Mechanical Code; CPC = 2010 California Plumbing Code; CEC = 2010 California Electrical Code; T = Table; ICC = International Code Council.

1. All items noted on this plan check report must be addressed. If you feel that an item is not applicable to your project, note "N/A" and discuss the reason with the plan checker.
2. Please indicate the sheet number and detail to the right of each correction, or note the number on the plans where the correction is made. Resubmit marked original, calculations and this correction sheet. A separate sheet for response may be used.
3. Resubmit 3 corrected sets of plans.
4. Meetings between the project applicant/designer and the plan reviewer shall be by appointment only. Please call (714) 647-5812 for an appointment.

✓ 5. The drawings/information submitted for Building Safety Division review is incomplete. The applicant shall, prior to resubmitting, complete all construction documents to show compliance with the 2010 California Building Standards Code with local amendments and to clearly indicate the scope of work under this building permit application. There may be additional requirements when complete construction drawings and supporting data is submitted for Building Safety Division review. *AI*
Scope of Work

✓ 6. Please see corrections on submitted plans. Red marked set must be returned with revised plans. Plans resubmitted without the red markup set may result in delayed review time and additional plan check fees.

✓ 7. All drawings and supporting documents shall be prepared, stamped, and signed by a California licensed architect or registered professional engineer. (CRC R301.1.3, CBC 107.1 and 107.3.4.1). *N/A*

✓ 8. All persons preparing plans for others shall sign those plans. Business and Professions Code Chapter 3, Division 3, Section 5536.1 (a).

✓ 9. This review does not include mechanical, plumbing or electrical work. Separate plans, applications, fees, plan checks, and permits are required for mechanical, plumbing, and electrical work. Call 647-5800 for information.

10. The applicant shall obtain clearances/approvals for the following, prior to building permit issuance:

- Planning Division approval on the corrected/final set of drawings (647-5804). Previously approved plans should be submitted to expedite the process.
- Public Works Agency approval (647-5039).
- Proof of Worker's Compensation Insurance shall be required at the time of permit issuance.
- School District Compliance Certificate; and a copy of the building permit application, signed by the plan check engineer, shall be required by the School District to verify the scope of the work.

2-2-12
2-2-12

11. Provide a fully dimensioned Site Plan on the drawings and on a separate 8-1/2" x 11" sheet of paper.

12. Provide an Index of drawings on cover sheet. *AI*

2-2-12

13. Provide building information on plans: *AI Project Data*

- Occupancy type: R3 / U
- Construction type: Type V – B

2-2-12

14. Provide a statement on the title sheet of the plans that this project shall comply with following codes: *AI*

En. NOTE #3

- 2010 California Residential Code (CRC)
- 2010 California Building Code (CBC)
- 2010 California Electrical Code (CEC)
- 2010 California Mechanical Code (CMC)
- 2010 California Plumbing Code (CPC)
- 2010 California Green Building Standards Code (CGBS) or CALGreen

28. Sills and sleepers in direct contact with concrete or masonry that is in direct contact with the ground and girders with less than 1/2" clearance to masonry and concrete shall be pressure treated or naturally durable to decay. (CRC R317.1 (3&4))

S2 Foundation #5
Notes

29. Note on plans that "Field-cutting ends, notches and drilled holes of preservative-treated wood shall be treated in the field in accordance with AWP A M4". (CRC R317-1.1)

S2 Framing notes #1

30. Doubled joists are required under parallel bearing partitions. CRC R502.4

S1 Framing #9

31. For plywood roof and floor diaphragm specify thickness, grade, T&G edges, panel span rating, nailing schedule and required blocking and panel layout pattern.

S1 - Framing #3

32. Provide details for retrofit shear and tension anchor bolts on plans. Provide calculations as needed?

Pending Simpson ET is not approved for crack concrete.

S3
DTL 15
16, 17

33. Call out anchor bolt size and spacing on foundation plan. Provide 1/2" diameter embedded 7" minimum at 6' o.c. maximum spacing (4' o.c. for 2 stories). CRC R403.1.6

S2 Foundation Note 7

34. The end of wood girders entering exterior masonry or concrete walls shall be protected with a 1/2" air space or provide pressure treated lumber. CBC 2304.11.2.5.

S2 Framing Notes #2

35. Specify on the framing plans the shear wall material, thickness, size and spacing of fasteners and sole plate nailing. Call out anchor bolt spacing and hold down hardware on foundation plan.

S1

36. Revise plans to indicate how separate combustion air is provided for FAU located in attic. (CMC 701.3)

Roof Ventilation Calc.
And
Roof PLAN

Simpson SET



Planning & Building Agency
Building Safety Division
20 Civic Center Plaza
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Santa Ana, CA 92702
(714) 647-5800
www.santa-ana.org

**ENERGY CONSERVATION
PLAN CHECK CONSULTANT
QUALIFICATION STATEMENT**

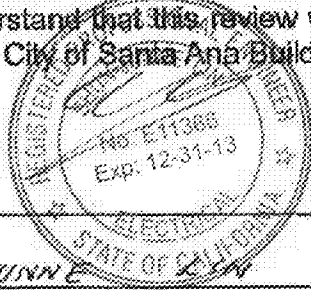
HO-30A: 11-08-06

Project Plan Check No: 1073778

Project Address: 1230 W. 6TH ST. Suite No.: _____

**THIS FORM IS TO BE COMPLETED BY A QUALIFIED ENERGY CONSULTANT
OTHER THAN THE ENERGY DESIGNER**

I have reviewed the calculations and drawings for the above project and find both to be in compliance with the Energy Efficiency Standards and Administrative Requirements of the California Code of Regulations, Title 24, Parts 1 and 6; with an effective date of October 1, 2008. I understand that this review was performed as representative for the enforcement agency, The City of Santa Ana Building Safety Division.



Signature: _____ Date: 10-25-2011

Print Name: SHUN JUNNE Title: P.E.

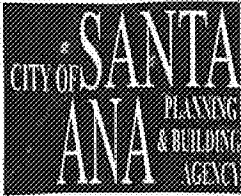
Company Name: STEVE LIN CO. Phone No.: 909-989-8312

Company Address: 10371 SPARKLING DR. RCH CUCAMONGA CA 91730

RECEIVED

NOV 30 2011

City of Santa Ana



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 Building Safety Division
 20 Civic Center Plaza
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 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

**RESIDENTIAL PLAN CHECK
 COMMENTS**

PLAN CHECK NO: 10173778

PROJECT ADDRESS: 1230 W Sixth St

PLAN CHECK ENGINEER: George Moran **TEL: 714** 667-2771
FAX: 714 647-5897

TYPE OF CONSTRUCTION: VB

OCCUPANCY CLASSIFICATION(S): R-3, U

PLAN CHECK DATES:

APPLICATION	11/30/2011	REMARKS/RECHECK ITEMS: <i>810 SF addition</i>
INITIAL REVIEW	12/8/2011	
EXPIRATION	5/28/2012	

RECHECKS:

1.	<i>2-9-2012</i>	PROJECT APPLICANT CONTACT PERSON: Jennifer Ramos TEL: (714)721-6928 FAX: EMAIL:
2.		
3.		

VALUATION: \$90,300.00

FLOOD ZONE: X-0602320257J

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2-2-12

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S2 Foundation #5
Notes

2-2-12

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S2 Framing notes #1

2-2-12

30. Doubled joists are required under parallel bearing partitions. CRC R502.4

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31. For plywood roof and floor diaphragm specify thickness, grade, T&G edges, panel span rating, nailing schedule and required blocking and panel layout pattern.

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S3

2-2-12

33. Call out anchor bolt size and spacing on foundation plan. Provide 1/2" diameter embedded 7" minimum at 6' o.c. maximum spacing (4' o.c. for 2 stories). CRC R403.1.6

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DTL 15
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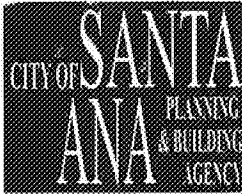
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PROJECT ADDRESS:	1230 W Sixth St		
PLAN CHECK ENGINEER:	George Moran	TEL: 714	667-2771
		FAX: 714	647-5897
TYPE OF CONSTRUCTION:	V B		
OCCUPANCY CLASSIFICATION(S):	R-3, U		
PLAN CHECK DATES:		REMARKS/RECHECK ITEMS:	
APPLICATION	11/30/2011		
INITIAL REVIEW	12/8/2011		
EXPIRATION	5/28/2012		
RECHECKS:	1.	PROJECT APPLICANT CONTACT PERSON:	
	2.	Jennifer Ramos	
	3.	TEL:	(714)721-6928
VALUATION:	\$90,300.00	FAX:	
FLOOD ZONE:	X-0602320257J	EMAIL:	

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8. All persons preparing plans for others shall sign those plans. Business and Professions Code Chapter 3, Division 3, Section 5536.1 (a).
9. This review does not include mechanical, plumbing or electrical work. Separate plans, applications, fees, plan checks, and permits are required for mechanical, plumbing, and electrical work. Call 647-5800 for information.
10. The applicant shall obtain clearances/approvals for the following, prior to building permit issuance:
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11. Provide a fully dimensioned Site Plan on the drawings and on a separate 8-1/2" x 11" sheet of paper.
12. Provide an Index of drawings on cover sheet.
13. Provide building information on plans:
 - Occupancy type: R3 / U
 - Construction type: Type V – B
14. Provide a statement on the title sheet of the plans that this project shall comply with following codes:
 - 2010 California Residential Code (CRC)
 - 2010 California Building Code (CBC)
 - 2010 California Electrical Code (CEC)
 - 2010 California Mechanical Code (CMC)
 - 2010 California Plumbing Code (CPC)
 - 2010 California Green Building Standards Code (CGBS) or CALGreen

- 2010 California Energy Code (CEnC)
- City of Santa Ana Municipal Code

15. Show location of heating equipment on the plans. (CRC R303.8)
16. Carbon monoxide alarms combined with smoke alarms shall comply with both sections R314 and section R315, all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke alarms.
17. Bathroom or service room minimum window areas shall not be less than 3 square feet and 50% openable or, provide a mechanical ventilation system exhausted to the outside capable of providing 50 cubic feet per minute for intermittent ventilation 25 cubic feet per minute for continuous ventilation. (CRC R303.3)
18. Bathrooms, laundry rooms, water closet compartments and similar rooms shall be mechanically ventilated in accordance with the CMC.
19. Specify that the maximum slope of any landing shall not exceed ¼ inch per foot. (CRC R311.3)
20. Call out minimum thickness of 3½ inch concrete slab on grade, reinforcement, and moisture barrier on foundation plan. (1910.1)
21. Add note on foundation plan: All hold downs must be tied in place prior to foundation inspection.
22. 3"x3"x.229" steel plate washers are required on all anchor bolts in a braced wall line. (CRC R403.1.6.1)
23. Revise footing detail _____ to show bottom rebar at least 3" CLEAR from ground below. (1907.5)
24. Show minimum 18-inch underfloor clearance from grade to bottom of floor joists and minimum 12-inch clearance to bottom of girders. (2304.11.2.1)
25. Specify that foundation sills shall be pressure-treated or foundation grade Redwood. (2304.11.2.2)
26. Note on the plans that foundation anchor bolts in walls shall have an approved plate washer under each nut; and the nuts shall be tightened just prior to covering the wall framing. Plate washers a minimum of 3 inch by 3 inch by 0.229 inch thick shall be used on each bolt. (AF&PA SDPWS 4.3.6.4.3)
27. The City has encountered a large number of inspection problems arising from a lack of specific framing details. The following listed items are required to be shown on the plans (CBC 107.1):
 - Permissible notching and boring of joists are to be shown on the plans and shall not exceed CBC Section 2308.10.4.2 allowances.
 - Notching of exterior and bearing/nonbearing walls shall not exceed 25%/40% respectively. Bored holes in bearing/nonbearing walls shall not exceed 40%/60% respectively. In no case shall the edge of the bored hole be nearer than 5/8 inch to the edge of the stud. (2308.9.10 and 2308.9.11)

28. Sills and sleepers in direct contact with concrete or masonry that is in direct contact with the ground and girders with less than 1/2" clearance to masonry and concrete shall be pressure treated or naturally durable to decay. (CRC R317.1 (3&4))
29. Note on plans that "Field-cutting ends, notches and drilled holes of preservative-treated wood shall be treated in the field in accordance with AWP A M4". (CRC R317-1.1)
30. Doubled joists are required under parallel bearing partitions. CRC R502.4
31. For plywood roof and floor diaphragm specify thickness, grade, T&G edges, panel span rating, nailing schedule and required blocking and panel layout pattern.
32. Provide details for retrofit shear and tension anchor bolts on plans. Provide calculations as needed
33. Call out anchor bolt size and spacing on foundation plan. Provide 1/2" diameter embedded 7" minimum at 6' o.c. maximum spacing (4' o.c. for 2 stories). CRC R403.1.6
34. The end of wood girders entering exterior masonry or concrete walls shall be protected with a 1/2" air space or provide pressure treated lumber. CBC 2304.11.2.5.
35. Specify on the framing plans the shear wall material, thickness, size and spacing of fasteners and sole plate nailing. Call out anchor bolt spacing and hold down hardware on foundation plan.
36. Revise plans to indicate how separate combustion air is provided for FAU located in attic. (CMC 701.3)

CERTIFICATE OF COMPLIANCE
PAYMENT OF SCHOOL FACILITY FEES
SANTA ANA UNIFIED SCHOOL DISTRICT

Applicant: Francisca Ramos

Address: 1230 W. 6th St.

Telephone Number: 714.547.8935

Tract/Parcel Number: Tract 474- AP# 008-081-07 Lot 30

Location of Project: 1230 W. 6th St.

Description of Project: Adding two bedrooms and
Family Room

Number of Square Feet of Residential Space 810 x \$ 2.97 Total \$ 2,405.70

Number of Square Feet of Commercial and Industrial Space _____ x \$ _____ Total \$ _____

The above representations as to square footage are true. Applicant agrees that if it is later determined that such representations are not true, then this certificate shall automatically terminate, and the appropriate City/County shall be notified. Applicant is hereby notified that any party filing a protest regarding the imposition of fees pursuant to Government Code Section 53080 must do so within 90 days from the payment of the fee.

Francisca Ramos 2/24/2012
Applicant Name (Please Print) Date

Francisca Ramos
Signature

This certifies that the above-named Applicant has paid school facility fees in compliance with all existing and applicable sections of the Government Code and Education Code.

[Signature] 2/24/12
Santa Ana Unified School District Authorized Representative Date

CITY OF SANTA ANA

BUILDING PERMIT WORKSHEET

PLEASE PRINT

1/14/09: forms/Bldg.App.Worksheet

PROJECT ADDRESS: <u>1230 W 6th ST</u>		SUITE:	SAPIN # <u>10173778</u>	
USE OF BUILDING: <u>RESIDENTIAL</u> COMMERCIAL INDUSTRIAL OTHER		MASTER ID#		
NATURE OF WORK: NEW <u>ADD</u> ALTER/T.I. DEMO REROOF REPAIR SIGN MISC				
NEW/ADDITION/ALTERATION: <u>810 SF</u>				
1ST FL. <u>MA</u> SF	BASEMENT: YES/NO	SF	NO. OF STORIES: _____	
2ND FL. _____ SF	PATIO/ENCL. PATIO: <u>530</u>	SF	BLDG. HEIGHT: _____	
TOTAL OF OTHER FLS: _____ SF	RES. REMODEL: _____	SF	PROPOSED USE: _____	
GARAGE/CARPORT: _____ SF	ALTER/T.I.: _____	SF		
JOB DESCRIPTION (non-residential projects see reverse side of this application): <u>735 OF SQUARE FT OF Room & Bathroom ADDITION, REMODEL KITCHEN, FRONT PORCH & BACK PATIO COVER</u>				
BUILDING OWNER'S NAME: <u>Juan Ramos</u>			PHONE NO: <u>714 547-8935</u>	
ADDRESS: <u>1230 W 6th ST</u>		CITY: <u>Santa Ana</u>	STATE: <u>CA</u>	ZIP: <u>92703</u>
TENANT'S NAME (Comm/Ind):			PHONE NO:	
CONTRACTOR'S NAME:		STATE CONTR. #:	LICENSE CLASS:	PHONE NO:
ADDRESS:		CITY:	STATE:	ZIP:
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER:		STATE LICENSE #:	PHONE NO:	
ADDRESS: <u>1230 W 6th ST</u>		CITY: <u>Santa Ana</u>	STATE: <u>CA</u>	ZIP: <u>9270</u>
CONTACT NAME: <u>Jennifer Ramos</u>		PHONE NO: <u>714-692-8</u>		
E-MAIL ADDRESS:		FAX NO:		

OFFICE USE ONLY:	ACC OR SPC (CIRCLE ONE) _____	HRS PER _____	BLDG. FEE \$ _____
OCC. GROUP: _____	RECEIPT # <u>58446</u>	P/C FEE PD \$ <u>725</u>	
TYPE OF CONSTR: _____	VALUATION: \$ <u>90,300</u>	SUBMITTAL DATE: <u>11/30/11</u>	
FIRE SPKR: YES / NO	A/C: YES / NO	FLOOD ZONE: _____	PROCESSED <u>SIB</u>
RES. DEV. FEE: YES / NO	PRIOR DWELLING UNIT: YES / NO	COMMENTS: _____	
PLANNING OK TO CHECK & DATE _____	BLDG. DEPT. APPROVAL & DATE _____		
PLNG CONDITIONS: _____			

PLEASE CHECK ALL THAT APPLY TO YOUR PROJECT

JOB DESCRIPTION CHECKLIST:

- | | |
|--|---|
| <input type="checkbox"/> Additional square footage | <input type="checkbox"/> Partition walls |
| <input type="checkbox"/> Awnings | <input type="checkbox"/> Rated corridors |
| <input type="checkbox"/> Canopy | <input type="checkbox"/> Rated shafts |
| <input type="checkbox"/> Ceiling work | <input type="checkbox"/> Roof mounted equipment |
| <input type="checkbox"/> Change of occupancy (use) | <input type="checkbox"/> Security bars |
| <input type="checkbox"/> Disabled accessible (H/C) restrooms | <input type="checkbox"/> Screening for equipment |
| <input type="checkbox"/> Dust collector | <input type="checkbox"/> Skylights |
| <input type="checkbox"/> Elevator shaft | <input type="checkbox"/> Stairs |
| <input type="checkbox"/> Exterior doors or windows | <input type="checkbox"/> Storefront/facade improvements |
| <input type="checkbox"/> Equipment pads | <input type="checkbox"/> Storage racks or shelving over 5'-9" |
| <input type="checkbox"/> Interior demo | <input type="checkbox"/> Walk-in coolers |
| <input type="checkbox"/> Kitchen equipment | |

ITEMS REQUIRING SEPARATE BUILDING PERMIT APPLICATIONS:

- Block wall
- Card readers
- Complete demo
- Fence
- Fire signaling system
- Fire sprinklers
- Flagpole
- Lawn sprinkler system
- Light Standards
- Parking lot repaving
- Parking lot restriping
- Pedestrian protection
- Pool/Spa
- Signs
- Spray booth
- Temporary power pole
- Trash enclosure

CITY OF SANTA ANA
PLAN CHECK - CHECKLIST

JOB ADDRESS: 1230 W 6th
TRACKING #: 10173778 DATE: 11-28-11

FOR PLANCHECK STATUS CALL (714) 647-5800

PLEASE INITIAL EACH ITEM BELOW

- FR 1. I agree to pay a plancheck fee established for this project with the understanding that this payment is not a guarantee that a permit will be issued and that this fee is not refundable once a plancheck has commenced.
- FR 2. I understand that I may request an "Accelerated Plancheck" at an additional cost to me. This plancheck will be performed by an in-house plan checker with the intention of reducing plancheck time for the Building & Safety Division.
- FR 3. I understand that the project valuation (from which plancheck and permit fees are calculated) will be reviewed during the plancheck process and that said valuation shall be adjusted up or down in accordance with established fee computation regulations.
- FR 4. I understand that I shall submit separate plans, applications and plancheck fees for the following when plan check is required:
- a. Electrical Plans - 2 complete sets
 - b. Plumbing Plans - 3 complete sets
 - c. Mechanical Plans - 2 complete sets
 - d. Grading Plans - 3 complete sets
- FR 5. I understand that I shall visit the Public Works Department to verify whether a field inspection of the property is required. I understand that prior to the issuance of the Building permit I am required to obtain Public Works Agency approval if my project valuation exceeds \$30,000 or has added plumbing fixtures, or added bedrooms, or exceeds 500 sq.ft.

AGREED TO BY APPLICANT OR AGENT

Applicant's Signature Francisca Ramos
Print Name Francisca Ramos Address 1230 W 6th ST
Telephone Number 714 721-6928 Fax _____

FOR OFFICE USE ONLY: "Checklist of items discussed" APPROVALS & FEES REQUIRED: Y/N

- | | | |
|--|---|--|
| 1. <input checked="" type="checkbox"/> Planning Department | 7. <input checked="" type="checkbox"/> Title 24 (Energy) | 14. <input checked="" type="checkbox"/> Const. Act. Req. |
| 2. <input checked="" type="checkbox"/> Public Works Agency | 8. <input type="checkbox"/> Title 24 (Disabled Access) | 15. <input checked="" type="checkbox"/> Res. Dev. Fees |
| 3. <input type="checkbox"/> Fire Department | 9. <input type="checkbox"/> Roof Mounted Equip. | 16. <input checked="" type="checkbox"/> SMIP |
| 4. <input type="checkbox"/> Police Department | 10. <input type="checkbox"/> List of Subcontr. | 17. <input checked="" type="checkbox"/> Microfilming |
| 5. <input checked="" type="checkbox"/> School District | 11. <input type="checkbox"/> Bldg. Pmt. Info. | 18. <input checked="" type="checkbox"/> Const. Debris Recyc. |
| 6. <input type="checkbox"/> Health Department | 12. <input checked="" type="checkbox"/> Summary of Appr. Req. | 19. <input checked="" type="checkbox"/> FCWP Surcharge |
| | 13. <input checked="" type="checkbox"/> FY Information | 20. <input checked="" type="checkbox"/> LOA/Owner-Builder Ver. |

PERMIT TECHNICIAN [Signature]

CITY OF SANTA ANA

BUILDING PERMIT WORKSHEET

PLEASE PRINT

1/14/09: forms/Bldg.App.Worksheet

PROJECT ADDRESS:		SUITE:	SAPIN #	
USE OF BUILDING:	<u>RESIDENTIAL</u>	COMMERCIAL	INDUSTRIAL	OTHER
				MASTER ID#
NATURE OF WORK:	NEW	<u>ADD</u>	ALTER/T.I.	DEMO
		REROOF	REPAIR	SIGN
MISC				
NEW/ADDITION/ALTERATION:				
1ST FL..	_____ SF	BASEMENT: YES/NO	_____ SF	NO. OF STORIES: _____
2ND FL..	_____ SF	PATIO/ENCL. PATIO:	_____ SF	BLDG. HEIGHT: _____
TOTAL OF OTHER FLS:	_____ SF	RES. REMODEL:	_____ SF	PROPOSED USE: _____
GARAGE/CARPORT:	_____ SF	ALTER/T.I.:	_____ SF	
JOB DESCRIPTION (non-residential projects see reverse side of this application):				
<u>PATIO FRONT, SIDE PATIO</u> <u>Room Addition</u>				
BUILDING OWNER'S NAME:			PHONE NO:	
<u>Francisca Ramos</u>			<u>714) 721-6928</u>	
ADDRESS:		CITY:	STATE:	ZIP:
<u>1230 W 6th St.</u>		<u>S.A.</u>	<u>CA</u>	
TENANT'S NAME (Comm/Ind):			PHONE NO:	
CONTRACTOR'S NAME:		STATE CONTR. #:	LICENSE CLASS:	PHONE NO:
ADDRESS:		CITY:	STATE:	ZIP:
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER:		STATE LICENSE #:	PHONE NO:	
ADDRESS:		CITY:	STATE:	ZIP:
CONTACT NAME:			PHONE NO:	
E-MAIL ADDRESS:			FAX NO:	

OFFICE USE ONLY: ACC OR SPC (CIRCLE ONE) _____ HRS PER _____ BLDG. FEE \$ _____

OCC. GROUP: _____ RECEIPT #: _____ P/C FEE PD \$ _____

TYPE OF CONSTR: _____ VALUATION: \$ _____ SUBMITTAL DATE: _____

FIRE SPKR: YES / NO A/C: YES / NO FLOOD ZONE: _____ PROCESSED _____

RES. DEV. FEE: YES / NO PRIOR DWELLING UNIT: YES / NO COMMENTS: _____

PLANNING OK TO CHECK & DATE _____ BLDG. DEPT. APPROVAL & DATE _____

PLNG CONDITIONS: _____

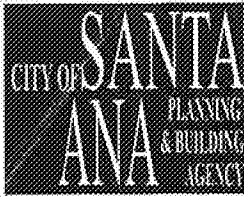
PLEASE CHECK ALL THAT APPLY TO YOUR PROJECT

JOB DESCRIPTION CHECKLIST:

- | | |
|--|---|
| <input type="checkbox"/> Additional square footage | <input type="checkbox"/> Partition walls |
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| <input type="checkbox"/> Elevator shaft | <input type="checkbox"/> Stairs |
| <input type="checkbox"/> Exterior doors or windows | <input type="checkbox"/> Storefront/facade improvements |
| <input type="checkbox"/> Equipment pads | <input type="checkbox"/> Storage racks or shelving over 5'-9" |
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- Block wall
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- Fire signaling system
- Fire sprinklers
- Flagpole
- Lawn sprinkler system
- Light Standards
- Parking lot repaving
- Parking lot restriping
- Pedestrian protection
- Pool/Spa
- Signs
- Spray booth
- Temporary power pole
- Trash enclosure



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 Building Safety Division
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

**RESIDENTIAL PLAN CHECK
 COMMENTS**

PLAN CHECK NO: 10173778

PROJECT ADDRESS: 1230 W Sixth St

PLAN CHECK ENGINEER: George Moran **TEL: 714** 667-2771

FAX: 714 647-5897

TYPE OF CONSTRUCTION: V B

OCCUPANCY CLASSIFICATION(S): R-3, U

PLAN CHECK DATES:

APPLICATION	11/30/2011	REMARKS/RECHECK ITEMS: <i>810 SF addition</i>
INITIAL REVIEW	12/8/2011	
EXPIRATION	5/28/2012	

RECHECKS:

1.	<i>2-9-2012</i>	PROJECT APPLICANT CONTACT PERSON: Jennifer Ramos
2.	<i>2-8-12</i>	
3.		

VALUATION: \$90,300.00

FLOOD ZONE: X-0602320257J

TEL: (714)721-6928

FAX:

EMAIL:

Note: Numbers in parenthesis (unless otherwise noted) refer to code sections of the 2010 California Residential Code (CRC); 2010 California Building Code (CBC); CMC = 2010 California Mechanical Code; CPC = 2010 California Plumbing Code; CEC = 2010 California Electrical Code; T = Table; ICC = International Code Council.

1. All items noted on this plan check report must be addressed. If you feel that an item is not applicable to your project, note "N/A" and discuss the reason with the plan checker.
2. Please indicate the sheet number and detail to the right of each correction, or note the number on the plans where the correction is made. Resubmit marked original, calculations and this correction sheet. A separate sheet for response may be used.
3. Resubmit 3 corrected sets of plans.
4. Meetings between the project applicant/designer and the plan reviewer shall be by appointment only. Please call (714) 647-5812 for an appointment.

✓ 5. The drawings/information submitted for Building Safety Division review is incomplete. The applicant shall, prior to resubmitting, complete all construction documents to show compliance with the 2010 California Building Standards Code with local amendments and to clearly indicate the scope of work under this building permit application. There may be additional requirements when complete construction drawings and supporting data is submitted for Building Safety Division review. *AI*
Scope of work

✓ 6. Please see corrections on submitted plans. Red marked set must be returned with revised plans. Plans resubmitted without the red markup set may result in delayed review time and additional plan check fees.

✓ 7. All drawings and supporting documents shall be prepared, stamped, and signed by a California licensed architect or registered professional engineer. (CRC R301.1.3, CBC 107.1 and 107.3.4.1). *N/A*

✓ 8. All persons preparing plans for others shall sign those plans. Business and Professions Code Chapter 3, Division 3, Section 5536.1 (a).

✓ 9. This review does not include mechanical, plumbing or electrical work. Separate plans, applications, fees, plan checks, and permits are required for mechanical, plumbing, and electrical work. Call 647-5800 for information.

10. The applicant shall obtain clearances/approvals for the following, prior to building permit issuance:

- Planning Division approval on the corrected/final set of drawings (647-5804). Previously approved plans should be submitted to expedite the process.
- Public Works Agency approval (647-5039).
- Proof of Worker's Compensation Insurance shall be required at the time of permit issuance.
- School District Compliance Certificate; and a copy of the building permit application, signed by the plan check engineer, shall be required by the School District to verify the scope of the work.

11. Provide a fully dimensioned Site Plan on the drawings and on a separate 8-1/2" x 11" sheet of paper.

12. Provide an Index of drawings on cover sheet. *AI*

✓ 13. Provide building information on plans: *AI Project Data*

- Occupancy type: R3 / U
- Construction type: Type V – B

✓ 14. Provide a statement on the title sheet of the plans that this project shall comply with following codes: *AI*

- 2010 California Residential Code (CRC)
- 2010 California Building Code (CBC)
- 2010 California Electrical Code (CEC)
- 2010 California Mechanical Code (CMC)
- 2010 California Plumbing Code (CPC)
- 2010 California Green Building Standards Code (CGBS) or CALGreen

Gr. NOTE #3

28. Sills and sleepers in direct contact with concrete or masonry that is in direct contact with the ground and girders with less than 1/2" clearance to masonry and concrete shall be pressure treated or naturally durable to decay. (CRC R317.1 (3&4))

S2 Foundation #5
Notes

29. Note on plans that "Field-cutting ends, notches and drilled holes of preservative-treated wood shall be treated in the field in accordance with AWPA M4". (CRC R317-1.1)

S2 Framing notes #1

30. Doubled joists are required under parallel bearing partitions. CRC R502.4

S1 Framing #9

31. For plywood roof and floor diaphragm specify thickness, grade, T&G edges, panel span rating, nailing schedule and required blocking and panel layout pattern.

S1 - Framing #3

32. Provide details for retrofit shear and tension anchor bolts on plans. Provide calculations as needed?

Pending Simpson ET is not approved for crack concrete.

S3
PTL 15
16, 17

33. Call out anchor bolt size and spacing on foundation plan. Provide 1/2" diameter embedded 7" minimum at 6' o.c. maximum spacing (4' o.c. for 2 stories). CRC R403.1.6

S2 Foundation Note 7

34. The end of wood girders entering exterior masonry or concrete walls shall be protected with a 1/2" air space or provide pressure treated lumber. CBC 2304.11.2.5.

S2 Framing Notes #2

35. Specify on the framing plans the shear wall material, thickness, size and spacing of fasteners and sole plate nailing. Call out anchor bolt spacing and hold down hardware on foundation plan.

S1

36. Revise plans to indicate how separate combustion air is provided for FAU located in attic. (CMC 701.3)

Roof Ventilation Calc.
and
Roof PLAN

Simpson SET



Planning & Building Agency
Building Safety Division
20 Civic Center Plaza
P.O. Box 1988 (M-19)
Santa Ana, CA 92702
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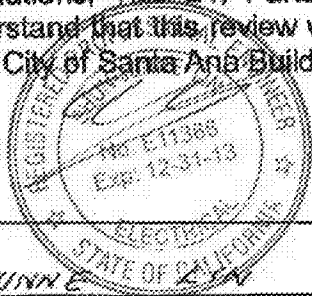
**ENERGY CONSERVATION
PLAN CHECK CONSULTANT
QUALIFICATION STATEMENT**

HO-39A: 11-08-08

Project Plan Check No: 1073778
Project Address: 1230 W. 6TH ST. Suite No.: _____

**THIS FORM IS TO BE COMPLETED BY A QUALIFIED ENERGY CONSULTANT
OTHER THAN THE ENERGY DESIGNER**

I have reviewed the calculations and drawings for the above project and find both to be in compliance with the Energy Efficiency Standards and Administrative Requirements of the California Code of Regulations, Title 24, Parts 1 and 6; with an effective date of October 1, 2009. I understand that this review was performed as representative for the enforcement agency, The City of Santa Ana Building Safety Division.



Signature: _____ Date: 10-25-2011
Print Name: SHUN JUNNE LIN Title: P.E.
Company Name: STEVE LIN CO. Phone No.: 909-989-8312
Company Address: 10371 SPARKLING DR. RCH CUCAMONGA CA 91730

RECEIVED

NOV 30 2011

City of Santa Ana



Planning & Building Agency
 Building Safety Division
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

**RESIDENTIAL PLAN CHECK
 COMMENTS**

PLAN CHECK NO: 10173778

PROJECT ADDRESS: 1230 W Sixth St

PLAN CHECK ENGINEER: George Moran **TEL: 714** 667-2771

FAX: 714 647-5897

TYPE OF CONSTRUCTION: VB

OCCUPANCY CLASSIFICATION(S): R-3, U

PLAN CHECK DATES:

APPLICATION 11/30/2011

INITIAL REVIEW 12/8/2011

EXPIRATION 5/28/2012

RECHECKS: 1. 2-9-2012

2.

3.

REMARKS/RECHECK ITEMS: 810 SF addition

PROJECT APPLICANT CONTACT PERSON: Jennifer Ramos

TEL: (714)721-6928

FAX:

EMAIL:

VALUATION: \$90,300.00

FLOOD ZONE: X-0602320257J

Note: Numbers in parenthesis (unless otherwise noted) refer to code sections of the 2010 California Residential Code (CRC); 2010 California Building Code (CBC); CMC = 2010 California Mechanical Code; CPC = 2010 California Plumbing Code; CEC = 2010 California Electrical Code; T = Table; ICC = International Code Council.

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2-2-12

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S2 Foundation #5
Notes

2-7-12

29. Note on plans that "Field-cutting ends, notches and drilled holes of preservative-treated wood shall be treated in the field in accordance with AWPA M4". (CRC R317-1.1)

S2 Framing notes #1

2-7-12

30. Doubled joists are required under parallel bearing partitions. CRC R502.4

S1 Framing #9

2-7-12

31. For plywood roof and floor diaphragm specify thickness, grade, T&G edges, panel span rating, nailing schedule and required blocking and panel layout pattern.

S1 - Framing #3

32. Pending Simpson ET is not approved for crack concrete. Provide details for retrofit shear and tension anchor bolts on plans. Provide calculations as needed?

S3
DTL 15
16,17

2-7-12

33. Call out anchor bolt size and spacing on foundation plan. Provide 1/2" diameter embedded 7" minimum at 6' o.c. maximum spacing (4' o.c. for 2 stories). CRC R403.1.6

S2 Foundation Note 7

2-2-12

34. The end of wood girders entering exterior masonry or concrete walls shall be protected with a 1/2" air space or provide pressure treated lumber. CBC 2304.11.2.5.

S2 Framing Notes #2

2-2-12

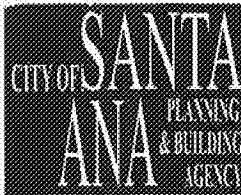
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S1

2-2-12

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Roof Ventilation Calc.
And
ROOF PLAN



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**RESIDENTIAL PLAN CHECK
 COMMENTS**

PLAN CHECK NO:	10173778		
PROJECT ADDRESS:	1230 W Sixth St		
PLAN CHECK ENGINEER:	George Moran	TEL: 714	667-2771
		FAX: 714	647-5897
TYPE OF CONSTRUCTION:	V B		
OCCUPANCY CLASSIFICATION(S):	R-3, U		
PLAN CHECK DATES:		REMARKS/RECHECK ITEMS:	
APPLICATION	11/30/2011		
INITIAL REVIEW	12/8/2011		
EXPIRATION	5/28/2012		
RECHECKS:	1.	PROJECT APPLICANT CONTACT PERSON:	
	2.	Jennifer Ramos	
	3.	TEL:	(714)721-6928
VALUATION:	\$90,300.00	FAX:	
FLOOD ZONE:	X-0602320257J	EMAIL:	

Note: Numbers in parenthesis (unless otherwise noted) refer to code sections of the 2010 California Residential Code (CRC); 2010 California Building Code (CBC); CMC = 2010 California Mechanical Code; CPC = 2010 California Plumbing Code; CEC = 2010 California Electrical Code; T = Table; ICC = International Code Council.

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3. Resubmit 3 corrected sets of plans.
4. Meetings between the project applicant/designer and the plan reviewer shall be by appointment only. Please call (714) 647-5812 for an appointment.

5. The drawings/information submitted for Building Safety Division review is incomplete. The applicant shall, prior to resubmitting, complete all construction documents to show compliance with the 2010 California Building Standards Code with local amendments and to clearly indicate the scope of work under this building permit application. There may be additional requirements when complete construction drawings and supporting data is submitted for Building Safety Division review.
6. Please see corrections on submitted plans. Red marked set must be returned with revised plans. Plans resubmitted without the red markup set may result in delayed review time and additional plan check fees.
7. All drawings and supporting documents shall be prepared, stamped, and signed by a California licensed architect or registered professional engineer. (CRC R301.1.3, CBC 107.1 and 107.3.4.1).
8. All persons preparing plans for others shall sign those plans. Business and Professions Code Chapter 3, Division 3, Section 5536.1 (a).
9. This review does not include mechanical, plumbing or electrical work. Separate plans, applications, fees, plan checks, and permits are required for mechanical, plumbing, and electrical work. Call 647-5800 for information.
10. The applicant shall obtain clearances/approvals for the following, prior to building permit issuance:
 - Planning Division approval on the corrected/final set of drawings (647-5804). Previously approved plans should be submitted to expedite the process.
 - Public Works Agency approval (647-5039).
 - Proof of Worker's Compensation Insurance shall be required at the time of permit issuance.
 - School District Compliance Certificate; and a copy of the building permit application, signed by the plan check engineer, shall be required by the School District to verify the scope of the work.
11. Provide a fully dimensioned Site Plan on the drawings and on a separate 8-1/2" x 11" sheet of paper.
12. Provide an Index of drawings on cover sheet.
13. Provide building information on plans:
 - Occupancy type: R3 / U
 - Construction type: Type V – B
14. Provide a statement on the title sheet of the plans that this project shall comply with following codes:
 - 2010 California Residential Code (CRC)
 - 2010 California Building Code (CBC)
 - 2010 California Electrical Code (CEC)
 - 2010 California Mechanical Code (CMC)
 - 2010 California Plumbing Code (CPC)
 - 2010 California Green Building Standards Code (CGBS) or CALGreen

- 2010 California Energy Code (CEnc)
- City of Santa Ana Municipal Code

15. Show location of heating equipment on the plans. (CRC R303.8)
16. Carbon monoxide alarms combined with smoke alarms shall comply with both sections R314 and section R315, all applicable standards, and requirements for listing and approval by the Office of the State Fire Marshal, for smoke alarms.
17. Bathroom or service room minimum window areas shall not be less than 3 square feet and 50% openable or, provide a mechanical ventilation system exhausted to the outside capable of providing 50 cubic feet per minute for intermittent ventilation 25 cubic feet per minute for continuous ventilation. (CRC R303.3)
18. Bathrooms, laundry rooms, water closet compartments and similar rooms shall be mechanically ventilated in accordance with the CMC.
19. Specify that the maximum slope of any landing shall not exceed ¼ inch per foot. (CRC R311.3)
20. Call out minimum thickness of 3½ inch concrete slab on grade, reinforcement, and moisture barrier on foundation plan. (1910.1)
21. Add note on foundation plan: All hold downs must be tied in place prior to foundation inspection.
22. 3"x3"x.229" steel plate washers are required on all anchor bolts in a braced wall line. (CRC R403.1.6.1)
23. Revise footing detail _____ to show bottom rebar at least 3" CLEAR from ground below. (1907.5)
24. Show minimum 18-inch underfloor clearance from grade to bottom of floor joists and minimum 12-inch clearance to bottom of girders. (2304.11.2.1)
25. Specify that foundation sills shall be pressure-treated or foundation grade Redwood. (2304.11.2.2)
26. Note on the plans that foundation anchor bolts in walls shall have an approved plate washer under each nut; and the nuts shall be tightened just prior to covering the wall framing. Plate washers a minimum of 3 inch by 3 inch by 0.229 inch thick shall be used on each bolt. (AF&PA SDPWS 4.3.6.4.3)
27. The City has encountered a large number of inspection problems arising from a lack of specific framing details. The following listed items are required to be shown on the plans (CBC 107.1):
 - Permissible notching and boring of joists are to be shown on the plans and shall not exceed CBC Section 2308.10.4.2 allowances.
 - Notching of exterior and bearing/nonbearing walls shall not exceed 25%/40% respectively. Bored holes in bearing/nonbearing walls shall not exceed 40%/60% respectively. In no case shall the edge of the bored hole be nearer than 5/8 inch to the edge of the stud. (2308.9.10 and 2308.9.11)

28. Sills and sleepers in direct contact with concrete or masonry that is in direct contact with the ground and girders with less than 1/2" clearance to masonry and concrete shall be pressure treated or naturally durable to decay. (CRC R317.1 (3&4))
29. Note on plans that "Field-cutting ends, notches and drilled holes of preservative-treated wood shall be treated in the field in accordance with AWP A M4". (CRC R317-1.1)
30. Doubled joists are required under parallel bearing partitions. CRC R502.4
31. For plywood roof and floor diaphragm specify thickness, grade, T&G edges, panel span rating, nailing schedule and required blocking and panel layout pattern.
32. Provide details for retrofit shear and tension anchor bolts on plans. Provide calculations as needed
33. Call out anchor bolt size and spacing on foundation plan. Provide 1/2" diameter embedded 7" minimum at 6' o.c. maximum spacing (4' o.c. for 2 stories). CRC R403.1.6
34. The end of wood girders entering exterior masonry or concrete walls shall be protected with a 1/2" air space or provide pressure treated lumber. CBC 2304.11.2.5.
35. Specify on the framing plans the shear wall material, thickness, size and spacing of fasteners and sole plate nailing. Call out anchor bolt spacing and hold down hardware on foundation plan.
36. Revise plans to indicate how separate combustion air is provided for FAU located in attic. (CMC 701.3)

CERTIFICATE OF COMPLIANCE
PAYMENT OF SCHOOL FACILITY FEES
SANTA ANA UNIFIED SCHOOL DISTRICT

Applicant: Francisca Ramos

Address: 1230 W. 6th St.

Telephone Number: 714.547.8935

Tract/Parcel Number: Tract 474-AP# 008-081-07 Lot 30

Location of Project: 1230 W. 6th St.

Description of Project: Adding two bedrooms and
Family Room

Number of Square Feet of Residential Space 810 x \$ 2.97 Total \$ 2,405.70

Number of Square Feet of Commercial and Industrial Space _____ x \$ _____ Total \$ _____

The above representations as to square footage are true. Applicant agrees that if it is later determined that such representations are not true, then this certificate shall automatically terminate, and the appropriate City/County shall be notified. Applicant is hereby noticed that any party filing a protest regarding the imposition of fees pursuant to Government Code Section 53080 must do so within 90 days from the payment of the fee.

Francisca Ramos 2/24/2012
Applicant Name (Please Print) Date

Francis Ramos
Signature

This certifies that the above-named Applicant has paid school facility fees in compliance with all existing and applicable sections of the Government Code and Education Code.

[Signature] 2/24/12
Santa Ana Unified School District Authorized Representative Date

RAMOS RESIDENCE

INDEX:

1. A-1 of 4 Plot Plan
2. A-2 of 4 Floor Plans
3. A-3 of 4 Elevations
4. A-4 of 4 Sections
5. S-1 of 3 Structural Notes
6. S-2 of 3 Framing & Foundation Plan
7. S-3 of 3 Structural Details

GENERAL NOTES:

1. All construction to be Type V-B.
2. Work performed shall comply with these General Notes unless otherwise noted on the plan.
3. All work shall be done in accordance with the 2010 California Residential Code (CRC), 2010 California Building Code (CBC), 2010 California Plumbing Code (CPC), 2010 California Mechanical Code (CMC), 2010 California Electric Code (CEC), 2010 California Green Building Standards Code (CGS) or CALGreen, 2010 California Energy Code (CEC), and City of Santa Ana Municipal Code.
4. All work to comply with all applicable local and state codes, ordinances and regulations.
5. It shall be the responsibility of the contractor to locate all existing Utilities, and to protect them from damage, the contractor shall bear all expense of repair or replacement in conjunction with the execution of this work.
6. The property owner shall be notified immediately by the contractor, should any discrepancies or other questions arise pertaining to the working drawings during construction or bidding.
7. Permit application for which no permit is issued within 180 days following the date of application shall expire by limitation. (Sec 107.4 UBC)
8. All setbacks and easements are shown correctly on this Site Plan.
9. Contractors shall verify all setbacks prior to construction. If there is a discrepancy with the setbacks, it is the responsibility of the contractor to notify the property owner and designer prior to construction.
10. The Contractor is to grade any areas where the addition alters the drainage. Provide slope away from structures and drain to street or approved storm drain.

PLUMBING/MECHANICAL NOTES:

1. The builder shall provide the original occupant a list of the heating, cooling, water, and lighting system and conservation of solar devices installed in the building and instructions on how to use them efficiently. Forms CF-1R, MF-1R, CF-GR & IC-1 from the California Guide to Home Comfort and Energy Savings.
2. Provide a 3/4" cold water supply to all new bathrooms.
3. Maximum flow rate standards set by the California Energy Commission. Water Closets: 1.6 GPF, Showerheads: 2.5 GPM, Laundry & Sink Faucets: 2.2 GPM.
4. Automatic setback thermostats are required for central furnaces and heat pumps.
5. Provide access panels (12x12) for tub traps slip-joints or use non-slip (welded) joint.
6. Field verify sewer and water lines due to additional plumbing and heating fixtures.
7. Provide 4" aluminum vent directly to outside for dryer.
8. Provide back splash at new sinks. (typ)
9. Tubs to be 70" non-absorbent material. Moisture resistant in bath walls.
10. All Water heaters shall be provided w/ seismic straps (U.P.C. 5105) strapped at top and bottom w/ 1/2" x 1/6 ga. strap with 3/8" x 3" long lag bolt each end.
11. Provide devices to absorb high pressures resulting from the quick closing of the quick-acting valves from the washer and dishwashers, etc. (609.10 CPC)
12. Provide Hose-Bib with Non-Removable Back-Flow prevention.

ELECTRICAL NOTES:

1. No sub-panels shall be located in closets or bathrooms, NEC 240-2.4.
2. Recessed lights (Non-IC rated) must be maintained at 3" clearance from insulation and 1/2" clearance from combustibles.
3. Bathroom/Laundry receptacles shall be served by dedicated 20amp circuits, NEC Section 210-11c (3)
4. All branch circuits that supply 125 volt, single phase, 15 & 20 ampere receptacle outlets installed in bedrooms shall be protected by an arc-fault circuit interrupter(s)
5. Provide a minimum of 100 ampere electrical service panel with 1/2" dia. x 20' long rebar for backup ufer ground bonded to cold water pipe. Contact Utility Co. for meter location and underground service if required.
6. Provide smoke detectors 110v hard wired w/ battery back up and interconnected for alarming purposes up, in all new bedrooms and hallways leading to new bedrooms. Existing Bedrooms to have minimum battery only smoke detectors.

CODE INFORMATION:

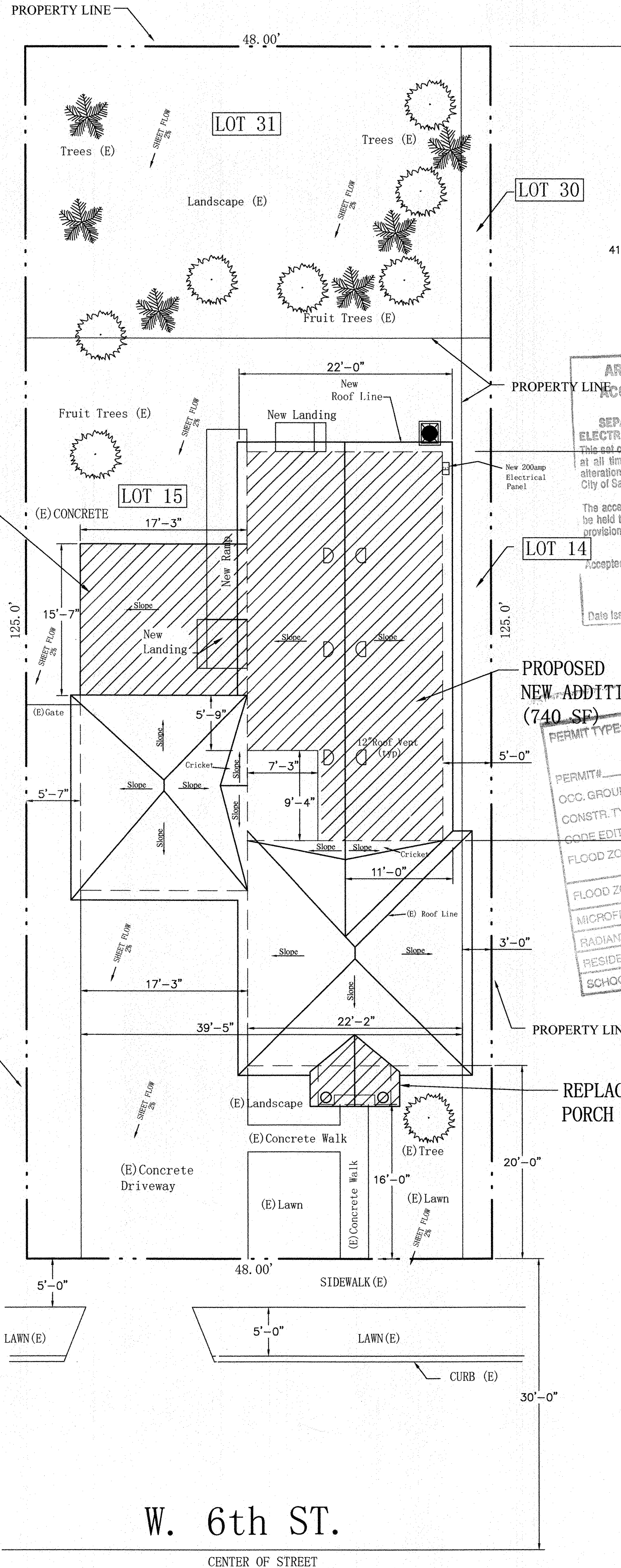
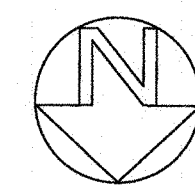
All constructions shall comply with, but shall not be limited to the latest edition and ordinances of:

A. All work shall be done in accordance with the 2010 California Building Code (CBC), 2010 California Plumbing Code (CPC), 2010 California Mechanical Code (CMC).

B. 1. All construction to be Type V-B.

PLOT PLAN

Scale: 1/8" = 1'-0"



Sheet Index

A1	PLOT PLAN
A2	FLOOR PLANS
A3	ELEVATIONS
A4	SECTIONS
S-1	GENERAL NOTES
S-2	FOUNDATION/FRAMING
S-3	STRUCTURAL DETAILS
CF-1R1	TITLE 24
CF-1R2	TITLE 24

Project Data

Job Address: 1230 W. 6th St.
Santa Ana, CA 92703
Parcel # 008-081-07
Occupancy Type: R3 / U
Construction Type: Type V-B
Fire Sprinklers: No
Zone: R1
Tract: 474
Lot: 15 (and E 3ft LOT 14 (and E 3ft N 30ft LOT 30
(and N 30ft LOT 31
Ht. of Bldg. 15ft.

Scope of Work

1. Construction to be Type (V-B)
2. Proposed addition of 2 bedrooms, 2 baths and Dining Room to existing SFD. (740sf)
3. Proposed converting existing bathroom into part of existing Kitchen. See floor plan.
4. Proposed converting existing bedroom into Family room.
5. Proposed new rear Patio. 268 sf
6. Replace Existing Porch. 30 sf

Area Summary

1. Existing Lot Size.
2. Existing one-story, one bedroom SFD to remain.
3. Existing attached two-car garage to remain
4. Proposed 2 bedroom, 2 bath, Dining addition
5. Proposed rear Patio
6. Replace Existing Porch

Total Lot Coverage 1,958 sf (32.6%)

Roof Notes:

1. Roofing material to be Class 'A' asphalt shingles over 2 layers of 15# felt.
2. Roof diaphragm: 1/2" plywood, panel index 24/0, nail 8d @ 6", 12".
3. Rafter nailed to ridgeboard w/ 2-16d nails.
4. Solid blocking between rafters at 4' o.c.
5. Rafter nailed to top plate w/ 2-16d nails (toe nail) & ceiling joists w/ 3-16d nails (facenail)
6. Flash all junctions of roof and vertical surfaces.

Ventilation:

Enclosed attics and enclosed rafter spaces formed where ceilings are applied directly to the underside of roof rafters shall have cross ventilating openings protected against the entrance of rain and snow. Where eave of cornice vents are installed, insulation shall not block the free flow of air. A minimum of 1" (26mm) of air space shall be provided between the insulation and roof sheathing. The net free ventilating area shall not be less than 1/150 of the area of the space ventilated.

All openings shall be covered with corrosion resistant metal mesh with openings of 1/4" in dimension.

Roof Ventilation Calculations:

1. Area to be Ventilated
Family Room 810sf/150 = 5.4 sf req'd
2. Ventilation provided
4 qty. - 12" Radius attic vents (1.57sf) x 4 = 6.28 sq.ft.
2 qty. - 12" Radius attic vents (1.57sf) x 2 = 3.14 sq.ft. (FAU combustible air)

Revisions:	
Description:	Date:

TEG Development
Tony Flores
3237806-3819 cell
tegdevelopment@yahoo.com

RECEIVED
ARCHITECTURE
ACCEPTED FOR
ELECTRICAL, PLUMBING
MECHANICAL
This set of plans and specifications must be kept on the job at all times and it is understood that no changes or alterations on same without written permission from the City of Santa Ana.

APPROVED
PLANNING DIVISION
MASTER ID: 2011-99630
G.P. LRP Zone R1
PLANNING DATE 02/09/12
TRANSFERRED BY DATE
PLANNING INSPECTION REQUIRED NONE
ROUGH FINAL
NAME (714)
RETAIN PLANS FOR FUTURE REVISIONS. SUBJECT TO CHECKED AND CONDITIONS
INTERIOR FINISH
NO EXTERIOR ALTERATIONS/MODIFICATIONS
ALL MATERIALS TO MATCH EXISTING
SCREENING REQUIRED
SUBMIT LULU SHAPE PLANS
30 sf
CONDITIONS

Juan Ramos
1230 W. 6th Street
Santa Ana, CA 92703
Phone: 714/721-6928

Owner
T. Flores

Scale: 1/8" = 1'-0"
Date: 9/10/11
Sheet: A-1
3 Sheets

10173778 RCK

CONSTRUCTION NOTES:

- All interior/exterior walls shall be 2X4 studs @ 16" O.C. Unless otherwise noted. Use 2x6 minimum studs for plumbing walls CBC Section 2320.11.9,10
- One layer of 20lb felt required over exterior plywood sheathing used under exterior lath.
- Structural observation will be performed as required by the building official. If Applicable.
- All new windows shall be dual glazed. (U-Value 0.75) (SHGC 0.42)
- Sliding glass windows shall be equipped with self locking device and shall be constructed and installed that they remain intact and engaged when subject to the test specified in 916371-906732.
- The exit door must be over a landing not more than 1/2" below threshold.
- Undercut interior doors by 2" for warm air circulation.
- Provide emergency escape from sleeping rooms (310.4) - The escape opening shall have a minimum net clear opening of 5.7 sq. ft., with 24" minimum net clear height and 20" minimum net clear width. Escape window shall have a finished sill height not more than 44" above finish floor.
- Caulking and sealants must be used in the building envelope-around windows and door frames-between wall sole plates and floors and between wall panels-openings in walls, ceilings, and doors for plumbing, electricity and gas lines-openings in attic floors-all other openings in the building envelope.
- All exterior doors shall be 1-3/4" thick solid core.

FIRE NOTES:

- Carbon monoxide alarms combined with smoke alarms shall comply with both sections R314 and section R315, all applicable standards, and requirements for listing and approved by the Office of the State Fire Marshall, for smoke alarms.

LEGEND

Symbol	Description
⊕	Duplex Outlet 20amp 120v
⊕ APCI	Arc Fault Circuit Interrupter Outlet 20amp 120v
⊕ GFI	GFI Duplex Outlet 20amp 120v
⊕	Single Pole Switch 15amp 120v
⊕	Existing Single Pole Switch 15amp 120v
⊕	3-way switch 15amp 120v
⊕	Exhaust Fan 120V (5 air changes/hr w/back draft damper)
⊕	High Efficacy Light Fixture (e.g. Fluorescent)
⊕	High Efficacy Light Fixture (e.g. Fluorescent)
⊕	Smoke Detector hard wired w/ battery backup
⊕	Combo Carbon Monoxide/Smoke Detector hard wired w/ battery backup
⊕	Recessed Down Light (to be selected by owner)
⊕	Thermostat
⊕	GFI outlet w/ Weatherproof cover 20amp 120v

Luminaries in bathrooms, garages, laundry rooms and utility rooms shall be high efficacy or controlled by an occupant sensor.

DOOR SCHEDULE

Symbol	Size	Type	Qty.
⊕1	2'-8" x 6'-8"	Hollow Core	6
⊕2	5'-0" x 6'-8"	Sliding Glass Dr.	2
⊕3	5'-0" x 6'-8"	Sliding Mirror Dr.	1
⊕4	5'-0" x 6'-8"	Bi-fold Doors	1
⊕5	2'-4" x 6'-8"	Closet Door	1

WINDOW SCHEDULE

Symbol	Size	Type	Qty.
⊕1	4'-0" x 4'-0"	Sliding Dual Glaze	1
⊕2	5'-0" x 4'-0"	Sliding Dual Glaze	2
⊕3	2'-6" x 2'-6"	Obscure Sliding Dual Glaze	1
⊕4	3'-6" x 4'-6"	Sliding Dual Glaze	3
⊕5	3'-0" x 2'-6"	Sliding Dual Glaze	1
⊕6	4'-6" x 4'-6"	Sliding Dual Glaze	2

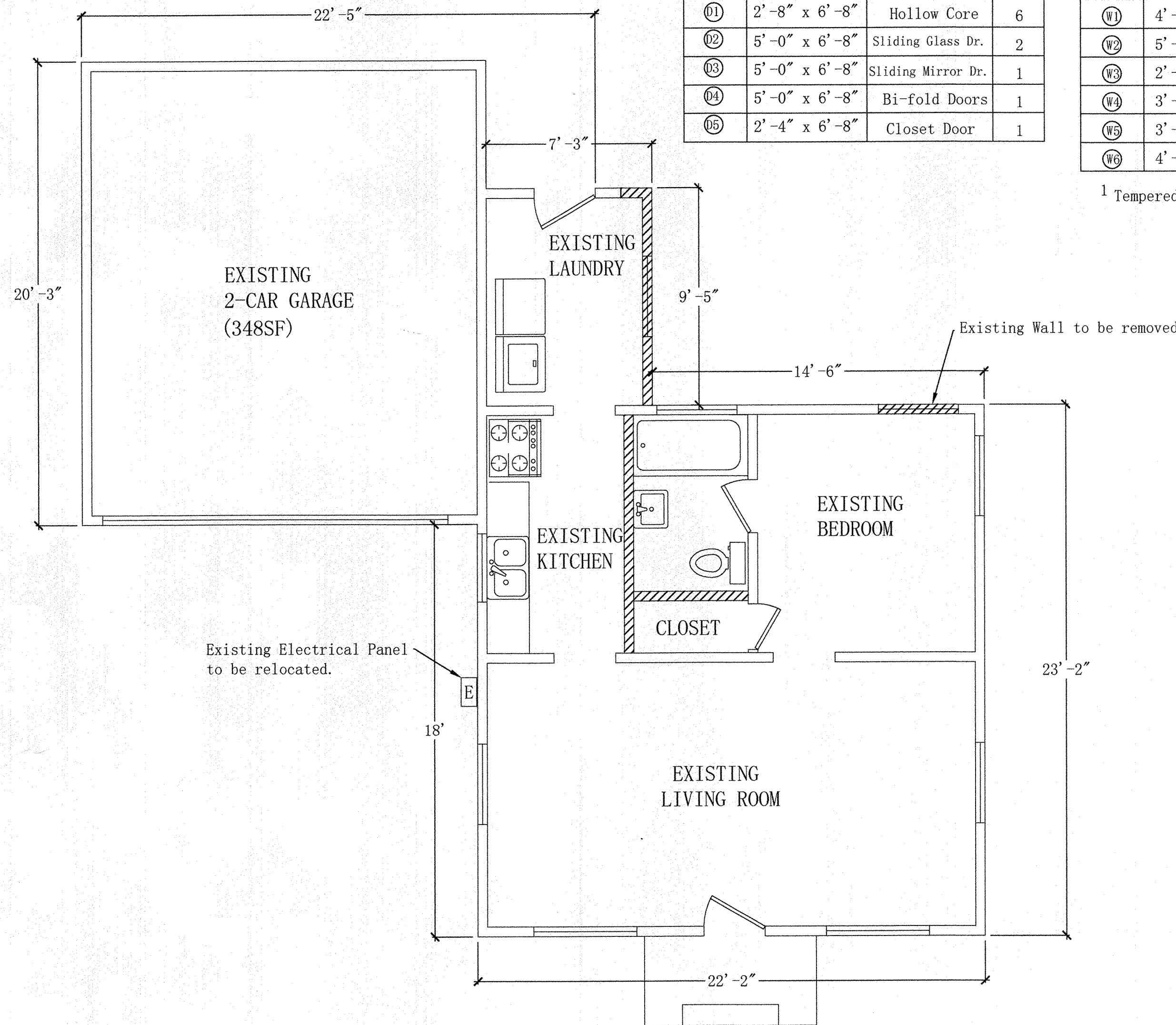
1 Tempered Glazing

WALL LEGEND

- Existing Wall to Remain
- New 2X4 Stud Wall
- Existing Wall to be removed
- New 2X6 Wet Wall

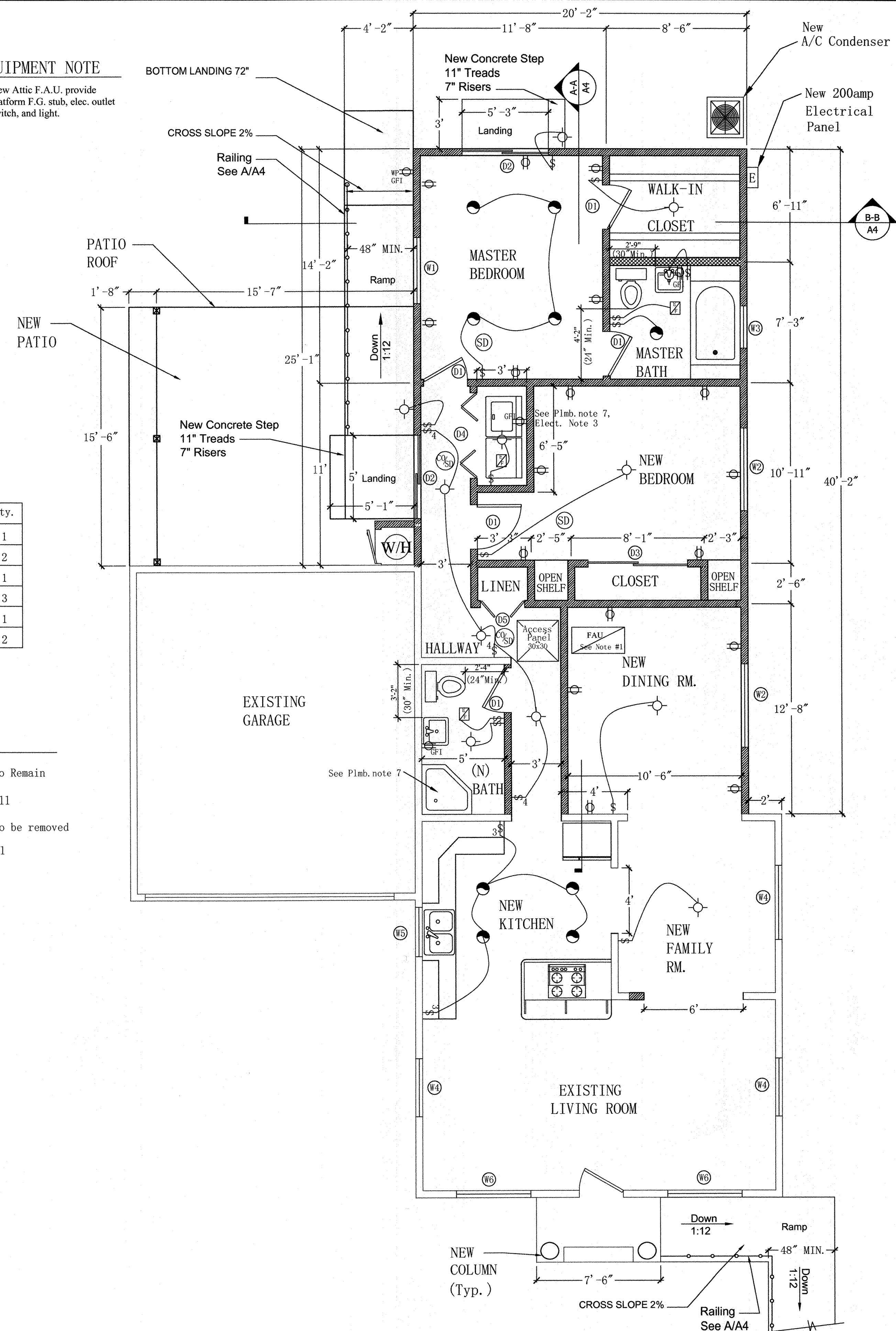
EQUIPMENT NOTE

- New Attic F.A.U. provide platform F.G. stub, elec. outlet switch, and light.



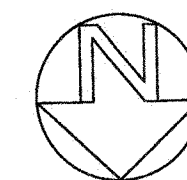
Existing Floor Plan
House 577SF

Scale: 1/4" = 1'-0"



New Floor Plan
740 Addition

Scale: 1/4" = 1'-0"



Revisions:	
Description:	Date:

TEG Development

Tony Flores
323/806-3819
tegdevelopment@yahoo.com

FLOOR PLANS

Owner

Juan Ramos
1230 W. 6th Street
Santa Ana, CA 92703
Phone: 714/721-6928

Drawn By: T. Flores

Approved By:

Scale: 1/4" = 1'-0"

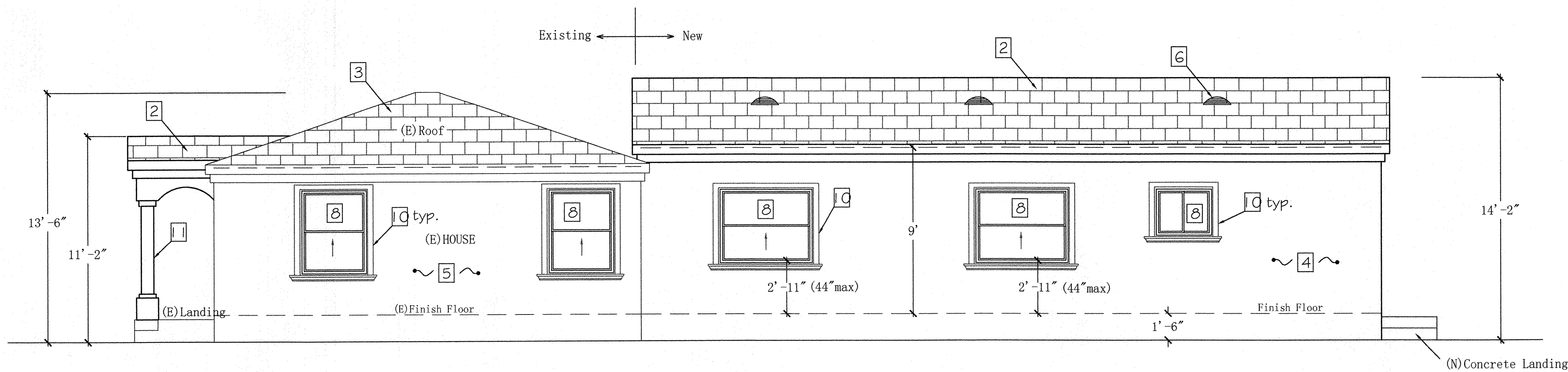
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A2

3

Sheets

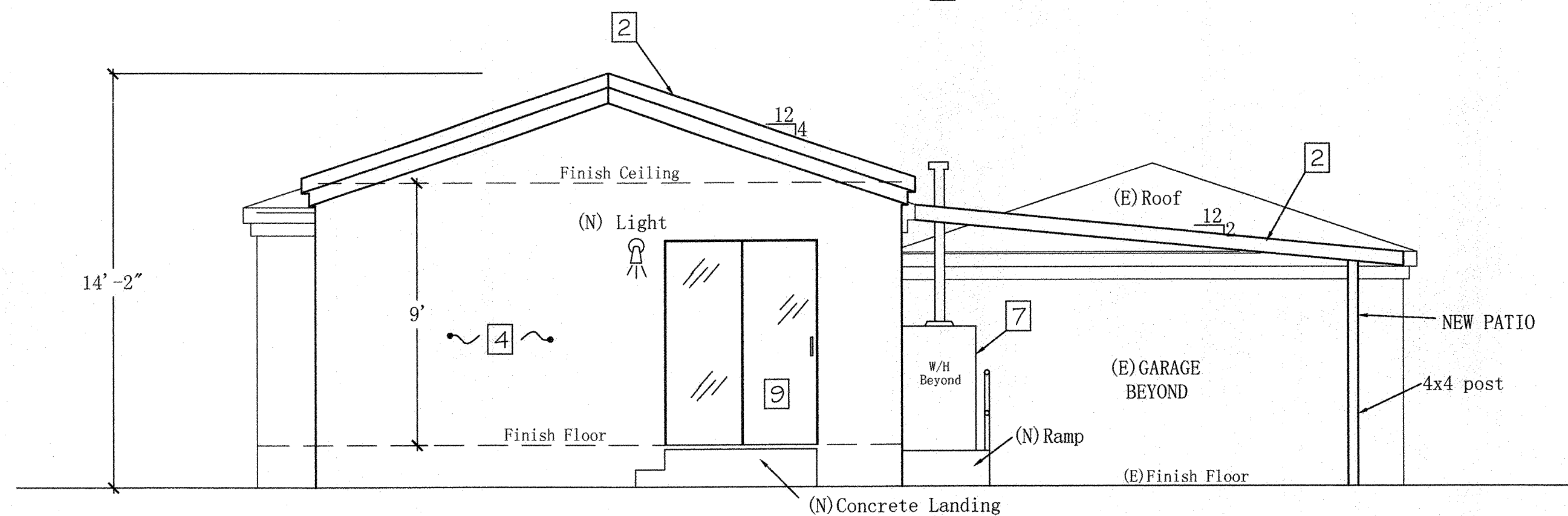


West Elevation

Scale: 1/4" = 1'-0"

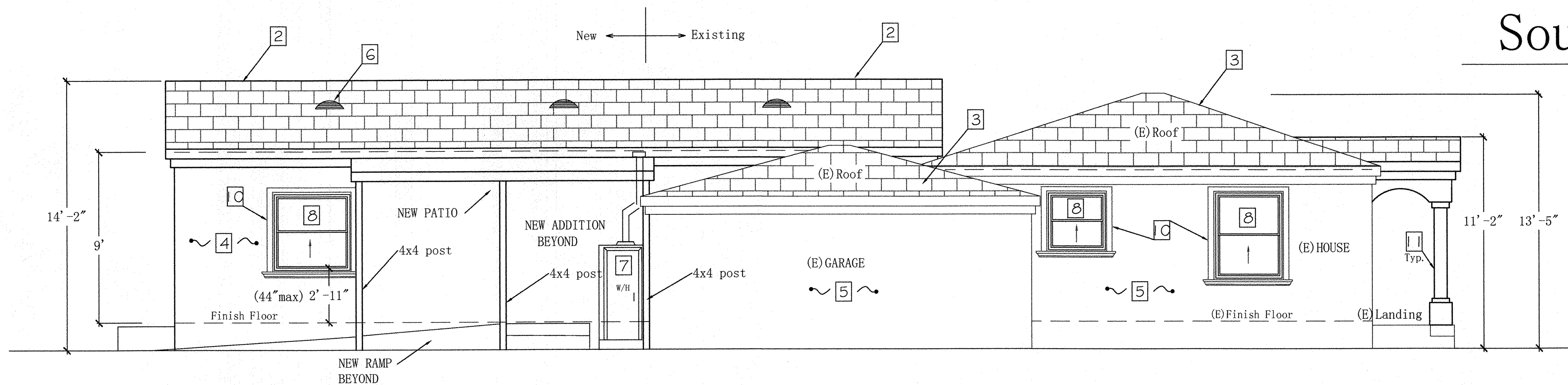
ELEVATION SPECIFICATIONS:

- 1 Building Address shall be provided on the building in such a position as to be plainly visible and legible from the street CBC Section 502.
- 2 New Class 'A' Asphalt Shingles over 30 lbs. felt on roof sheathing (typ.)
- 3 Existing roof to be replaced with Class 'A' shingles. To match new.
- 4 7/8" Exterior Stucco (La Habra Stucco)
- 5 Existing wood siding to be replaced with 7/8" exterior stucco, to match new.
- 6 12" Radius Dormer Vent
- 7 Water Heater housing to be framed and Stucco to match new
- 8 New Dual Glaze Single Hung Windows. Jeld-Wen-Vinyl Low E rating.
- 9 New Sliding Glass door. Tempered.
- 10 Window foam trim.
- 11 4x4 post with stucco finish to match.



South Elevation

Scale: 1/4" = 1'-0"



East Elevation

Scale: 1/4" = 1'-0"



North Elevation

Scale: 1/4" = 1'-0"

Revisions:	
Description:	Date:

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323/806-3819
tegdevelopment@yahoo.com

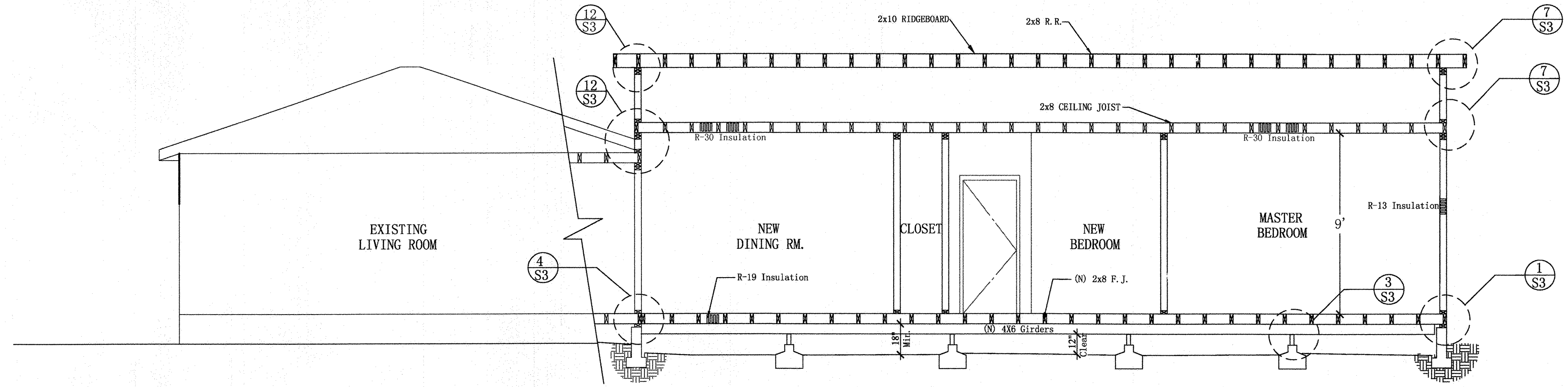
ELEVATIONS

Owner

Juan Ramos
1230 W. 6th Street
Santa Ana, CA 92703
Phone: 714/721-6928

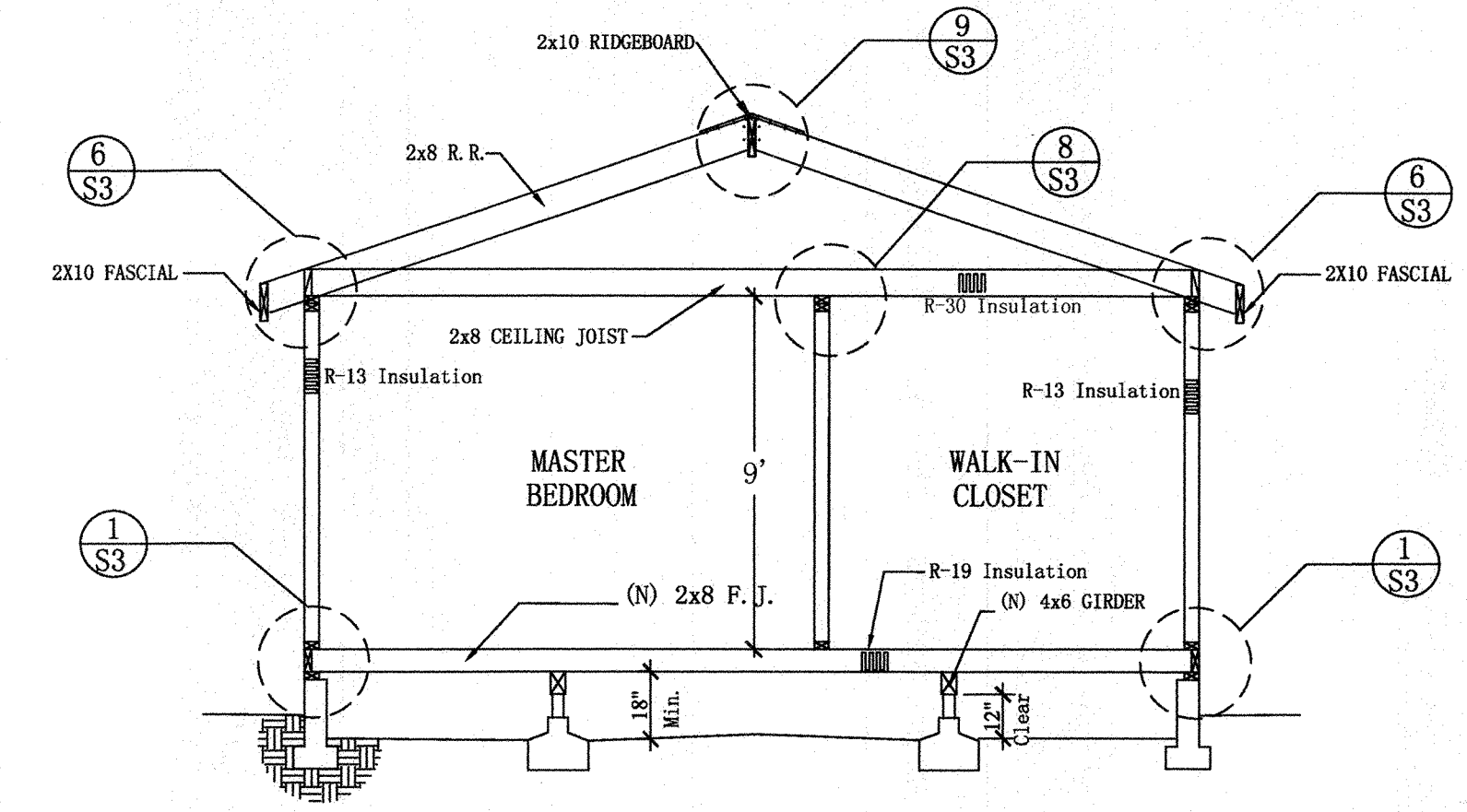
Drawn By:	T. Flores
Approved By:	
Scale:	1/4" = 1'-0"
Date:	9/11/11
Sheet:	A3
of	4 Sheets

Revisions:	
Description:	Date:



Section A-A

Scale: 1/4" = 1'-0"



Section B-B

Scale: 1/4" = 1'-0"

TEG Development

Tony Flores
323/806-3819
tegdevelopment@yahoo.com

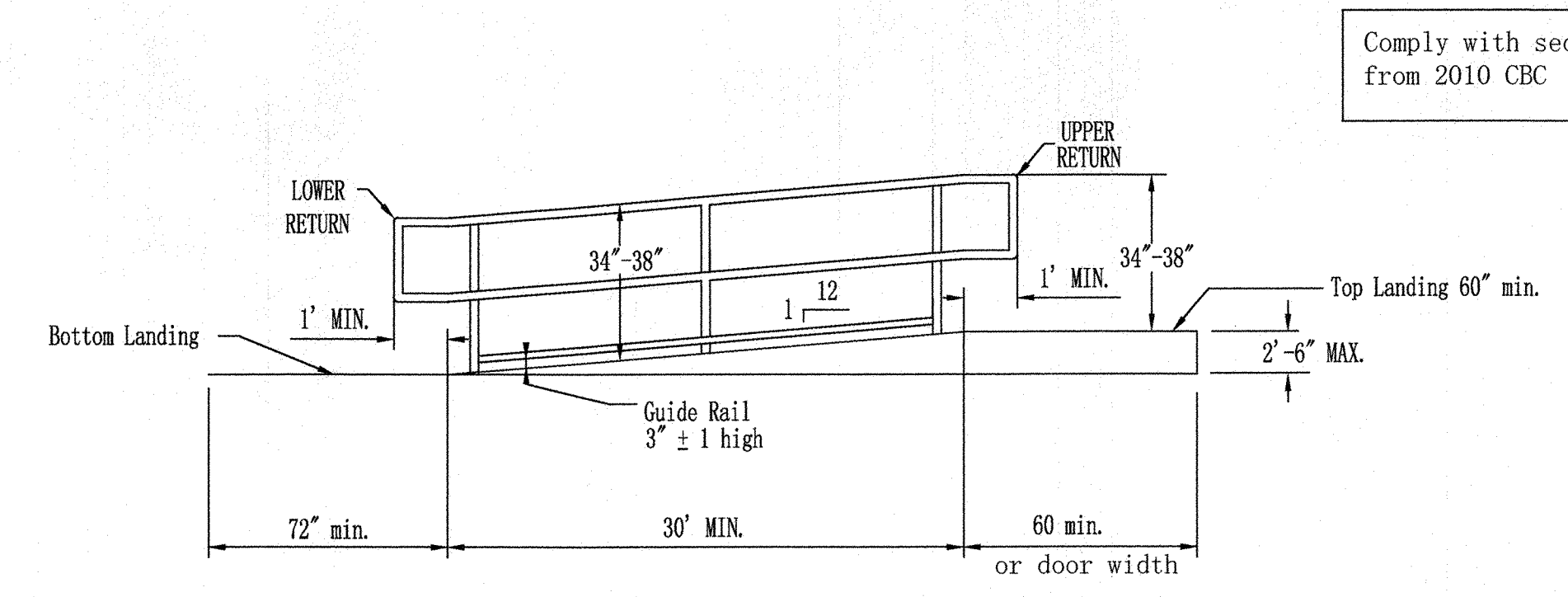
SECTIONS

Owner

Juan Ramos
1230 W. 6th Street
Santa Ana, CA 92703
Phone: 714/721-6928

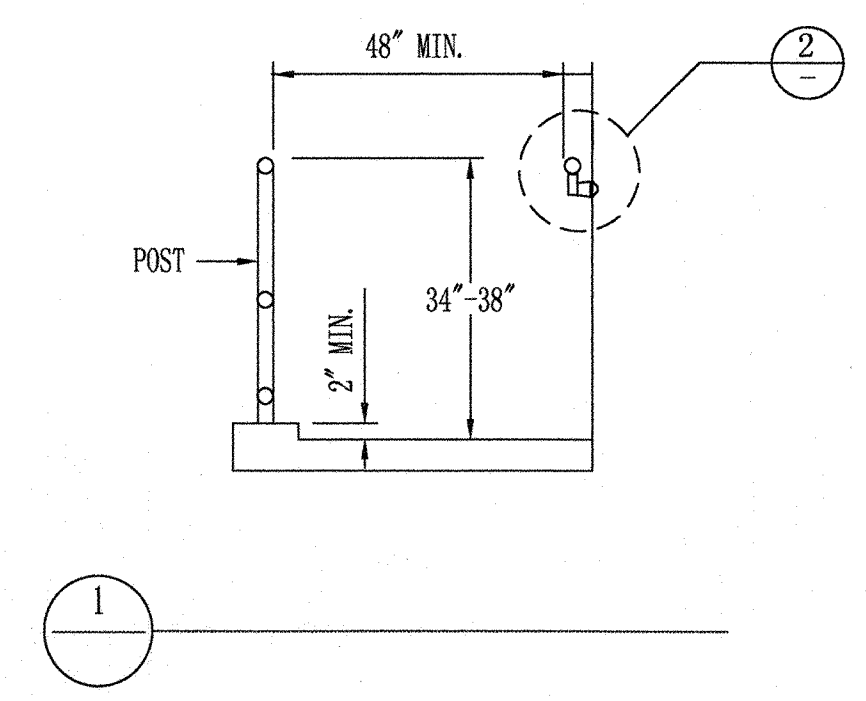
LANDING/RAMP NOTES:

1. Maximum slope of any landing shall not exceed 1/4" per foot. (CRC R311.3)

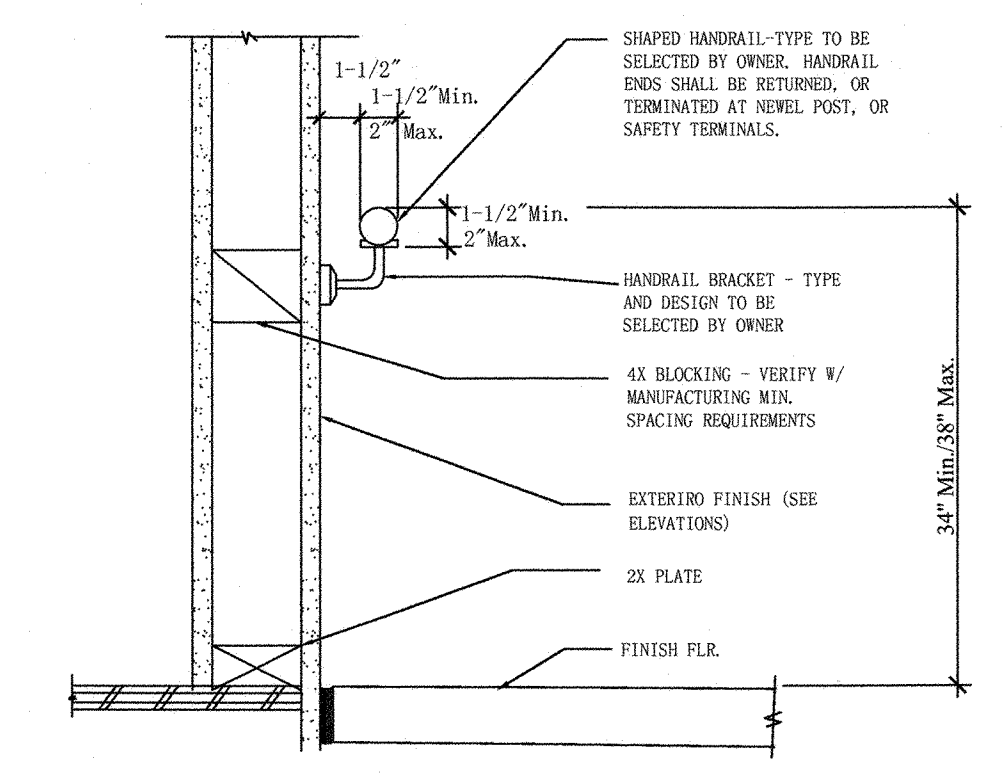


A RAMP/HANDRAIL ELEVATION

Comply with section 11A from 2010 CBC



1



2

Drawn By:	T. Flores
Approved By:	
Scale:	1/4" = 1'-0"
Date:	9/11/11
Sheet:	A4
of	4 Sheets

CONCRETE

- CONCRETE USED IN THE WORK SHALL HAVE THE FOLLOWING ULTIMATE COMPRESSIVE STRENGTH AT THE AGE OF 28 DAYS :
 - SLAB ON GRADE- 2500 PSI
 - FOOTINGS AND GRADE BEAMS- 3000 PSI*
 - * MAY BE 2500 PSI FOR BUILDING 3 STORIES OR LESS.
 - NOTE: HIGHER STRENGTH MAY BE REQUIRED DUE TO SULFATE EXPOSURE OR OTHER CONDITIONS. SEE SOILS REPORT.
- SPECIAL INSPECTION IS REQUIRED ON CONCRETE WORK WITH CONCRETE STRENGTH GREATER THAN 2500 PSI.
- USE TYPE V CEMENT FOR CONCRETE IN CONTACT WITH SOIL CONTAINING SULFATE.
- AGGREGATES:
 - LIGHTWEIGHT - ASTM C-330
 - HARDROCK - ASTM C-33
- ALL CONCRETE SHALL BE STONE CONCRETE UTILIZING AGGREGATE CONFORMING TO ASTM C33, CEMENT SHALL BE TYPE I OR II CONFORMING TO ASTM C150.
- MINIMUM CONCRETE COVER REINFORCING STEEL SHALL BE AS FOLLOWS: (U.N.O.)
 - CONCRETE AGAINST EARTH (UNFORMED) --3"
 - CONCRETE AGAINST EARTH (FORMED) --2"
 - SLAB ON GRADE --- AT CENTER
- FORMS AND SHORING SHALL REMAIN UNDISTURBED AS FOLLOWS:
 - VERTICAL SURFACES --- 7 DAYS
 - STRUCTURAL SLAB --- 10 DAYS
- BEFORE CONCRETE IS PLACED THE CONTRACTOR SHALL COORDINATE AND CHECK WITH ALL TRADE TO ENSURE THE PROPER PLACEMENT OF ALL SLEEVES, CURBS, OPENINGS, DEPRESSIONS, INSERTS ETC., RELATING TO THE WORK AS SHOWN ON THE DRAWINGS.

REINFORCING

- ALL REINFORCING STEEL:
 - NOTE: #5 AND SMALLER -- ASTM A-615, GRADE 60
 - #6 AND LARGER -- ASTM A-615, GRADE 60
- WELDED WIRE FABRIC SHALL BE MADE OF COLD DRAWN WIRE AND SHALL CONFORM TO ASTM A185, LAP 6" AT EDGES.
- ALL BARS SHALL BE FREE OF RUST, GREASE, MILL SCALE OR ANY MATERIAL WHICH MAY AFFECT ITS BOND TO CONCRETE.
- ALL BAR BENDS SHALL BE MADE COLD.
- MINIMUM LAP LENGTH REQUIREMENTS:

FOR f'c= 2,500 psi AND fy= 60,000
MIN. LAP IS 62 DIAMETER FOR #6 REBAR OR LESS
MIN. LAP IS 78 DIAMETER FOR #7 REBAR OR HIGHER.
FOR f'c= 3,000 psi AND fy= 60,000
MIN. LAP IS 57 DIAMETER FOR #6 REBAR OR LESS
MIN. LAP IS 71 DIAMETER FOR #7 REBAR OR HIGHER.

FOUNDATION

- The allowable soil bearing value is 1500 psf.
- If expansive soils are present use:
 - Depth of footing below natural and finish grades shall not be less than 21" for exterior and 18" for interior footings.
 - Footings shall be reinforced with (4)#4 bars. Two placed 4" from the bottom of the footing and two 4" from the top of the footing.
- Provide 3/4" dia. anchor bolts w/ 3" sq. by 1/2" washers and embedded at least 7" into concrete, placed at 6' o.c. within 12" of the ends, at each corner and with at least two bolts per piece of plate. (refer to Shearwall chart for shearwall type)
- Plate washers are required for all Hold-Down.
- All Bolt holes shall be drilled 1/32" to 1/16" oversized.
- Anchor Bolts and hold-down shall be re-tightened just prior to covering the wall framing.
- No water piping shall be installed within concrete slab or in the ground under a concrete slab within a building.

NAIL

TYPE OF FASTENER	DIA.	LENGTH
16d COMMON	0.162	3-1/2"
16d SINKER	0.148	3-1/4"
16d SHORT	0.131	3-1/4"
10d COMMON	0.148	3"
8d COMMON	0.131	2-1/2"

PREFABRICATED FLOOR FRAMING MEMBERS

- (TJI, MICRO-LAM, PARALAM) PREFABRICATED FLOOR FRAMING STRUCTURAL MEMBERS ARE MANUFACTURED BY TRUSS JOIST CORPORATION. THESE PRODUCTS ARE APPROVED BY ICBO (NER 119, NER 126, & NER 292).
- FLOOR JOIST (TJI-PER PLAN)
- MICROLAM LVL: 1.8 E WS SERIES
 - MODULUS OF ELASTICITY E = 1.8 X 10⁶ PSI
 - FLEXURAL STRESS Fb = 2600 PSI
 - HORIZONTAL SHEAR Fv = 285 PSI
- PARALAM PSL: 2.0 E WS SERIES
 - MODULUS OF ELASTICITY E = 2.0 X 10⁶ PSI
 - FLEXURAL STRESS Fb = 290 PSI
 - HORIZONTAL SHEAR Fv = 290 PSI
- USE SIMPSON STRONG-TIE ITT SERIES HANGER FOR TJI CONNECTION TO SUPPORTING FLUSH BEAM. U.N.O.
- PRODUCT HANDLING, INSTALLATION PROCEDURES, SHALL BE STRICTLY IN ACCORDANCE WITH THE "SPECIFIER'S GUIDE" PUBLISHED BY TRUSS JOIST MACMILLAN CO.

FRAMING

- ALL LUMBER SHALL BE DOUGLAS FIR LARCH (19% MAXIMUM MOISTURE CONTENT AT THE TIME OF CONSTRUCTION U.N.O.) AND SHALL BE STAMPED WITH A TRADEMARK OF THE FOLLOWING GRADES BY AN APPROVED GRADING AGENCY.
- LUMBER GRADES
 - 6X & 8X POSTS/BEAMS/HEADERS: #1 DFL
 - 4X BEAMS AND HEADERS: #2 DFL
 - 2X JOISTS/ RAFTERS: #2 DFL
 - STUDS: STUD GRADE
 - TOP PLATES: DFL CONSTRUCTION STANDARD, STANDARD OR BETTER.
 - ALL MUD SILLS TO BE P.T. DFL
- STRUCTURAL PLYWOOD SHALL BE GRADE A.P.A. P51-95 AND SHALL BE INTERIOR TYPE SHEATHING C-D GRADE WITH EXTERIOR GLUE. SHEATHING PANEL LESS THAN 24 INCHES IN ANY DIMENSION SHALL NOT BE USED IN SHEAR WALLS, FLOOR, OR ROOF DIAPHRAGM.
 - ROOF: (U.N.O.)
 - USE 15/32" APA RATED SHEATHING EXP. I WITH A MIN. PANEL INDEX OF 24/0. REFER TO NER 108 FOR INSTALLATION AND CONDITIONS OF USE.
 - B.N.: 8d COMMON NAIL @ 6" O.C.
 - E.N.: 8d COMMON NAIL @ 6" O.C.
 - F.N.: 8d COMMON NAIL @ 12" O.C.
 - FLOOR: (U.N.O.)
 - USE 23/32" APA RATED STURD-I-FLOOR T&G EXP. I WITH A MIN. PANEL INDEX 24". REFER TO NER 108 FOR INSTALLATION AND CONDITIONS OF USE.
 - B.N.: 10d COMMON NAIL @ 6" O.C.
 - E.N.: 10d COMMON NAIL @ 6" O.C.
 - F.N.: 10d COMMON NAIL @ 12" O.C.

- ALL POST SHALL BE 4X WIDTH OF BEAM MINIMUM (U.N.O.)

- STRUCTURAL MEMBER SHALL NOT BE CUT FOR PIPES, SEWERS, ETC. UNLESS SPECIALLY NOTED OR DETAILED. PLUMBER AND ELECTRICIAN SHALL CHECK STRUCTURAL PLANS FOR ALL DUCTS, SLEEVES, ETC. INTERFERENCE WITH STRUCTURAL MEMBERS.
- HOLES FOR BOLTS SHALL BE 1/32" TO 1/16" LARGER THAN NOMINAL BOLTS DIAMETER. ALL BOLTS BEARING ON WOOD SHALL HAVE WASHERS UNDER HEAD AND NUTS. ALL BOLTS SHALL BE RETIGHTED PRIOR TO APPLICATION OF PLASTER, PLYWOOD, ETC.
- CALIFORNIA BUILDING CODE-TABLE 23-IV-B BALLOON FRAMED WALLS (NON-BEARING) STUD HEIGHTS:
 - 2X4 @ 16" O.C. MAXIMUM 14'-0" HEIGHT
 - 2X6 @ 16" O.C. MAXIMUM 20'-0" HEIGHT
 - NO MULTIPLES OF 2X4'S ARE ALLOWED TO SPAN MORE THAN 14'-0" BEARING WALLS EXCEEDING 10'-0" MUST BE DESIGNED CASE BY CASE.
- BEARING WALLS AND EXTERIOR WALLS SUPPORTING LOADS FROM TWO STORIES ABOVE SHALL BE 3X4 @ 16" O.C. (U.N.O.) 2X6 MAY BE USED IN LIEU OF 3X4.
- DOUBLE JOISTS UNDER ALL PARALLEL NON-BEARING PARTITION. (U.N.O.)
- ALL LEDGERS SHALL BE SPLICED WITH ST22 STRAP, UNLESS NOTED OTHERWISE.
- TOP PLATES OF ALL WOOD STUD WALLS TO CONSIST OF (2) 2X'S THE SAME WIDTH AS THE STUDS U.N.O. TOP PLATES SHALL LAP A MINIMUM OF 48" AND THE SPLICED WITH NOT LESS THAN 6-16d NAILS SPACED NOT MORE THAN 12" O.C.
- ALL JOIST HANGERS SHALL BE SIMPSON U HANGER, ALL BEAM HANGERS SHALL BE SIMPSON HU HANGERS U.N.O. ON PLAN OR DETAIL. FOLLOW MANUFACTURERS RECOMMENDATION FOR INSTALLATION.
- DOUBLE JOISTS UNDER ALL PARALLEL NON-BEARING PARTITION. (U.N.O.)
- DOUBLE RAFTERS UNDER HVAC UNIT OR MACHINIC EQUIPMENT. (U.N.O.)
- 2X SOLID BLOCKING SHALL BE PLACED BETWEEN JOISTS AND RAFTERS AT ALL SUPPORTS.
- FLOOR JOISTS SHALL BE BLOCKED OR CROSS BRIDGED @ 8'-0" O.C.
- PROVIDE 1X6 LET-IN DIAGONAL BRACES AT EACH 25 FEET OF NON-SHEAR WALL EACH CORNER, AND ALL MAIN CROSS STUD PARTITIONS. LET-IN TO CROSS 4" STUD SPACES AT 45 DEGREES WHERE POSSIBLE.
- ALL NAILING SHALL BE DONE IN ACCORDANCE WITH THE MINIMUM REQUIREMENT OF THE LOCAL CODE, AND SHALL BE DONE WITH COMMON NAILS ONLY (U.N.O.).
- AT PLYWOOD SHEAR WALLS, PLYWOOD TO EXTEND ABOVE AND BELOW AND SIDES OF ALL OPENING . PLYWOOD AT SHEAR WALL TO BE CONTINUOUS AT WALL AND DOOR JAMB INTERSECTIONS.
- PROVIDE BOUNDARY NAILING TO END POST/STUD AT EACH SHEAR WALL.
- PROVIDE BOUNDARY NAILING ALONG STRUT MEMBER.
- ALL MACHINE BOLTS SHALL CONFORM TO ASTM A307.
- ALL WALLS SHALL BE BOLTED TO FOUNDATION (CONCRETE OR CONCRETE ANCHOR BOLTS WITHIN 12" OF THE BLOCK) WITH 5/8" END OF EACH WALL PANEL AND NOT MORE THAN 6'-0" O.C. OR SHOT PINS AT 3'-0" O.C., EXCEPT AS CALL OUT FOR SHEAR WALL SHOT PIN SHALL NOT BE USED FOR EXTERIOR WALL SILL PLATE ANCHOR.
- FABRICATION AND HANDLING OF GLUE-LAM BEAMS SHALL BE PER ANSI/AITC A 190.1 STANDARD BEAMS TO BEAR LEGIBLE APA-ENS OR AITC GRADE STAND. AN APA-EWS CRAN AITC CERTIFICATE OF CONFORMANCE FOR GLUED-LAMINATED MEMBERS SHOULD BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO INSTALLATION. AND SHOULD HAVE MINIMUM 2400 PSI FLEXURAL STRESS, DF/DF-V4 WITH STANDARD CAMBER (U.N.O.) ALL BEAMS SHALL BE FABRICATED USING WATERPROOF GLUE.

ALL CONTINUOUS EXTERIOR FOOTING TO HAVE 5/8" DIA. X MIN. 12" ANCHOR BOLTS WITH 3"x3"x1/4" PLATE WASHER, MIN 7" EMBEDMENT INTO CONCRETE, AT 72" O.C. UNLESS NOTED OTHERWISE ON PLANS. ONE ANCHOR BOLT SHOULD BE LOCATED MAX. 12" AWAY FROM THE END OF THE SILL PLATES. MIN. (2) A.B.'S PER SILL PLATE PER SHEAR PANEL.

ALL INTERIOR NON-SHEAR WALLS TO HAVE HILTI X-DNI WITH A MINIMUM PENETRATION OF 1-1/4" INTO SLAB @ 24" O.C. (UNLESS NOTED OTHERWISE), INSTALLED IN ACCORDANCE WITH ESR-2379.

PROVIDE FULL-LENGTH STUDS (BALLOON FRAME) ON EXTERIOR WALLS OF ROOMS WITH VAULTED CEILINGS.

FASTENERS FOR PRESERVATIVE-TREATED AND FIRE-RETARDANT-TREATED WOOD SHOULD BE OF HOT-DIPPED ZINC COATED GALVANIZED STEEL, SILICON BRONZE, OR COPPER. THE COATING WEIGHTS FOR ZINC-COATED FASTENERS SHALL BE ACCORDING WITH ASTM A153. FASTENERS FOR WOOD FOUNDATIONS SHOULD BE AS REQUIRED IN AF&PA TECHNICAL REPORT NO.7.

NAILS SHALL BE DRIVEN FLUSH TO SHEATHING AND NOT OVERDRIVEN.

GENERAL NOTES

GENERAL REQUIREMENTS

- WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING (U.N.O.):
 - CALIFORNIA BUILDING CODE, 2010.
 - ALL APPLICABLE LOCAL, STATE AND FEDERAL CODES, ORDINANCES, LAWS, REGULATIONS AND PROTECTIVE COVENANTS GOVERNING THE SITE OF WORK.
 - STANDARD SPECIFICATIONS OF ASTM AS NOTED HEREIN AND AS REQUIRED BY THE BUILDING CODE OR C.B.C. 2010.
 - ALL WORK NEED TO BE PERFORMED BY QUALIFIED AND EXPERIENCE CONTRACTORS FAMILIAR WITH THIS TYPE OF PROJECT.
- IN CASE OF CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITION IN THE FIELD AND NOTIFY THE ARCHITECT AND ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSION ON THE JOB. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS, OR DETAILS ON THE STRUCTURAL DRAWINGS.
- FOR ROOF/FLOOR ELEVATION, DRAINAGE, SLOPE, OPENING, DEPRESSION AND DIMENSIONS, SEE ARCHITECTURAL, PLUMBING, MECHANICAL AND ELECTRICAL DRAWINGS.
- CONTRACTOR SHALL PROVIDE TEMPORARY ERECTION BRACING AND SHORING ALL STRUCTURAL MEMBERS OR AS REQUIRED FOR STRUCTURAL STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.

SHEARWALL SCHEDULE

TYPE	SHEAR WALL MATERIAL	PLATE/SILL NAIL	ANCHOR BOLTS	VALUE (psi)	ALT. A35	ALT. LTP4
△	15/32" PLYWOOD, CDX W/ 8d @ 6", 12", BLOCKED	16d @ 5"	5/8" A.B. @ 48" o.c.	200	20" O.C.	32" O.C.
△	15/32" PLYWOOD, CDX W/ 8d @ 4", 12", BLOCKED	16d @ 4"	5/8" A.B. @ 32" o.c.	285	12" O.C.	24" O.C.
△	15/32" PLYWOOD, CDX W/ 8d @ 3", 12", BLOCKED * 3X SILL * 3X STUD @ ADJACENT PANEL EDGE	1/4" x 6" LAG SCREW @ 8" O.C.	5/8" A.B. @ 32" o.c.	370	10" O.C.	20" O.C.
△	15/32" PLYWOOD, CDX W/ 8d @ 2", 12", BLOCKED * 3X SILL * 3X STUD @ ADJACENT PANEL EDGE	1/4" x 6" LAG SCREW @ 8"	5/8" A.B. @ 24" o.c.	480	8" O.C.	16" O.C.
△	15/32" PLYWOOD, CDX W/ 10d @ 2", 12", BLOCKED * 3X SILL * 3X STUD @ ADJACENT PANEL EDGE	1/4" x 6" LAG SCREW @ 6"	5/8" A.B. @ 16" o.c.	580	6" O.C.	12" O.C.
△	19/32" PLYWOOD, CDX W/ 10d @ 2", 12", BLOCKED * 3X SILL * 3X STUD @ ADJACENT PANEL EDGE	1/4" x 6" LAG SCREW @ 5"	5/8" A.B. @ 16" o.c.	650	6" O.C.	8" O.C.

- 1/2" EDGE DISTANCE FOR PLYWD BOUNDARY NAILING
 - PLATE WASHER 2-1/2 X 2-1/2 X 1/4 FOR ALL ANCHOR BOLT (5/8")
- NOTES:
- (*) PROVIDE 3" NOMINAL OR WIDER FRAMING AT ADJOINING PANEL EDGES WITH NAILS STAGGERED.
 - USE A35 @ 6" O.C. ON SIMPSON STRONG WALL & HARDY PANEL (U.N.O.)
 - PLYWOOD SHALL HAVE FRAMING OR BLOCKING AT ALL EDGES OF ALL SHEETS IN SHEARWALLS.
 - ALL SHEAR WALL NAILING SHALL UTILIZE COMMON OR GALVANIZED BOX NAILS.

NAILING SCHEDULE -- MINIMUM REQUIREMENT (U.N.O.)

CONNECTION	NAILING
1. JOIST TO SILL OR GIRDER, TOENAIL	3-8d
2. BRIDGING TO JOIST, TOENAIL EACH END	2-8d
3. 1" X 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d
4. WIDER THAN 1" X 6" SUBFLOOR TO EACH JOIST, FACE NAIL	3-8d
5. 2" SUBFLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d
6. SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL	1-16d @ 16" O.C.
7. SOLE PLATE TO JOIST, AT BRACED WALL PANEL	(3) 16d PER 16"
7. TOP PLATE TO STUD, END NAIL	2-16d
8. STUD TO SOLE PLATE	4-8d, TOENAIL OR 2-16d, END NAIL
9. DOUBLE STUDS, FACE NAIL	1-16d @ 24" O.C.
10. DOUBLE TOP PLATES, FACE NAIL	1-16d @ 16" O.C.
11. DOUBLE TOP PLATES, LAP SPlice	8-16d
11. BLOCKING BETWEEN JOIST OR RAFTERS TO TOP PLATE, TOENAIL	3-8d
12. RIM JOIST TO TOP PLATE, TOENAIL	8d @ 6" O.C.
13. TOP PLATES, LAPS AND INTERSECTIONS, FACE NAIL	2-16d
14. CONTINUOUS HEADER, TWO PIECES	1-16d @ 16" O.C. ALONG EACH EDGE
15. CEILING JOISTS TO PLATE, TOENAIL	3-8d
16. CONTINUOUS HEADER TO STUD, TOENAIL	4-8d
17. CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d
18. CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d
19. RAFTER TO PLATE, TOENAIL	3-8d
20. 1" BRACE TO EACH STUD AND PLATE, FACE NAIL	2-8d
21. 1" X 8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	2-8d
22. WIDER THAN 1" X 8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d
23. BUILT-UP CORNER STUDS	1-16d @ 24" O.C.
24. BUILT-UP GIRDER AND BEAMS	20d @ 32" O.C. AT TOP AND BOTTOM AND STAGGERED 2-20d @ ENDS AND @ EA. SPlice
25. 2" PLANKS	2-16d @ EACH BEARING

* NOTE: COMMON OR BOX NAILS MAY BE USED (U.N.O.)

Revisions:	
Description:	Date:

TEG Development

Tony Flores
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STRUCTURAL NOTES

Owner

Juan Ramos
1230 W. 6th Street
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Phone: 714/721-6928

Drawn By:	T. Flores
Approved By:	
Scale:	1/4" = 1'-0"
Date:	10/18/11
Sheet:	S1
of	3 Sheets

Revisions:	
Description:	Date:

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STRUCTURAL DETAILS

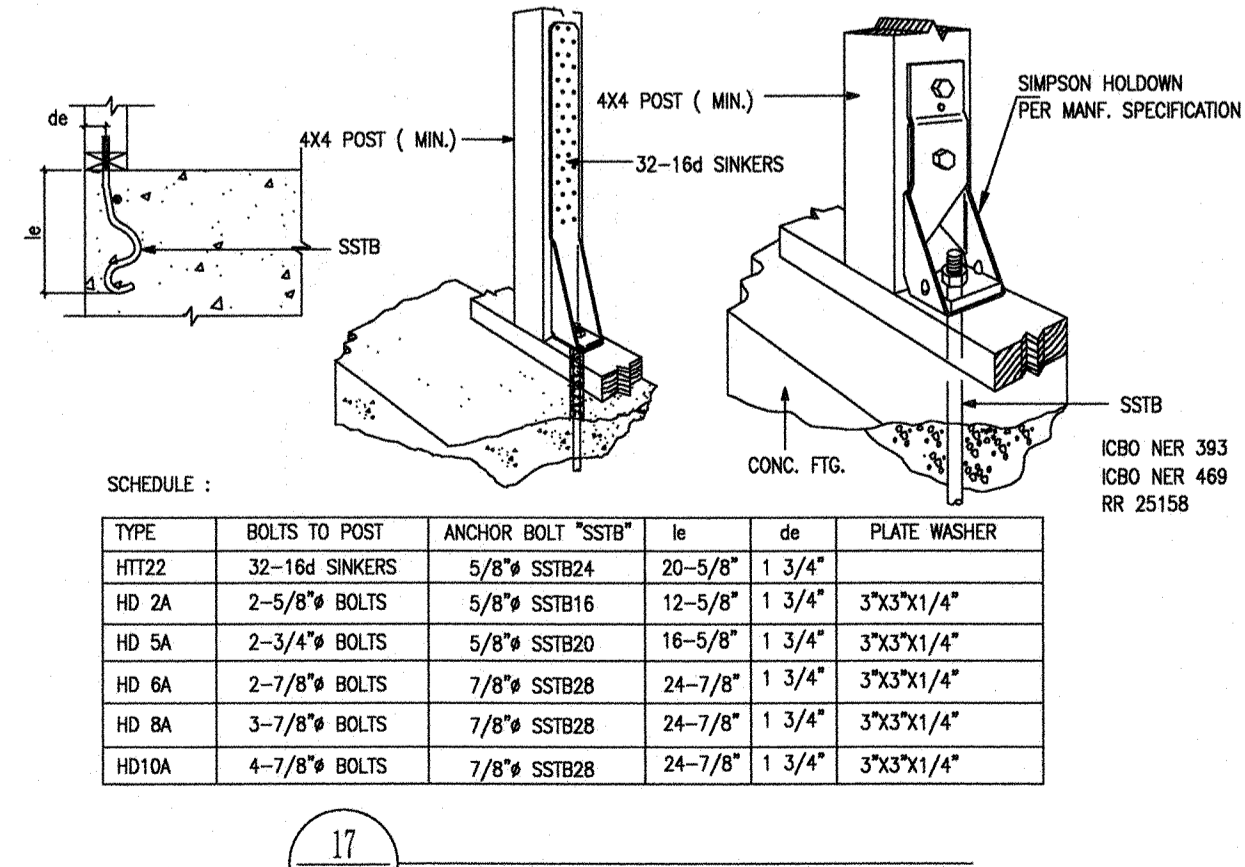
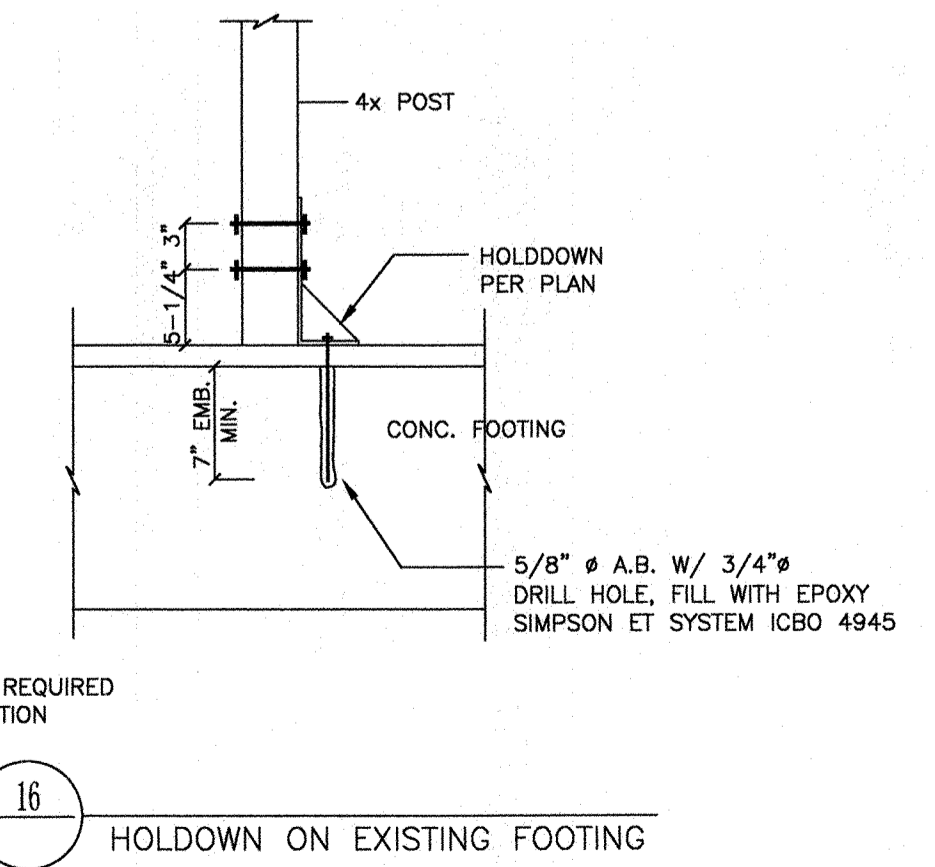
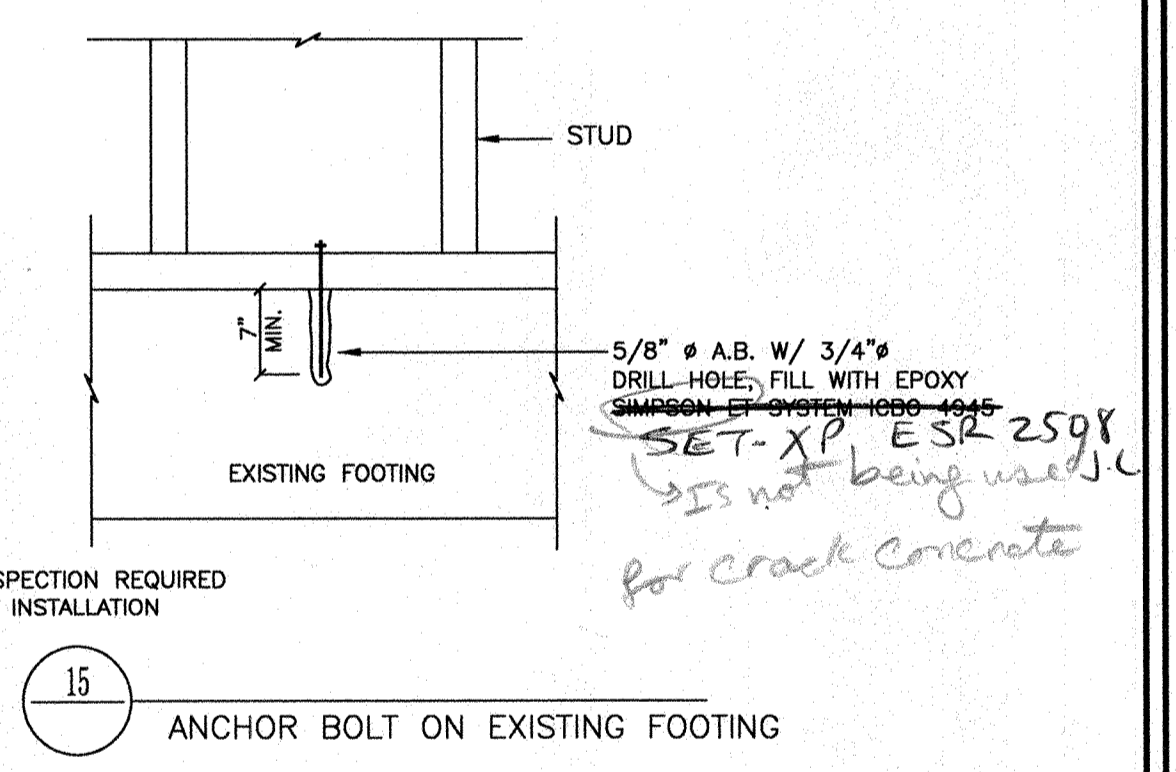
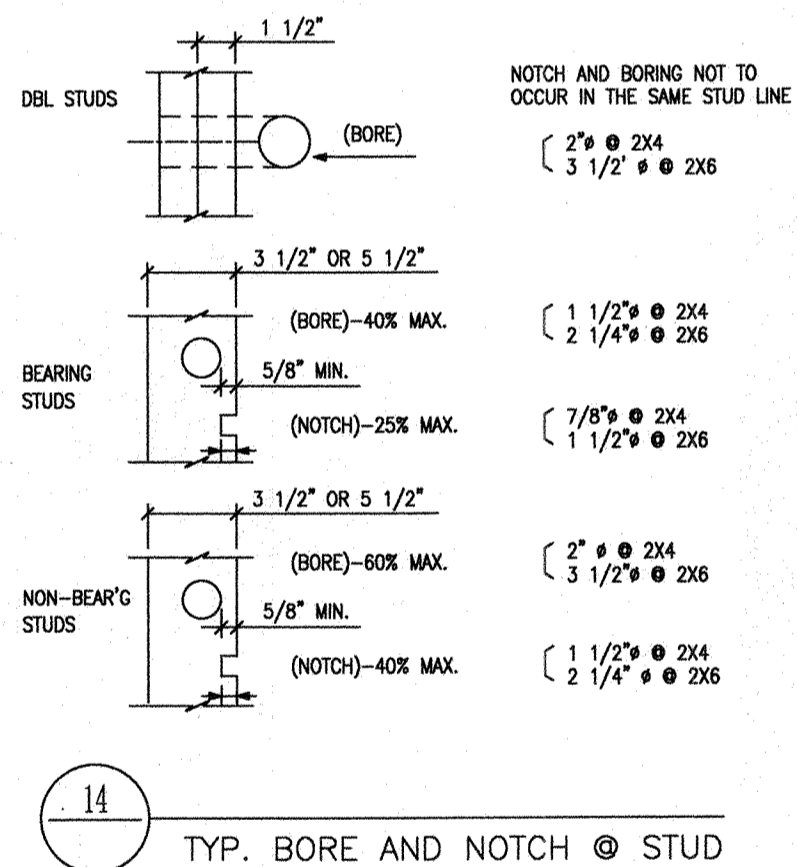
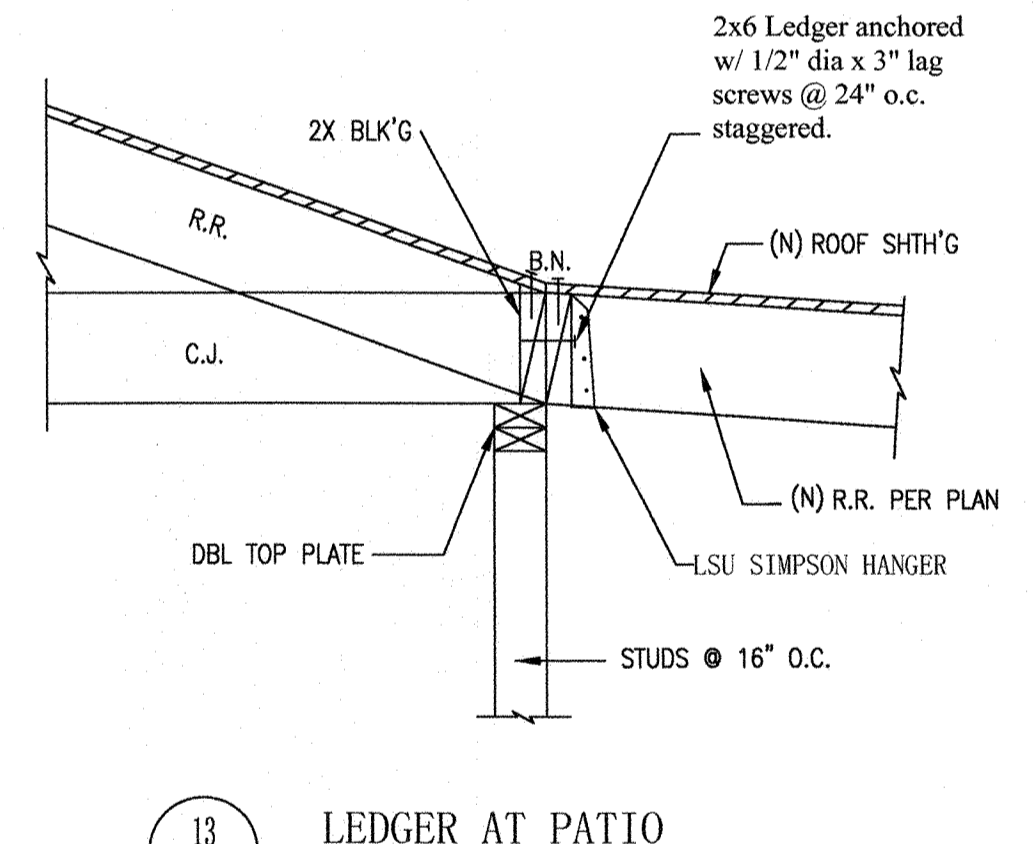
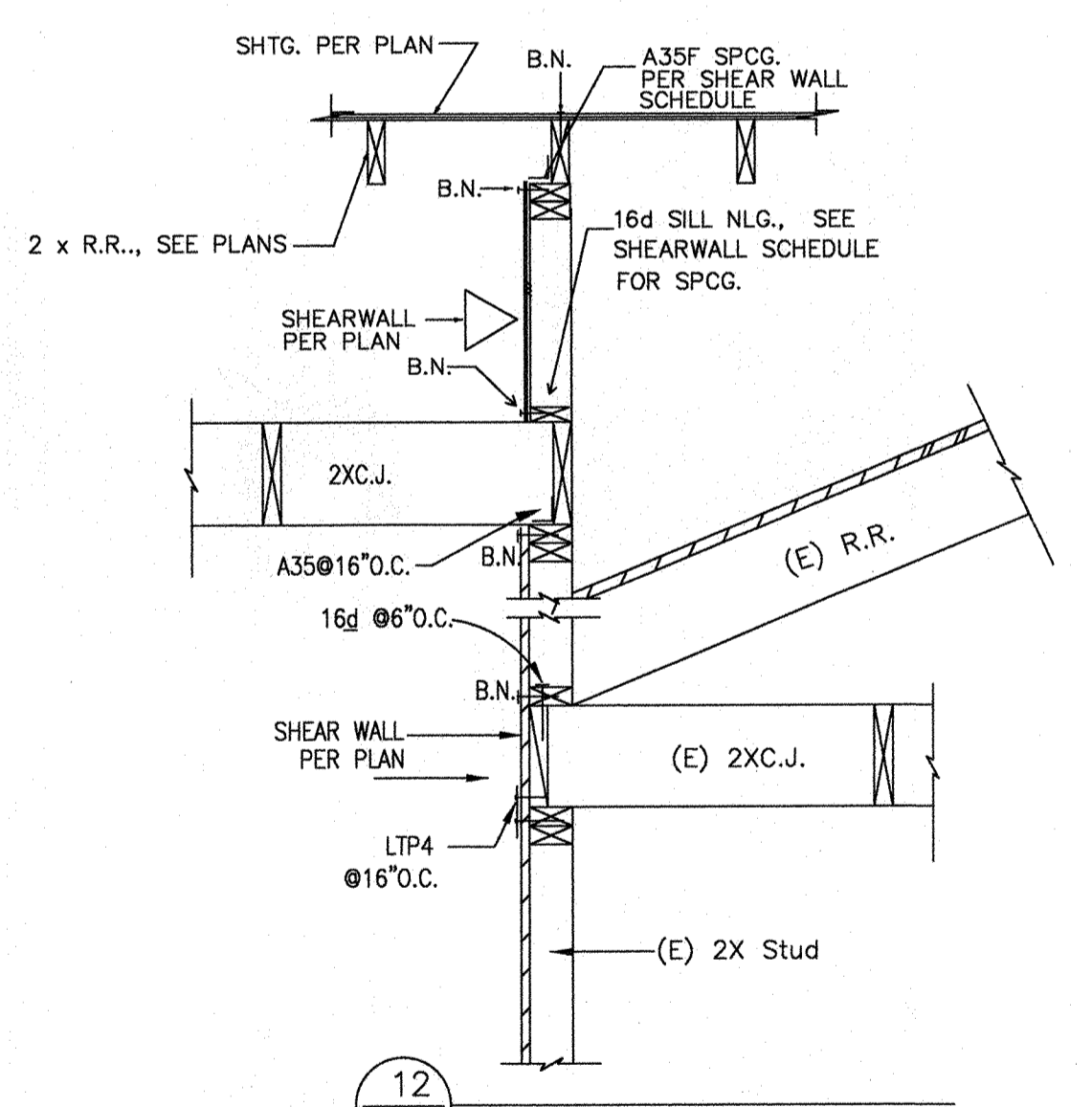
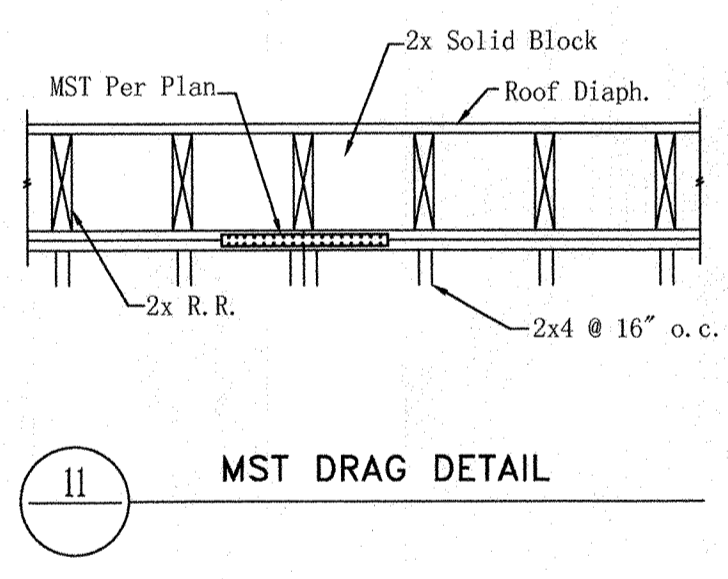
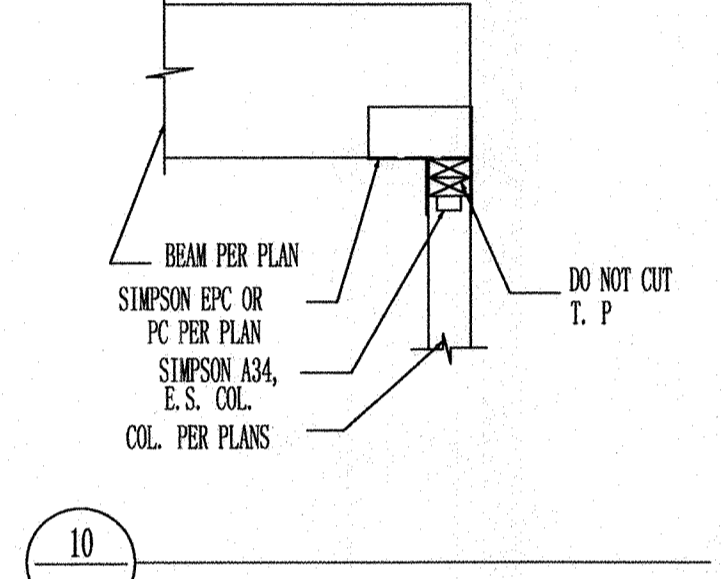
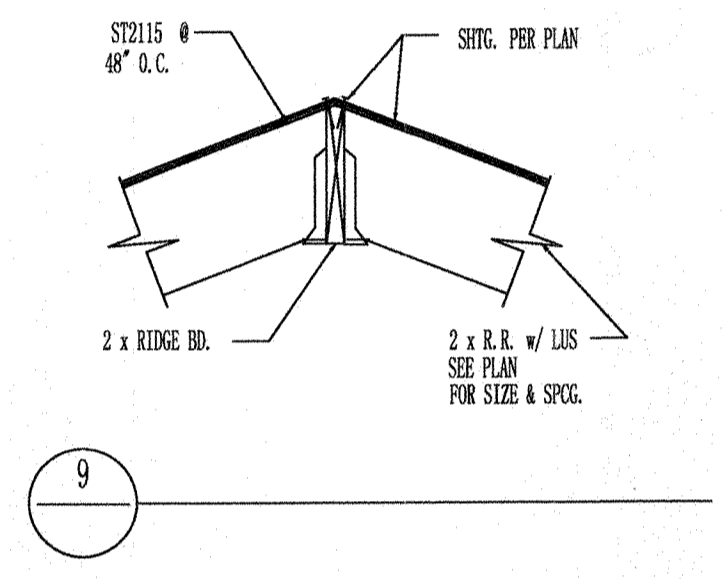
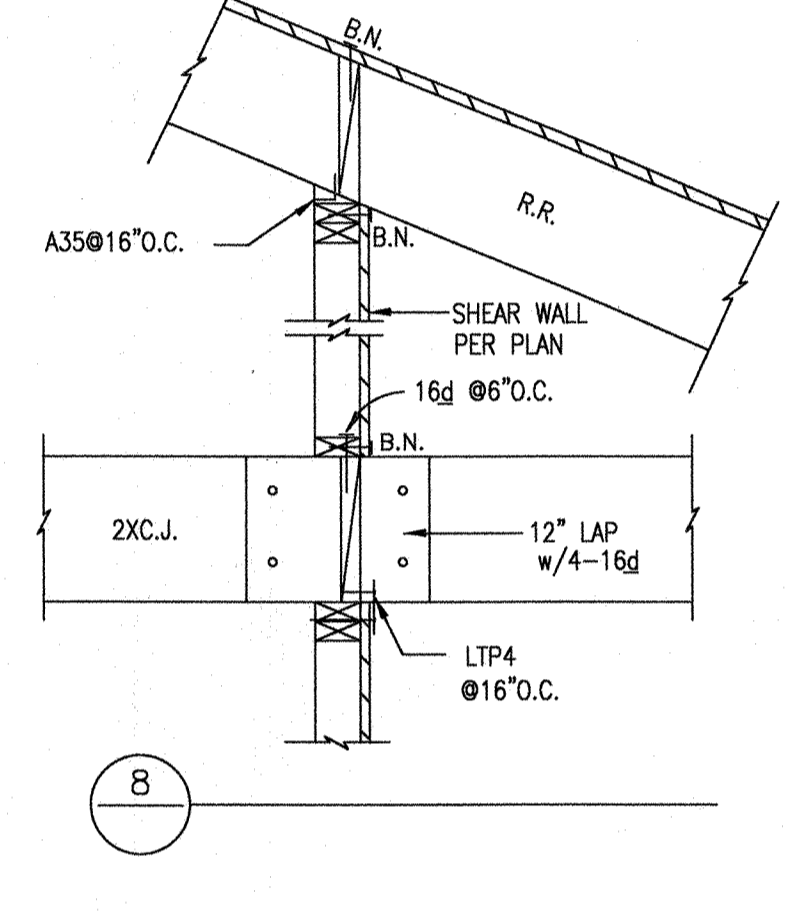
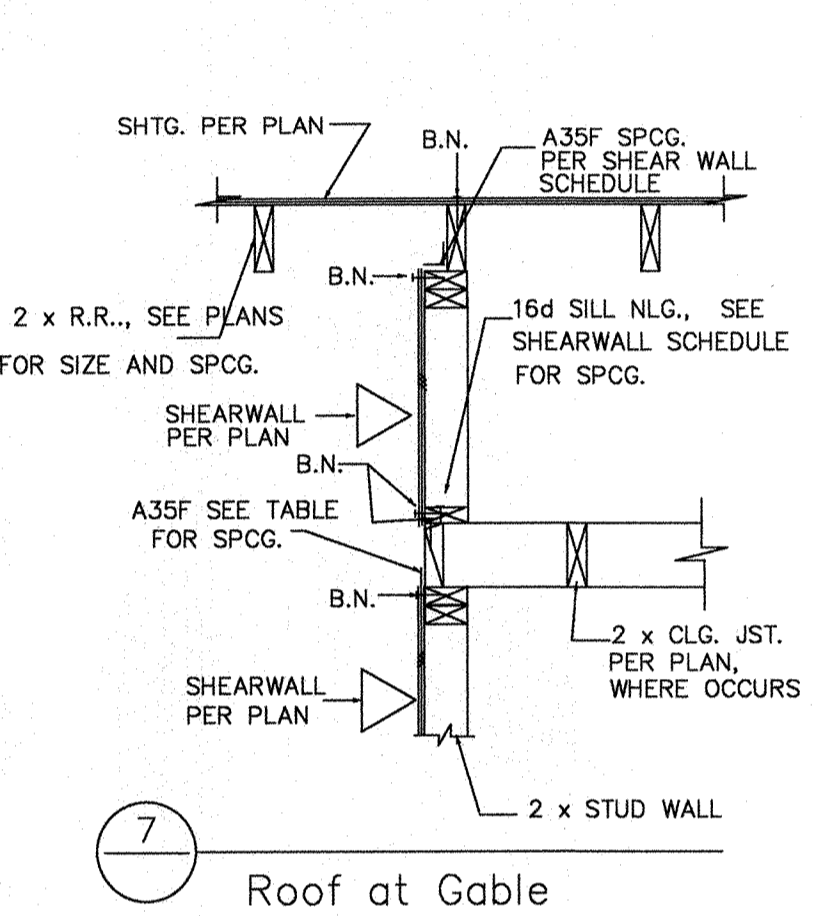
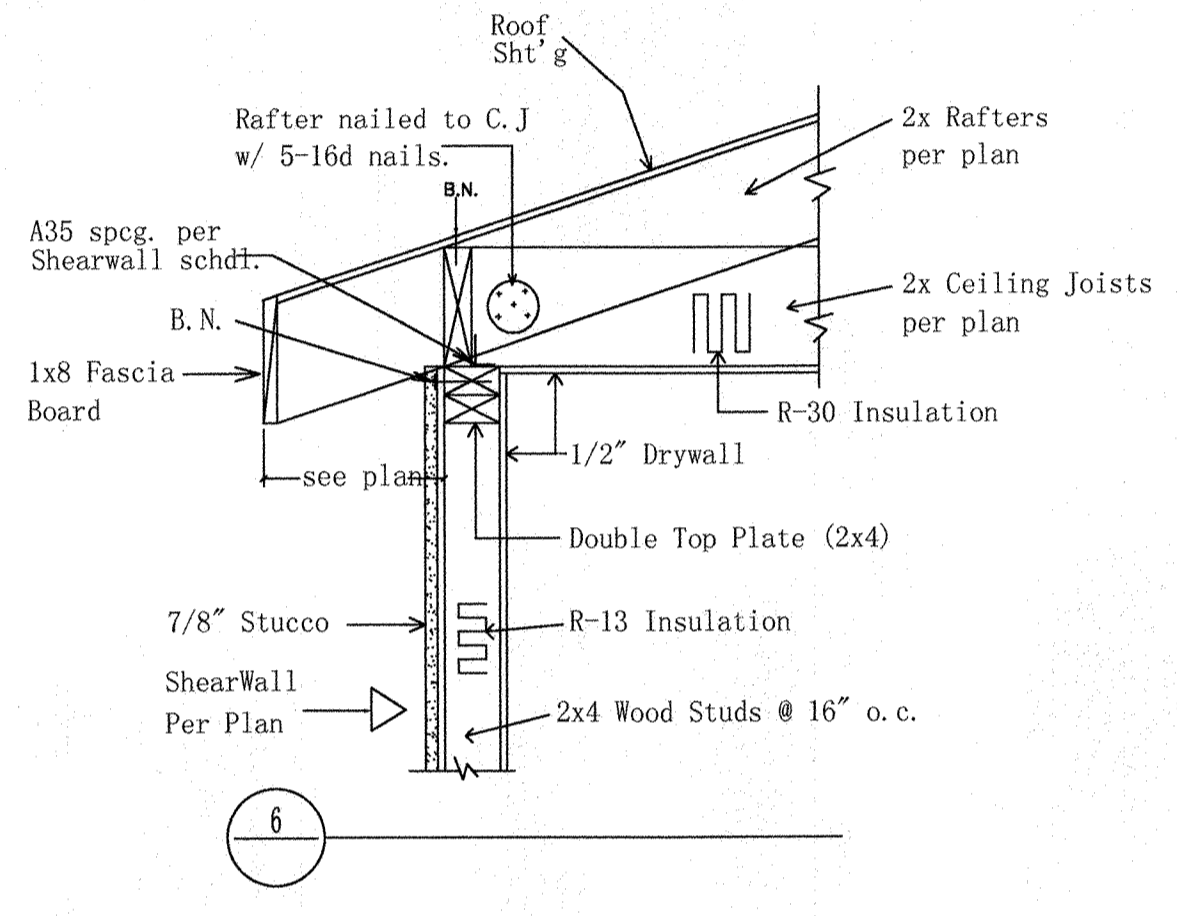
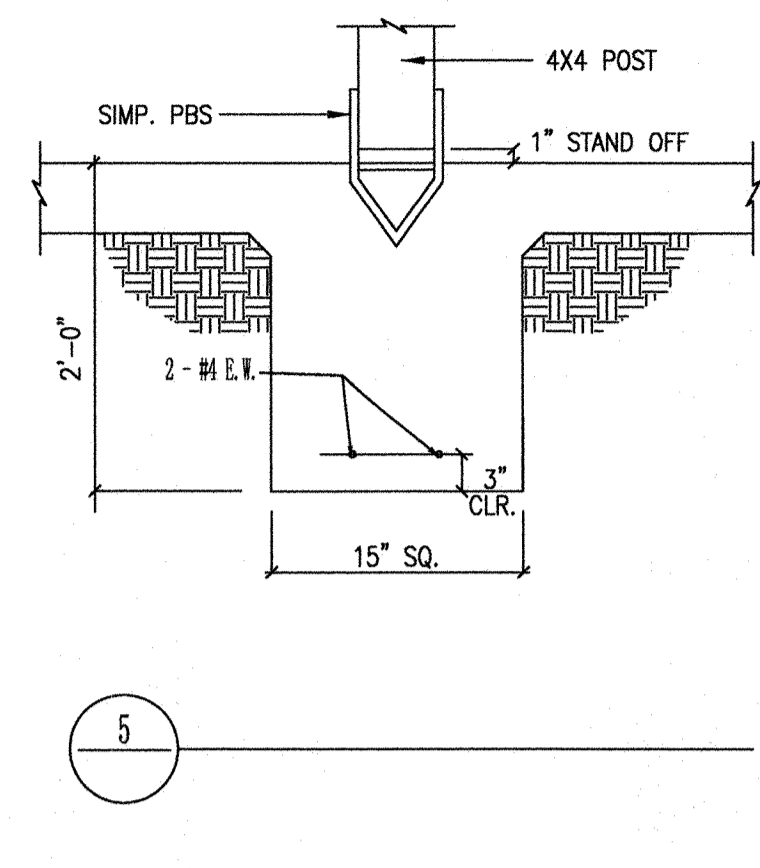
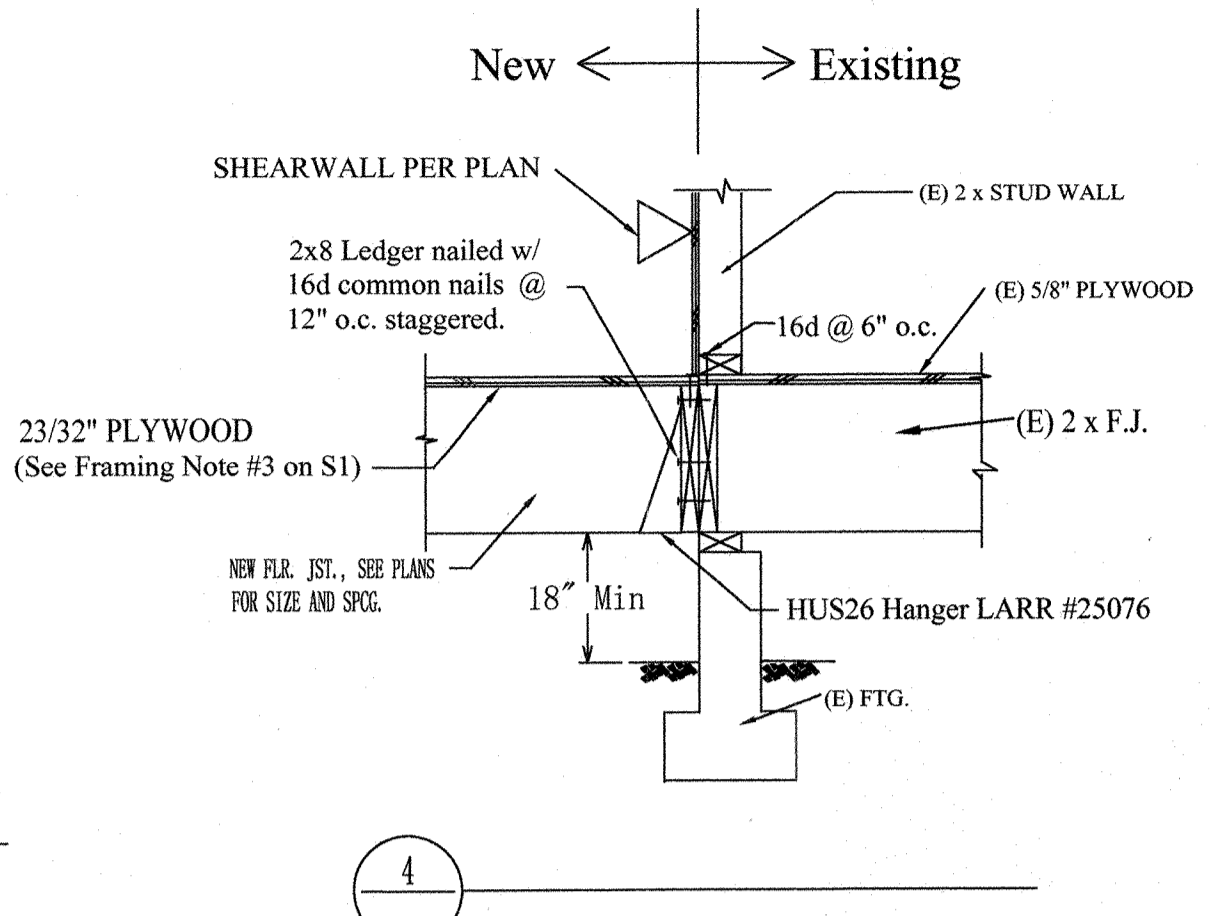
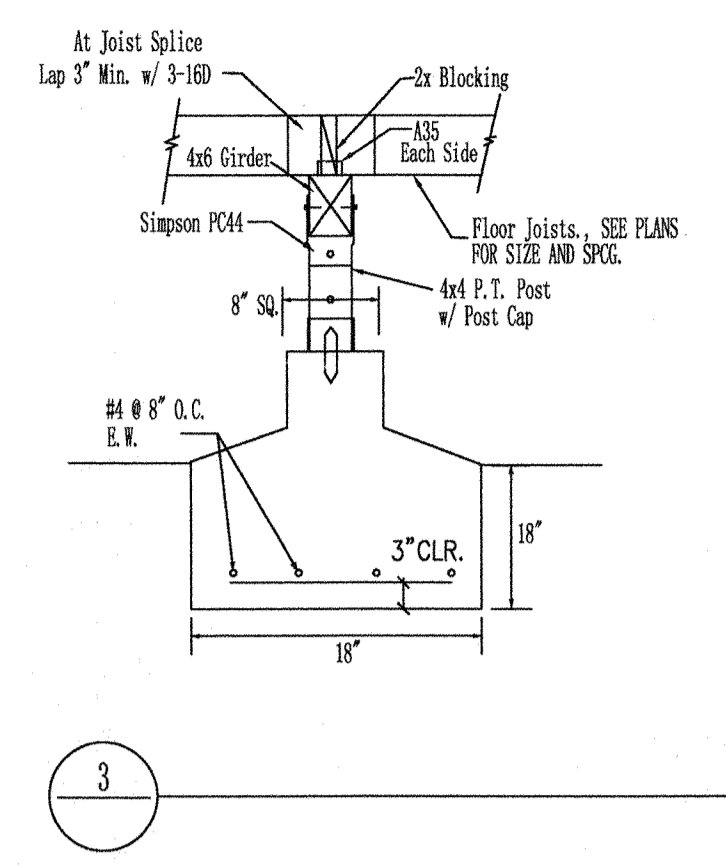
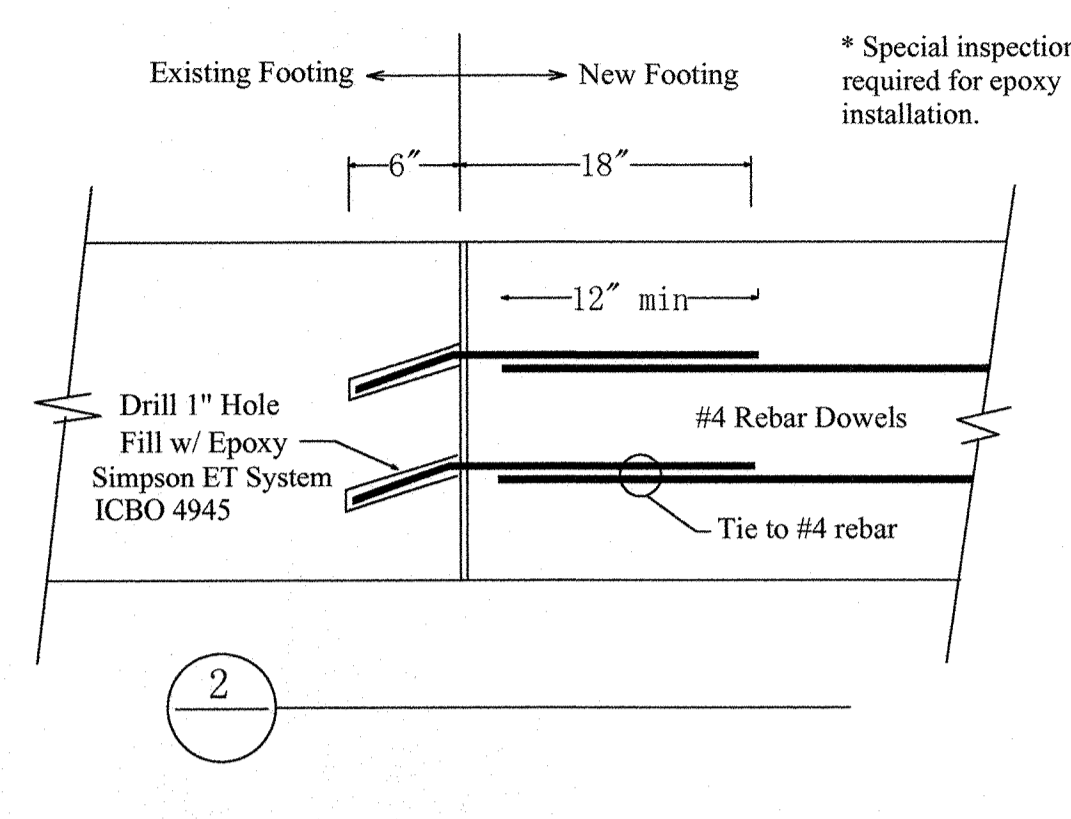
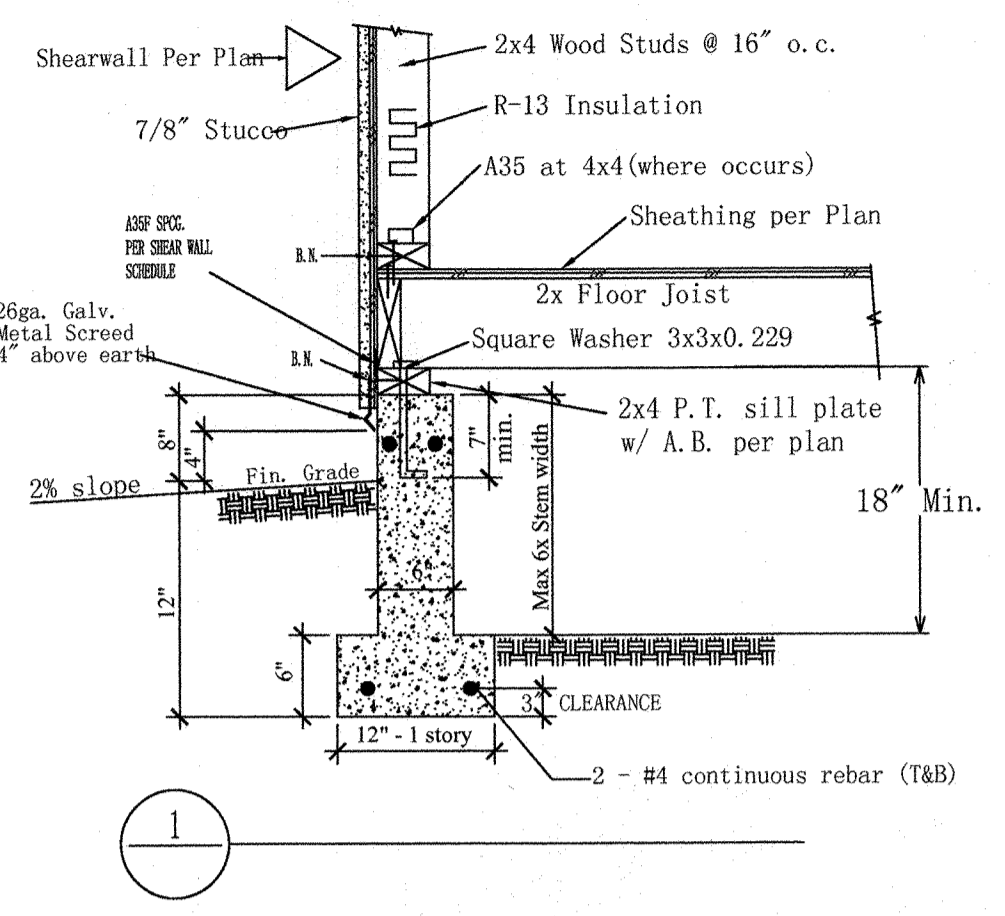
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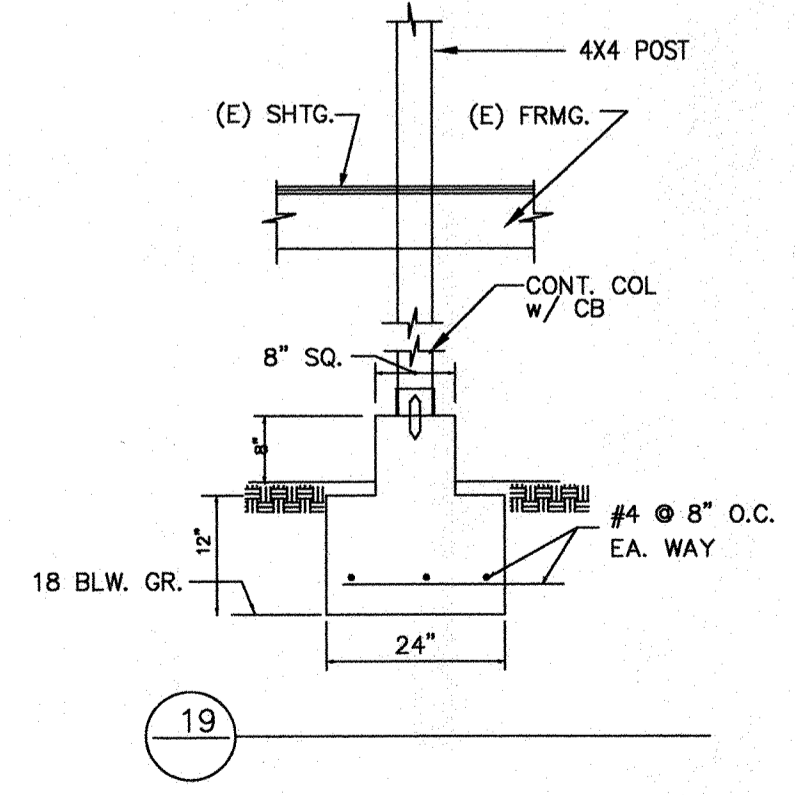
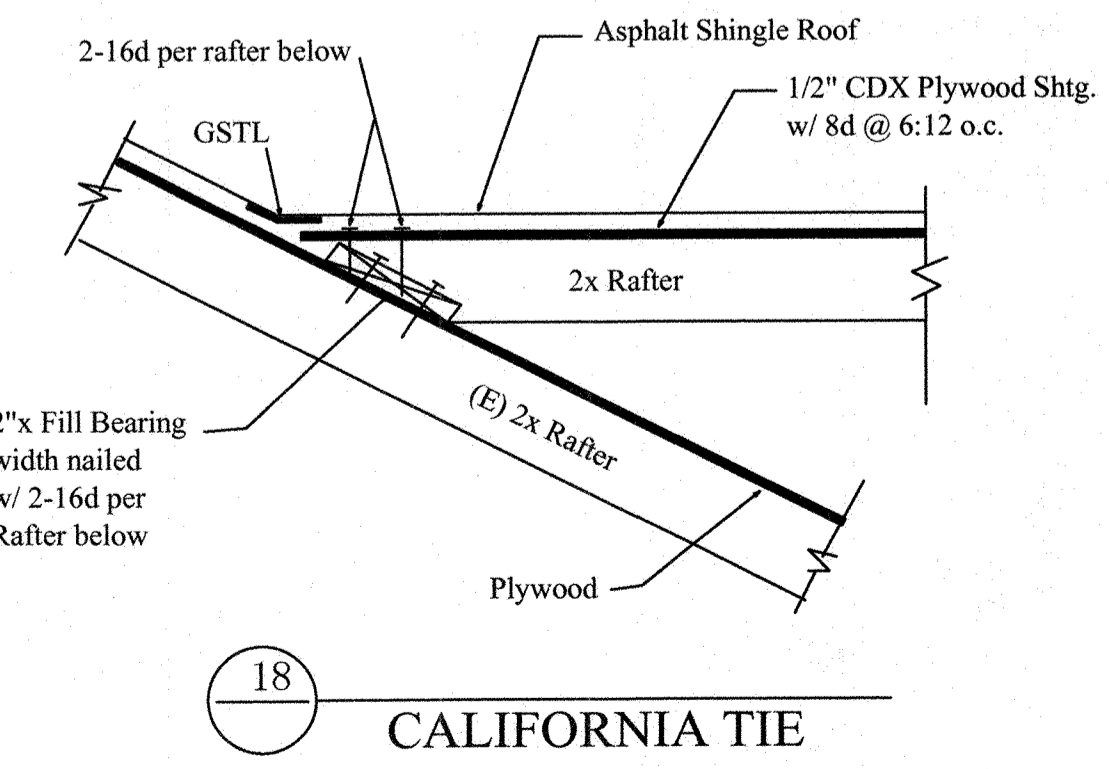
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Sheets



TYPE	BOLTS TO POST	ANCHOR BOLT "SSTB"	to	de	PLATE WASHER
HIT22	32-16d SINKERS	5/8" SSTB24	20-5/8"	1 3/4"	
HD 2A	2-5/8" BOLTS	5/8" SSTB16	12-5/8"	1 3/4"	3"x3"x1/4"
HD 5A	2-3/4" BOLTS	5/8" SSTB20	16-5/8"	1 3/4"	3"x3"x1/4"
HD 6A	2-7/8" BOLTS	7/8" SSTB28	24-7/8"	1 3/4"	3"x3"x1/4"
HD 8A	3-7/8" BOLTS	7/8" SSTB28	24-7/8"	1 3/4"	3"x3"x1/4"
HD10A	4-7/8" BOLTS	7/8" SSTB28	24-7/8"	1 3/4"	3"x3"x1/4"



NOTE: SPECIAL INSPECTION REQUIRED FOR EPOXY INSTALLATION

NOTE: SPECIAL INSPECTION REQUIRED FOR EPOXY INSTALLATION

NOT ANY

CERTIFICATE OF COMPLIANCE: Residential (Part 5 of 5) CF-1R

Project Name: SINGLE HOUSE ADDITION Building Type: Single Family Addition Alone Date: 10/25/2011

BUILDING ZONE INFORMATION

System Name	Zone Name	New	Existing	Altered	Removed	Volume	Year Built
WHOLE HOUSE	NEW FLOOR PLAN	735	577			5,880	1950
	EXISTING FLOOR PLAN					4,616	
Totals		735	577	0	0		

HVAC SYSTEMS

System Name	Qty.	Heating Type	Min. Eff.	Cooling Type	Min. Eff.	Thermostat Type	Status
WHOLE HOUSE	1	Central Furnace	80% AFUE	Split Air Conditioner	13.0 SEER	Setback	Altered
pre-altered for above		Central Furnace	80% AFUE	Split Air Conditioner	10.0 SEER	Setback	

HVAC DISTRIBUTION

System Name	Heating	Cooling	Duct Location	Duct R-Value	Ducts Tested?	Status
WHOLE HOUSE	Ducted	Ducted	Attic, Ceiling Ins. vented	6.0	<input type="checkbox"/>	New
pre-altered for above	Ducted	Ducted	Attic, Ceiling Ins. vented	4.2	<input type="checkbox"/>	

WATER HEATING SYSTEMS

System Name	Qty.	Type	Distribution	Rated Input (Btu/h)	Tank Cap. (gal)	Energy Factor or RE	Standby Loss or Pilot	Ext. Tank Insul. R-Value	Status
RHEEM 22VRTS-70N (75)	1	Small Gas	All Pipes Ins	70,000	75	0.53	n/a	n/a	Altered
EXISTING WATER HEAT	1	Small Gas	pre-altered for Above	37,000	50	0.53	n/a	n/a	

MULTI-FAMILY WATER HEATING DETAILS

Control	Qty.	HP	Hot Water Piping Length (ft)			Add. Insulation	System Name	Pipe Length	Pipe Diameter	Insul. Thick.
			Plenum	Outside	Buried					
<input type="checkbox"/>										
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<input type="checkbox"/>										
<input type="checkbox"/>										

EnergyPro 5.1 by EnergySoft User Number: 1919 RunCode: 2011-10-25T10:54:33 ID: F11-1382 Page 7 of 16

MANDATORY MEASURES SUMMARY: Residential (Page 1 of 3) MF-1R

Project Name: SINGLE HOUSE ADDITION Date: 10/25/2011

NOTE: Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the compliance approach used. More stringent energy measures listed on the Certificate of Compliance (CF-1R, CF-1R-ADD, or CF-1R-ALT Form) shall supersede the items marked with an asterisk (*) below. This Mandatory Measures Summary shall be incorporated into the permit documents, and the applicable features shall be considered by all parties as minimum component performance specifications whether they are shown elsewhere in the documents or in this summary. Submit all applicable sections of the MF-1R Form with plans.

Building Envelope Measures:

\$116(a)1: Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.

\$116(a)4: Fenestration products (except field-fabricated windows) have a label listing the certified U-Factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration that meets the requirements of §10-111(a).

\$117: Exterior doors and windows are weather-stripped, all joints and penetrations are caulked and sealed.

\$118(a): Insulation specified or installed meets Standards for Insulating Material. Indicate type and include on CF-6R Form.

\$118(b): The thermal emittance and solar reflectance values of the cool roofing material meets the requirements of §118(b) when the installation of a Cool Roof is specified on the CF-1R Form.

*\$150(a): Minimum R-19 insulation in wood-frame ceiling or equivalent U-factor.

\$150(b): Loose fill insulation shall conform with manufacturer's installed design labeled R-Value.

*\$150(c): Minimum R-13 insulation in wood-frame wall or equivalent U-factor.

*\$150(d): Minimum R-13 insulation in raised wood-frame floor or equivalent U-factor.

\$150(f): Air retarding wrap is tested, labeled, and installed according to ASTM E1677-95(2000) when specified on the CF-1R Form.

\$150(g): Mandatory Vapor Barrier installed in Climate Zones 14 or 16.

\$150(i): Water absorption rate for slab edge insulation material alone without facings is no greater than 0.3%; water vapor permeance rate is no greater than 2.0 perm/inch and shall be protected from physical damage and UV light deterioration.

Fireplaces, Decorative Gas Appliances and Gas Log Measures:

\$150(e)1A: Masonry or factory-built fireplaces have a closable metal or glass door covering the entire opening of the firebox.

\$150(e)1B: Masonry or factory-built fireplaces have a combination outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and light-fitting damper and a combustion-air control device.

\$150(e)2: Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.

Space Conditioning, Water Heating and Plumbing System Measures:

\$110-§113: HVAC equipment, water heaters, showerheads, faucets and all other regulated appliances are certified by the Energy Commission.

\$113(c)5: Water heating recirculation loops serving multiple dwelling units and High-Rise residential occupancies meet the air release valve, backflow prevention, pump isolation valve, and recirculation loop connection requirements of §113(c)5.

\$115: Continuously burning pilot lights are prohibited for natural gas; fan-type central furnaces, household cooking appliances (appliances with an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt), and pool and spa heaters.

\$150(h): Heating and/or cooling loads are calculated in accordance with ASHRAE, SMACNA or ACCA.

\$150(i): Heating systems are equipped with thermostats that meet the setback requirements of Section 112(c).

\$150(j)1A: Storage gas water heaters rated with an Energy Factor no greater than the federal minimal standard are externally wrapped with insulation having an installed thermal resistance of R-12 or greater.

\$150(j)1B: Unvented storage tanks, such as storage tanks or backup tanks for solar water-heating system, or other indirect hot water tanks have R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.

\$150(j)2: First 5 feet of hot and cold water pipes closest to water heater tank, non-recirculating systems, and entire length of recirculating sections of hot water pipes are insulated per Standards Table 150-B.

\$150(j)3: Cooling system piping (suction, chilled water, or brine lines), and piping installed between heating source and indirect hot water tank shall be insulated to Table 150-B and Equation 150-A.

\$150(j)4: Pipe insulation for steam hydronic heating systems or hot water systems >15 psi, meets the requirements of Standards Table 123-A.

\$150(j)3A: Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind.

\$150(j)3B: Insulation for chilled water piping and refrigerant suction lines includes a vapor retardant or is enclosed entirely in conditioned space.

\$150(j)4: Solar water-heating systems and/or collectors are certified by the Solar Rating and Certification Corporation.

EnergyPro 5.1 by EnergySoft User Number: 1919 RunCode: 2011-10-25T10:54:33 ID: F11-1382 Page 8 of 16

MANDATORY MEASURES SUMMARY: Residential (Page 3 of 3) MF-1R

Project Name: SINGLE HOUSE ADDITION Date: 10/25/2011

\$150(k)10: Permanently installed luminaires in bathrooms, attached and detached garages, laundry rooms, closets and utility rooms shall be high efficacy.

EXCEPTION 1: Permanently installed low efficacy luminaires shall be allowed provided that they are controlled by a manual-on occupant sensor certified to comply with the applicable requirements of §119.

EXCEPTION 2: Permanently installed low efficacy luminaires in closets less than 70 square feet are not required to be controlled by a manual-on occupant sensor.

\$150(k)11: Permanently installed luminaires located in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, closets, and utility rooms shall be high efficacy luminaires. EXCEPTION 1: Permanently installed low efficacy luminaires shall be allowed provided they are controlled by either a dimmer switch that complies with the applicable requirements of §119, or by a manual-on occupant sensor that complies with the applicable requirements of §119. EXCEPTION 2: Lighting in detached storage building less than 1000 square feet located on a residential site is not required to comply with §150(k)11.

\$150(k)12: Luminaires recessed into insulated ceilings shall be listed for zero clearance insulation contact (C) by Underwriters Laboratories or other nationally recognized testing/training laboratory, and have a label that certifies the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283; and be sealed with a gasket or caulk between the luminaire housing and ceiling.

\$150(k)13: Luminaires providing outdoor lighting, including lighting for private patios in low-rise residential buildings with four or more dwelling units, entrances, balconies, and porches, which are permanently mounted to a residential building or to other buildings on the same lot shall be high efficacy. EXCEPTION 1: Permanently installed outdoor low efficacy luminaires shall be allowed provided that they are controlled by a manual on/off switch, a motion sensor not having an override or bypass switch that disables the motion sensor, and one of the following controls: a photocell not having an override or bypass switch that disables the photocell; OR an astronomical time clock not having an override or bypass switch that disables the astronomical time clock; OR an energy management control system (EMCS) not having an override or bypass switch that allows the luminaire to be always on; EXCEPTION 2: Outdoor luminaires used to comply with Exception 1 to §150(k)13 may be controlled by a temporary override switch which bypasses the motion sensing function provided that the motion sensor is automatically reactivated within six hours. EXCEPTION 3: Permanently installed luminaires in or around swimming pool, water features, or other location subject to Article 880 of the California Electric Code need not be high efficacy luminaires.

\$150(k)14: Internally illuminated address signs shall comply with Section 148; OR not contain a screw-base socket, and consume no more than five watts of power as determined according to §130(d).

\$150(k)15: Lighting for parking lots and carports with a total of 8 or more vehicles per site shall comply with the applicable requirements in Sections 130, 132, 134, and 147. Lighting for parking garages for 8 or more vehicles shall comply with the applicable requirements of Sections 130, 131, 134, and 146.

\$150(k)16: Permanently installed lighting in the enclosed, non-dwelling spaces of low-rise residential buildings with four or more dwelling units shall be high efficacy luminaires. EXCEPTION: Permanently installed low efficacy luminaires shall be allowed provided that they are controlled by an occupant sensor(s) certified to comply with the applicable requirements of §119.

EnergyPro 5.1 by EnergySoft User Number: 1919 RunCode: 2011-10-25T10:54:33 ID: F11-1382 Page 10 of 16

MANDATORY MEASURES SUMMARY: Residential (Page 2 of 3) MF-1R

Project Name: SINGLE HOUSE ADDITION Date: 10/25/2011

\$150(m)1: All air-distribution system ducts and plenums installed, are sealed and insulated to meet the requirements of CMC Sections 601, 602, 603, 604, 605 and Standard 6-5; supply-air and return-air ducts and plenums are insulated to a minimum installed level of R-4.2 or enclosed entirely in conditioned space. Openings shall be sealed with mastic, tape or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or a tested sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape shall be used.

\$150(m)1: Building cavities, support platforms for air handlers, and plenums defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.

\$150(m)2D: Joints and seams of duct systems and their components shall not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.

\$150(m)7: Exhaust fan systems have back draft or automatic dampers.

\$150(m)8: Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampers.

\$150(m)9: Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Cellular foam insulation shall be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation that can cause degradation of the material.

\$150(m)10: Flexible ducts cannot have porous inner cores.

\$150(d): All dwelling units shall meet the requirements of ANSI/ASHRAE Standard 62.2-2007 Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings. Window operation is not a permissible method of providing the Whole Building Ventilation required in Section 4 of that Standard.

Pool and Spa Heating Systems and Equipment Measures:

\$114(a): Any pool or spa heating system shall be certified to have: a thermal efficiency that complies with the Appliance Efficiency Regulations; an on-off switch mounted outside of the heater; a permanent weatherproof plate or card with operating instructions; and shall not use electric resistance heating or a pilot light.

\$114(b)1: Any pool or spa heating equipment shall be installed with at least 36" of pipe between filter and heater, or dedicated suction and return lines, or built-up connections for future solar heating.

\$114(b)2: Outdoor pools or spas that have a heat pump or gas heater shall have a cover.

\$114(b)3: Pools shall have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.

\$150(p): Residential pool systems or equipment meet the pump sizing, flow rate, piping, filters, and valve requirements of §150(p).

Residential Lighting Measures:

\$150(k)1: High efficacy luminaires or LED Light Engine with Integral Heat Sink has an efficacy that is no lower than the efficacies contained in Table 150-C and is not a low efficacy luminaire as specified by §150(k)2.

\$150(k)3: The wattage of permanently installed luminaires shall be determined as specified by §130(d).

\$150(k)4: Ballasts for fluorescent lamps rated 13 Watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.

\$150(k)5: Permanently installed night lights and night lights integral to a permanently installed luminaire or exhaust fan shall contain only high efficacy lamps meeting the minimum efficacies contained in Table 150-C and shall not contain a line-voltage socket or line-voltage lamp holder; OR shall be rated to consume no more than five watts of power as determined by §130(d), and shall not contain a medium screw-base socket.

\$150(k)6: Lighting integral to exhaust fans, in rooms other than kitchens, shall meet the applicable requirements of §150(k).

\$150(k)7: All switching devices and controls shall meet the requirements of §150(k)7.

\$150(k)8: A minimum of 50 percent of the total rated wattage of permanently installed lighting in kitchens shall be high efficacy. EXCEPTION: Up to 50 watts for dwelling units less than or equal to 2,500 sq ft or 100 watts for dwelling units larger than 2,500 sq ft may be exempt from the 50% high efficacy requirement when: all low efficacy luminaires in the kitchen are controlled by a manual on occupant sensor, dimmer, energy management system (EMCS), or a multi-scene programmable control system; and all permanently installed luminaires in garages, laundry rooms, closets greater than 70 square feet, and utility rooms are high efficacy and controlled by a manual-on occupant sensor.

\$150(k)9: Permanently installed lighting that is internal to cabinets shall use no more than 20 watts of power per linear foot of illuminated cabinet.

EnergyPro 5.1 by EnergySoft User Number: 1919 RunCode: 2011-10-25T10:54:33 ID: F11-1382 Page 9 of 16

HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Project Name: SINGLE HOUSE ADDITION Date: 10/25/2011

System Name: WHOLE HOUSE Floor Area: 1,312

Number of Systems	Heating System	COIL COOLING PEAK			COIL HTG. PEAK	
		CFM	Sensible	Latent	CFM	Sensible
1		700	14,742	1,250	493	19,223
	Total Room Loads					
	Return Vented Lighting		0			
	Return Air Ducts		545			999
	Cooling System					
	Return Fan		0			0
	Ventilation		0	0	0	0
	Supply Fan		0			0
	Supply Air Ducts		545			999
	TOTAL SYSTEM LOAD		15,831	1,250		21,221

Air System

CFM per System	Airflow (cfm)	Airflow (cfm/sqft)	Airflow (cfm/Ton)	Outside Air (%)	Outside Air (cfm/sqft)
1,200	1,200	0.91	423.5	0.0%	0.00

HVAC EQUIPMENT SELECTION

Equipment	CFM	Sensible	Latent	Total Adjusted System Output (Adjusted for Peak Design conditions)
CARRIER 38TXA-036S8STA-070-12	24,704	7,132		24,704
TOTAL ADJUSTED SYSTEM OUTPUT				24,704

Time of System Peak: Aug 3 PM, Jan 1 AM

HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)

COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)

EnergyPro 5.1 by EnergySoft User Number: 1919 RunCode: 2011-10-25T10:54:33 ID: F11-1382 Page 11 of 16

REVISIONS BY

PERFECT DESIGN & DEVELOPMENT, INC.
 Design & Consulting
 Air-Conditioning, Plumbing, Fire Sprinkler System,
 Electrical, Title 24 Energy Calculation.
 2416 W. Valley Blvd.
 Alhambra, CA 91803
 Tel: (626) 289-8006
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 E-Mail: PERFECTDESIGN@comcast.net

SINGLE HOUSE ADDITION
 1230 W. 6TH STREET
 SANTA ANA, CA 92703

Date: 10/25/2011
 Scale:
 Drawn:
 Job: F11-1382
 Sheet: 2
 CF-1R, MF-1R
 & MANDATORY
 REQUIREMENTS
 Of 2 Sheets

PERFORMANCE CERTIFICATE: Residential (Part 1 of 5) CF-1R

Project Name: SINGLE HOUSE ADDITION Building Type: Single Family Addition Alone Date: 10/25/2011
 Project Address: 1230 W. 6TH STREET SANTA ANA California Energy Climate Zone: CA Climate Zone 08 Total Cond. Floor Area: 1,312 Addition: 735 # of Stories: 1

FIELD INSPECTION ENERGY CHECKLIST
 Yes No HERS Measures -- If Yes, A CF-4R must be provided per Part 2 of 5 of this form.
 Yes No Special Features -- If Yes, see Part 2 of 5 of this form for details.

Construction Type	Cavity	Area (ft ²)	Special Features (see Part 2 of 5)	Status
Roof Wood Framed Attic	R-30	735		New
Wall Wood Framed	R-13	552		New
Floor Wood Framed w/Crawl Space	R-19	735		New
Roof Wood Framed Attic	R-30	577		Existing
Wall Wood Framed	None	591		Existing
Floor Wood Framed w/Crawl Space	None	577		Existing

Orientation	Area (ft ²)	U-Factor	SHGC	Overhang	Sidelights	Exterior Shades	Status
Right (W)	46.3	0.360	0.24	none	none	Bug Screen	New
Left (E)	49.6	0.360	0.24	none	none	Bug Screen	New
Front (N)	0.0	0.360	0.24	none	none	Bug Screen	New
Rear (S)	33.5	0.360	0.24	none	none	Bug Screen	New
Right (W)	31.5	0.360	0.24	none	none	Bug Screen	Altered
Left (E)	23.3	0.360	0.24	none	none	Bug Screen	Altered
Front (N)	40.5	0.360	0.24	none	none	Bug Screen	Altered

Qty.	Heating	Min. Eff	Cooling	Min. Eff	Thermostat	Status
1	Central Furnace	80% AFUE	Split Air Conditioner	13.0 SEER	Setback	Altered

Location	Heating	Cooling	Duct Location	Duct R-Value	Status
WHOLE HOUSE	Ducted	Ducted	Attic, Ceiling Ins, vented	6.0	New

Qty.	Type	Gallons	Min. Eff	Distribution	Status
1	Small Gas	75	0.53	All Pipes Ins	Altered

EnergyPro 5.1 by EnergySoft User Number: 1919 RunCode: 2011-10-25T10:54:33 ID: F11-1382 Page 3 of 16

PERFORMANCE CERTIFICATE: Residential (Part 2 of 5) CF-1R

Project Name: SINGLE HOUSE ADDITION Building Type: Single Family Addition Alone Date: 10/25/2011

SPECIAL FEATURES INSPECTION CHECKLIST
 The enforcement agency should pay special attention to the items specified in this checklist. These items require special written justification and documentation, and special verification to be used with the performance approach. The enforcement agency determines the adequacy of the justification, and may reject a building or design that otherwise complies based on the adequacy of the special justification and documentation submitted.

HERS REQUIRED VERIFICATION
 Items in this section require field testing and/or verification by a certified HERS Rater. The inspector must receive a completed CF-4R form for each of the measures listed below for final to be given.

EnergyPro 5.1 by EnergySoft User Number: 1919 RunCode: 2011-10-25T10:54:33 ID: F11-1382 Page 4 of 16

PERFORMANCE CERTIFICATE: Residential (Part 3 of 5) CF-1R

Project Name: SINGLE HOUSE ADDITION Building Type: Single Family Addition Alone Date: 10/25/2011

ANNUAL ENERGY USE SUMMARY

Standard	Proposed	Margin	
TDV (kBtu/ft ² -yr)			
Space Heating	20.70	19.89	0.82
Space Cooling	32.88	30.51	2.37
Fans	11.02	10.33	0.69
Domestic Hot Water	25.54	25.54	0.00
Pumps	0.00	0.00	0.00
Totals	90.15	86.28	3.87

Percent Better Than Standard: 4.3%

BUILDING COMPLIES - NO HERS VERIFICATION REQUIRED

Building Front Orientation:	(N) 0 deg	Ext. Walls/Roof	Wall Area	Fenestration Area
Number of Dwelling Units:	1.00	(N)	177	41
Fuel Available at Site:	Natural Gas	(E)	507	73
Raised Floor Area:	1,312	(S)	177	34
Slab on Grade Area:	0	(W)	507	78
Average Ceiling Height:	8.0	Roof	1,312	225
Fenestration Average U-Factor:	0.36	TOTAL:		17.1%
Average SHGC:	0.24	Fenestration/CFA Ratio:		

REMARKS

STATEMENT OF COMPLIANCE
 This certificate of compliance lists the building features and specifications needed to comply with Title 24, Parts 1 the Administrative Regulations and Part 6 the Efficiency Standards of the California Code of Regulations.

The documentation author hereby certifies that the documentation is accurate and complete.

Documentation Author
 Company: PERFECT DESIGN & DEVELOPMENT, INC.
 Address: 2416 W Valley Blvd Name: Perfect Design
 City/State/Zip: Alhambra, Ca 91803 Phone: (626)289-8808 Signed: Date:

The individual with overall design responsibility hereby certifies that the proposed building design represented in this set of construction documents is consistent with the other compliance forms and worksheets, with the specifications, and with any other calculations submitted with this permit application, and recognizes that compliance using duct design, duct sealing, verification of refrigerant charge, insulation installation quality, and building envelope sealing require installer testing and certification and field verification by an approved HERS rater.

Designer or Owner (per Business & Professions Code)
 Company: TEG DEVELOPMENT Name: Name
 Address: Address Phone: (323) 806-3619 Signed: License # Date

EnergyPro 5.1 by EnergySoft User Number: 1919 RunCode: 2011-10-25T10:54:33 ID: F11-1382 Page 5 of 16

CERTIFICATE OF COMPLIANCE: Residential (Part 4 of 5) CF-1R

Project Name: SINGLE HOUSE ADDITION Building Type: Single Family Addition Alone Date: 10/25/2011

OPAQUE SURFACE DETAILS

Type	Area	U-Factor	SHGC	Azm	Tilt	Status	Joint Appendix	Location/Comments
Roof	735	0.032	R-30		0	22	New	4.2.1-A8 NEW FLOOR
Wall	275	0.102	R-13		270	90	New	4.3.1-A3 NEW FLOOR
Wall	190	0.102	R-13		90	90	New	4.3.1-A3 NEW FLOOR
Wall	0	0.102	R-13		90	90	New	4.3.1-A3 NEW FLOOR
Wall	127	0.102	R-13		180	90	New	4.3.1-A3 NEW FLOOR
Floor	735	0.037	R-19		0	180	New	4.4.1-A4 NEW FLOOR
Roof	577	0.032	R-30		0	22	Existing	4.2.1-A8 EXISTING FLOOR
Wall	155	0.356	None		270	90	Existing	4.3.1-A1 EXISTING FLOOR
Wall	284	0.356	None		90	90	Existing	4.3.1-A1 EXISTING FLOOR
Wall	136	0.356	None		0	90	Existing	4.3.1-A1 EXISTING FLOOR
Wall	16	0.356	None		180	90	Existing	4.3.1-A1 EXISTING FLOOR
Floor	577	0.097	None		0	180	Existing	4.4.1-A1 EXISTING FLOOR

FENESTRATION SURFACE DETAILS

ID	Type	Area	U-Factor	SHGC	Azm	Status	Glazing Type	Location/Comments
1	Window	46.3	0.360	NFRC	0.24	NFRC	270 New	Double Non Metal Clear (6) NEW FLOOR
2	Window	49.6	0.360	NFRC	0.24	NFRC	90 New	Double Non Metal Clear (6) NEW FLOOR
3	Window	0.0	0.360	NFRC	0.24	NFRC	0 New	Double Non Metal Clear (6) NEW FLOOR
4	Window	33.5	0.360	NFRC	0.24	NFRC	180 New	Double Non Metal Clear (6) NEW FLOOR
5	Window	31.5	0.360	NFRC	0.24	NFRC	270 Altered	Double Non Metal Clear (6) EXISTING FLOOR
6	Existing	1.190	Default	0.83	Default			Single Metal Clear EXISTING FLOOR
7	Window	23.3	0.360	NFRC	0.24	NFRC	90 Altered	Double Non Metal Clear (6) pre-altered for above
8	Existing	1.190	Default	0.83	Default			Single Metal Clear EXISTING FLOOR
9	Window	40.5	0.360	NFRC	0.24	NFRC	0 Altered	Double Non Metal Clear (6) EXISTING FLOOR
10	Existing	1.190	Default	0.83	Default			Single Metal Clear pre-altered for above

(1) U-Factor Type: 116-A = Default Table from Standards, NFRC = Labeled Value
 (2) SHGC Type: 116-B = Default Table from Standards, NFRC = Labeled Value

EXTERIOR SHADING DETAILS

ID	Exterior Shade Type	SHGC	Window Hgt	Wd	Len	Hgt	LExt	RExt	Dist	Left Fin Len	Hgt	Right Fin Len	Hgt
1	Bug Screen	0.76											
2	Bug Screen	0.76											
3	Bug Screen	0.76											
4	Bug Screen	0.76											
5	Bug Screen	0.76											
6	Bug Screen	0.76											
7	Bug Screen	0.76											
8	Bug Screen	0.76											
9	Bug Screen	0.76											
10	Bug Screen	0.76											

EnergyPro 5.1 by EnergySoft User Number: 1919 RunCode: 2011-10-25T10:54:33 ID: F11-1382 Page 6 of 16

9. Administrative Requirements: The following notes (items) represent the administrative requirements for all buildings and shall appear as notes on the plans.
- A) The person with overall responsibility for construction or the person responsible for the installation of regulated manufactured devices shall post, or make available with the building permit(s) issued for the building, the Installation Certificate(s) for manufactured devices regulated by the Appliance Efficiency Regulations or Part 6. Such Installation Certificate(s) shall be made available to the enforcement agency for all appropriate inspections. These certificates shall:
- Identify features required to verify compliance with the Appliance Efficiency Regulations and Part 6.
 - State the number of the building permit under which the construction or installation was performed. Sections of the certificate(s), for which submittal to a HERS provider data registry is required, shall display the unique registration number assigned by the HERS data registry.
 - Include a statement indicating that the installed devices conform to the Appliance Efficiency Regulations, and Part 6 and the requirements for such devices given in the plans and specifications approved by the local enforcement agency.
 - Be signed by the individual eligible under Division 3 of the Business and Professional Code to accept responsibility for the building construction.
- Sec. 10-103 (a) 3 A
- B) After installing wall, ceiling, or floor insulation, the installer shall make available to the enforcement agency or post in a conspicuous location in the building a certificate signed by the installer stating that the installation is consistent with the plans and specifications described in Sec. 10-103 (a) 2 A. The certificate shall also state the manufacturer's name, material identification, and the installed R-value.
- Sec. 10-103 (a) 4
- C) The builder shall provide the building owner or the person(s) responsible for building maintenance (in case of multi-tenant or centrally operated buildings) at occupancy the following:
- Compliance information. The appropriate completed and signed Certificate(s) of Compliance (CF-1R), Installation Certificate(s) (CF-6R), and if applicable Certificate(s) of Field Verification and Diagnostic Testing (CF-4R).
 - Operating information. The appropriate Certificate (s) of Compliance and a list of the features, materials, components, and mechanical devices installed in the building and instructions on how to operate them efficiently.
 - Maintenance information. Required routine maintenance actions shall be clearly stated and incorporated on a readily accessible label. The label may be limited to identifying the operation and maintenance manual.
 - Ventilation Information. A description of the quantity of outdoor air that the ventilation system is designed to provide to the building conditioned space, and instructions for proper operation and maintenance.
- Sec. 10-103 (b)
- D) The Enforcement agency shall not issue a Certificate of Compliance until all required Certificates of Field Verification and Diagnostic Testing are posted or made available to the building department, and that all Certificates of Field Verification and Diagnostic Testing conform to the specifications of Section 10-103(a)5.
- Sec. 10-103 (d) 2
 (12-20-2010)

International Window Corporation
 5321HS Horiz. Slider Vinyl Frame Gr-Ids Low-E Double Glazing

NFRC National Fenestration Rating Council CERTIFIED

ENERGY PERFORMANCE RATINGS

U-Factor (U.S./I.P.)	2.1 (Metric/SI)	Solar Heat Gain Coefficient
0.36		0.24

ADDITIONAL PERFORMANCE RATINGS

USE

REVISIONS BY

PAID JAN 26 2011 City of Santa Ana

PERFECT DESIGN & DEVELOPMENT, INC.
 Design & Consulting
 Air-Conditioning, Plumbing, Fire Sprinkler System,
 Electrical, Title 24 Energy Calculation.
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 Tel: (626) 289-8808
 Fax: (626) 289-4913
 E-Mail: PERFECTAAR@aol.com

SINGLE HOUSE ADDITION
 1230 W. 6TH STREET
 SANTA ANA, CA 92703

Date: 10/25/2011
 Scale:
 Drawn:
 Job: F11-1382
 Sheet: 1 of 1
 CF-1R, MF-1R & MANDATORY REQUIREMENTS OF 2 Sheets

REGISTERED PROFESSIONAL MEMBER
 No. 12755
 EX. 09-03
 STATE OF CALIFORNIA

CERTIFICATE OF COMPLIANCE: Residential (Part 5 of 5) CF-1R

Project Name: SINGLE HOUSE ADDITION Building Type: Single Family Addition Alone Date: 10/25/2011

BUILDING ZONE INFORMATION

System Name	Zone Name	Floor Area (ft ²)			Volume	Year Built
		New	Existing	Altered		
WHOLE HOUSE	NEW FLOOR PLAN	735	577		5,880	1950
	EXISTING FLOOR PLAN				4,616	
Totals		735	577	0	0	

HVAC SYSTEMS

System Name	Qty.	Heating Type	Min. Eff.	Cooling Type	Min. Eff.	Thermostat Type	Status
WHOLE HOUSE	1	Central Furnace	80% AFUE	Split Air Conditioner	13.0 SEER	Setback	Altered
pre-altered for above		Central Furnace	80% AFUE	Split Air Conditioner	10.0 SEER	Setback	

HVAC DISTRIBUTION

System Name	Heating	Cooling	Duct Location	Duct R-Value	Ducts Tested?	Status
WHOLE HOUSE	Ducted	Ducted	Attic, Ceiling Ins, vented	6.0	<input type="checkbox"/>	New
pre-altered for above	Ducted	Ducted	Attic, Ceiling Ins, vented	4.2	<input type="checkbox"/>	

WATER HEATING SYSTEMS

System Name	Qty.	Type	Distribution	Rated Input (Btu/h)	Tank Cap. (gal)	Energy Factor or RE	Standby Loss or Pilot	Ext. Tank Insul. R-Value	Status
RHEEM Z2V75-70N (75)	1	Small Gas	All Pipes Ins	70,000	75	0.53	n/a	n/a	Altered
EXISTING WATER HEAT	1	Small Gas	pre-altered for Above	37,000	50	0.53	n/a	n/a	

MULTI-FAMILY WATER HEATING DETAILS

Control	Qty.	HP	Eff.	Hot Water Piping Length (ft)			Add. Insulation
				Plenum	Outside	Buried	
<input type="checkbox"/>							<input type="checkbox"/>
<input type="checkbox"/>							<input type="checkbox"/>
<input type="checkbox"/>							<input type="checkbox"/>
<input type="checkbox"/>							<input type="checkbox"/>

HYDRONIC HEATING SYSTEM PIPING

System Name	Pipe Length	Pipe Diameter	Insul. Thick.
			<input type="checkbox"/>
			<input type="checkbox"/>
			<input type="checkbox"/>

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MANDATORY MEASURES SUMMARY: Residential (Page 1 of 3) MF-1R

Project Name: SINGLE HOUSE ADDITION Date: 10/25/2011

NOTE: Low-rise residential buildings subject to the Standards must comply with all applicable mandatory measures listed, regardless of the compliance approach used. More stringent energy measures listed on the Certificate of Compliance (CF-1R, CF-1R-ADD, or CF-1R-ALT Form) shall supersede the items marked with an asterisk (*) below. This Mandatory Measures Summary shall be incorporated into the permit documents, and the applicable features shall be considered by all parties as minimum component performance specifications whether they are shown elsewhere in the documents or in this summary. Submit all applicable sections of the MF-1R Form with plans.

Building Envelope Measures:

\$116(a)1: Doors and windows between conditioned and unconditioned spaces are manufactured to limit air leakage.

\$116(a)4: Fenestration products (except field-fabricated windows) have a label listing the certified U-Factor, certified Solar Heat Gain Coefficient (SHGC), and infiltration that meets the requirements of §10-111.6.

\$117: Exterior doors and windows are weather-stripped; all joints and penetrations are caulked and sealed.

\$118(a): Insulation specified or installed meets Standards for Insulating Material. Indicate type and include on CF-1R Form.

\$118(b): The thermal emittance and solar reflectance values of the cool roofing material meets the requirements of §118(b) when the installation of a Cool Roof is specified on the CF-1R Form.

*\$150(a): Minimum R-19 insulation in wood-frame ceiling or equivalent U-factor.

\$150(b): Loose fill insulation shall conform with manufacturer's installed design labeled R-Value.

*\$150(c): Minimum R-13 insulation in wood-frame wall or equivalent U-factor.

*\$150(d): Minimum R-13 insulation in raised wood-frame floor or equivalent U-factor.

\$150(e): Air retarding wrap is tested, labeled, and installed according to ASTM E1677-95(2000) when specified on the CF-1R Form.

\$150(f): Mandatory Vapor barrier installed in Climate Zones 14 or 16.

\$150(g): Water absorption rate for slab edge insulation material alone without facings is no greater than 0.3%; water vapor permeance rate is no greater than 2.0 perm/inch and shall be protected from physical damage and UV light deterioration.

Fireplaces, Decorative Gas Appliances and Gas Log Measures:

\$150(a)1A: Masonry or factory-built fireplaces have a closable metal or glass door covering the entire opening of the firebox.

\$150(a)1B: Masonry or factory-built fireplaces have a combustion outside air intake, which is at least six square inches in area and is equipped with a readily accessible, operable, and light-fitting damper and/or a combustion-air control device.

\$150(a)2: Continuous burning pilot lights and the use of indoor air for cooling a firebox jacket, when that indoor air is vented to the outside of the building, are prohibited.

Space Conditioning, Water Heating and Plumbing System Measures:

\$110-§113: HVAC equipment, water heaters, showerheads, faucets and all other regulated appliances are certified by the Energy Commission.

\$113(c)5: Water heating recirculation loops serving multiple dwelling units and High-Rise residential occupancies meet the air release valve, backflow prevention, pump isolation valve, and recirculation loop connection requirements of §113(c)5.

\$115: Continuously burning pilot lights are prohibited for natural gas, fan-type central furnaces, household cooking appliances (appliances with an electrical supply voltage connection with pilot lights that consume less than 150 Btu/hr are exempt), and pool and spa heaters.

\$150(h): Heating and/or cooling loads are calculated in accordance with ASHRAE, SMACNA or ACCA.

\$150(i): Heating systems are equipped with thermostats that meet the setback requirements of Section 112(c).

\$150(j)1A: Storage gas water heaters rated with an Energy Factor no greater than the federal minimal standard are externally wrapped with insulation having an installed thermal resistance of R-12 or greater.

\$150(j)1B: Unfired storage tanks, such as storage tanks or backup tanks for solar water-heating system, or other indirect hot water tanks have R-12 external insulation or R-16 internal insulation where the internal insulation R-value is indicated on the exterior of the tank.

\$150(j)2: First 5 feet of hot and cold water pipes closest to water heater tank, non-recirculating systems, and entire length of recirculating sections of hot water pipes are insulated per Standards Table 150-B.

\$150(j)2: Cooling system piping (suction, chilled water, or brine lines), and piping insulated between heating system and indirect hot water tank shall be insulated to Table 150-B and Equalation 150-A.

\$150(j)2: Pipe insulation for steam hydronic heating systems or hot water systems >15 psi, meets the requirements of Standards Table 150-A.

\$150(j)3A: Insulation is protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind.

\$150(j)3B: Insulation for chilled water piping and refrigerant suction lines includes a vapor retardant or is enclosed entirely in conditioned space.

\$150(j)4: Solar water-heating systems and/or collectors are certified by the Solar Rating and Certification Corporation.

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MANDATORY MEASURES SUMMARY: Residential (Page 3 of 3) MF-1R

Project Name: SINGLE HOUSE ADDITION Date: 10/25/2011

\$150(k)10: Permanently installed luminaires in bathrooms, attached and detached garages, laundry rooms, closets and utility rooms shall be high efficacy.

EXCEPTION 1: Permanently installed low efficacy luminaires shall be allowed provided that they are controlled by a manual-occupant sensor certified to comply with the applicable requirements of §119.

EXCEPTION 2: Permanently installed low efficacy luminaires in closets less than 70 square feet are not required to be controlled by a manual-occupancy sensor.

\$150(k)11: Permanently installed luminaires located in rooms or areas other than in kitchens, bathrooms, garages, laundry rooms, closets, and utility rooms shall be high efficacy luminaires. EXCEPTION 1: Permanently installed low efficacy luminaires shall be allowed provided they are controlled by either a dimmer switch that complies with the applicable requirements of §119, or by a manual-occupant sensor that complies with the applicable requirements of §119. EXCEPTION 2: Lighting in detached storage building less than 1000 square feet located on a residential site is not required to comply with §150(k)11.

\$150(k)12: Luminaires recessed into insulated ceilings shall be listed for zero clearance insulation contact (C) by Underwriters Laboratories or other nationally recognized testing/laboratory, and have a label that certifies the luminaire is airtight with air leakage less than 2.0 CFM at 75 Pascals when tested in accordance with ASTM E283; and be sealed with a gasket or caulk between the luminaire housing and ceiling.

\$150(k)13: Luminaires providing outdoor lighting, including lighting for private patios in low-rise residential buildings with four or more dwelling units, entrances, balconies, and porches, which are permanently mounted to a residential building or to other buildings on the same lot shall be high efficacy. EXCEPTION 1: Permanently installed outdoor low efficacy luminaires shall be allowed provided that they are controlled by a manual on/off switch, a motion sensor not having an override or bypass switch that disables the motion sensor, and one of the following controls: a photocell not having an override or bypass switch that disables the photocell; OR an astronomical time clock not having an override or bypass switch that disables the astronomical time clock; OR an energy management control system (EMCS) not having an override or bypass switch that allows the luminaire to be always on. EXCEPTION 2: Outdoor luminaires used to comply with Exception 1 to §150(k)13 may be controlled by a temporary override switch which bypasses the motion sensing function provided that the motion sensor is automatically reactivated within six hours. EXCEPTION 3: Permanently installed luminaires in or around swimming pool, water features, or other location subject to Article 680 of the California Electric Code need not be high efficacy luminaires.

\$150(k)14: Internally illuminated address signs shall comply with Section 148; OR not contain a screw-base socket, and consume no more than five watts of power as determined according to §130(d).

\$150(k)15: Lighting for parking lots and carports with a total of 8 or more vehicles per site shall comply with the applicable requirements in Sections 130, 132, 134, and 147. Lighting for parking garages for 8 or more vehicles shall comply with the applicable requirements of Sections 130, 131, 134, and 146.

\$150(k)16: Permanently installed lighting in the enclosed, non-dwelling spaces of low-rise residential buildings with four or more dwelling units shall be high efficacy luminaires. EXCEPTION: Permanently installed low efficacy luminaires shall be allowed provided that they are controlled by an occupant sensor(s) certified to comply with the applicable requirements of §119.

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MANDATORY MEASURES SUMMARY: Residential (Page 2 of 3) MF-1R

Project Name: SINGLE HOUSE ADDITION Date: 10/25/2011

\$150(m)1: All air-distribution system ducts and plenums installed, are sealed and insulated to meet the requirements of CMC Sections 601, 602, 603, 604, 605 and Standard 6-5; supply-air and return-air ducts and plenums are insulated to a minimum installed level of R-4.2 or enclosed entirely in conditioned space. Openings shall be sealed with mastic, tape or other duct-closure system that meets the applicable requirements of UL 181, UL 181A, or UL 181B or gasket sealant that meets the requirements of UL 723. If mastic or tape is used to seal openings greater than 1/4 inch, the combination of mastic and either mesh or tape shall be used.

\$150(m)1: Building cavities, support platforms for air handlers, and plenums defined or constructed with materials other than sealed sheet metal, duct board or flexible duct shall not be used for conveying conditioned air. Building cavities and support platforms may contain ducts. Ducts installed in cavities and support platforms shall not be compressed to cause reductions in the cross-sectional area of the ducts.

\$150(m)2D: Joints and seams of duct systems and their components shall not be sealed with cloth back rubber adhesive duct tapes unless such tape is used in combination with mastic and draw bands.

\$150(m)7: Exhaust fan systems have back draft or automatic dampers.

\$150(m)8: Gravity ventilating systems serving conditioned space have either automatic or readily accessible, manually operated dampers.

\$150(m)9: Insulation shall be protected from damage, including that due to sunlight, moisture, equipment maintenance, and wind. Cellular foam insulation shall be protected as above or painted with a coating that is water retardant and provides shielding from solar radiation that can cause degradation of the material.

\$150(m)10: Flexible ducts cannot have porous liner cores.

\$150(m)11: All dwelling units shall meet the requirements of ANSI/ASHRAE Standard 62.2-2007 Ventilation and Acceptable Indoor Air Quality in Low-Rise Residential Buildings. Window operation is not a permissible method of providing the Whole Building Ventilation required in Section 4 of that Standard.

Pool and Spa Heating Systems and Equipment Measures:

\$114(e): Any pool or spa heating system shall be certified to have a thermal efficiency that complies with the Appliance Efficiency Regulations; an on/off switch mounted outside of the heater; a permanent weatherproof plate or card with operating instructions; and shall not use electric resistance heating or a pilot light.

\$114(b)1: Any pool or spa heating equipment shall be installed with at least 36" of pipe between filter and heater, or dedicated suction and return lines, or built-up connections for future solar heating.

\$114(b)2: Outdoor pools or spas that have a heat pump or gas heater shall have a cover.

\$114(b)3: Pools shall have directional inlets that adequately mix the pool water, and a time switch that will allow all pumps to be set or programmed to run only during off-peak electric demand periods.

\$150(p): Residential pool systems or equipment meet the pump sizing, flow rate, piping, filters, and valve requirements of §150(p).

Residential Lighting Measures:

\$150(k)1: High efficacy luminaires or LED Light Engine with Integral Heat Sink has an efficacy that is no lower than the efficacies contained in Table 150-C and is not a low efficacy luminaire as specified by §150(k)2.

\$150(k)3: The wattage of permanently installed luminaires shall be determined as specified by §130(d).

\$150(k)4: Ballasts for fluorescent lamps rated 13 Watts or greater shall be electronic and shall have an output frequency no less than 20 kHz.

\$150(k)5: Permanently installed night lights and night lights integral to a permanently installed luminaire or exhaust fan shall contain only high efficacy lamps meeting the minimum efficacies contained in Table 150-C and shall not contain a line-voltage socket or line-voltage lamp holder; OR shall be rated to consume no more than five watts of power as determined by §130(d), and shall not contain a medium screw-base socket.

\$150(k)6: Lighting integral to exhaust fans, in rooms other than kitchens, shall meet the applicable requirements of §150(k).

\$150(k)7: All switching devices and controls shall meet the requirements of §150(k)7.

\$150(k)8: A minimum of 50 percent of the total rated wattage of permanently installed lighting in kitchens shall be high efficacy. EXCEPTION: Up to 50 watts for dwelling units less than or equal to 2,500 sq ft or 100 watts for dwelling units larger than 2,500 sq ft may be exempt from the 50% high efficacy requirement when: all low efficacy luminaires in the kitchen are controlled by a manual occupant sensor, dimmer, energy management system (EMCS), or a multi-scene programmable control system; and all permanently installed luminaires in garages, laundry rooms, closets greater than 70 square feet, and utility rooms are high efficacy and controlled by a manual-occupant sensor.

\$150(k)9: Permanently installed lighting that is internal to cabinets shall use no more than 20 watts of power per linear foot of illuminated cabinet.

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HVAC SYSTEM HEATING AND COOLING LOADS SUMMARY

Project Name: SINGLE HOUSE ADDITION Date: 10/25/2011

System Name: WHOLE HOUSE Floor Area: 1,312

Number of Systems	Heating System	COIL COOLING PEAK			COIL HTG. PEAK	
		CFM	Sensible	Latent	CFM	Sensible
1	Total Room Loads	700	14,742	1,250	493	19,223
	Return Vented Lighting		0			
	Return Air Ducts		545			999
	Return Fan		0			0
	Ventilation		0	0	0	0
	Supply Fan		0			0
	Supply Air Ducts		545			999
	TOTAL SYSTEM LOAD		15,831	1,250		21,221

Air System

CFM per System	Airflow (cfm)	Airflow (cfm/sqft)	Airflow (cfm/Ton)	Outside Air (%)	Outside Air (cfm/sqft)
1,200	1,200	0.91	423.5	0.0%	0.00

HVAC EQUIPMENT SELECTION

Carrier 36TXA-036/58STA-070-12	CFM	Sensible	Latent	Total Adjusted System Output (Adjusted for Peak Design conditions)
	24,704	7,132		24,704 / 7,132

HEATING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Heating Peak)

COOLING SYSTEM PSYCHROMETRICS (Airstream Temperatures at Time of Cooling Peak)

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REVISIONS BY

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SINGLE HOUSE ADDITION
 1230 W. 6TH STREET
 SANTA ANA, CA 92703

Date 10/25/2011
 Scale
 Drawn
 Job F11-1382
 Sheet 2
 CF-1R, MF-1R
 & MANDATORY
 REQUIREMENTS
 01 2 Sheets

REGISTERED PROFESSIONAL ENGINEER
 No. M-2038
 Exp. 08-30-13
 State of California