

CITY OF SANTA ANA

BUILDING PERMIT APPLICATION WORKSHEET

3/2/05 forms/Bldg.App Worksheet

PLEASE PRINT

PROJECT ADDRESS: <u>2501 S Bristol St</u>		SUITE:	SAPIN# <u>10173913</u>	
USE OF BUILDING:	RESIDENTIAL	<u>COMMERCIAL</u>	INDUSTRIAL	OTHER
NATURE OF WORK: NEW			ADD	<u>ALTER/T.I.</u>
DEMOS			REROOF	REPAIR
SIGN			MISC	
NEW/ADDITION/ALTERATION:				
1ST FL. _____ SF	BASEMENT: YES/NO _____ SF	NO. OF STORIES: _____		
2ND FL. _____ SF	PATIO/ENCL. PATIO: _____ SF	BLDG. HEIGHT: _____		
TOTAL OF OTHER FLS: _____ SF	RES. REMODEL: _____ SF	PROPOSED USE: _____		
GARAGE/CARPORT: _____ SF	ALTER/T.I.: _____ SF			
JOB DESCRIPTION (non-residential projects see reverse side of this application): <u>ADA upgrade to parking stalls and POT to ROW. Exterior only</u>				
BUILDING OWNER'S NAME: <u>El Pollo Loco</u>			PHONE NO: <u>714-599-5000</u>	
ADDRESS: <u>3535 Harbor Blvd #100</u>		CITY: <u>Costa Mesa</u>	STATE: <u>CA</u>	ZIP: <u>92626</u>
TENANT'S NAME (Comm/Ind): <u>El Pollo Loco</u>			PHONE NO:	
CONTRACTOR'S NAME: <u>TBD</u>		STATE CONTR. #:	LICENSE CLASS:	PHONE NO:
ADDRESS:		CITY:	STATE:	ZIP:
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER: <u>Armet Davis Newlove</u>		STATE LICENSE #:	PHONE NO: <u>310-452-5533 x226</u>	
ADDRESS: <u>1330 Olympic Blvd</u>		CITY: <u>Santa Monica</u>	STATE: <u>CA</u>	ZIP: <u>90404</u>
CONTACT NAME: <u>Down Bennyhoff</u>			PHONE NO: <u>949-296-5872</u>	
E-MAIL ADDRESS: <u>dbennyhoff@newportcm.com</u>				

OFFICE USE ONLY: ACC OR SPC (CIRCLE ONE) _____ HRS PER _____ BLDG. FEE \$ _____

OCC. GROUP: _____ RECEIPT # 58519 P/C FEE PD \$ 150.00

TYPE OF CONSTR: _____ VALUATION: \$ 25,000 SUBMITTAL DATE: 12/14

FIRE SPKR: YES / NO AC: YES / NO FLOOD ZONE: _____ PROCESSED KH

RES. DEV. FEE: YES / NO PRIOR DWELLING UNIT: YES / NO COMMENTS: _____

PLANNING OK TO CHECK & DATE _____ BLDG. DEPT. APPROVAL & DATE _____

PLNG CONDITIONS: _____

FEE CHECKLIST WORKSHEET

Received by: KH

SAPIN #: 10173913

FEE TYPE	REQUIRED	
	Yes	No
Plan Check Fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Disability Fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>
SMIP Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Res. Dev. Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Fire Facility Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>
School Distr. Fee	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Microfilm	<input type="checkbox"/>	<input checked="" type="checkbox"/>
FCWP Surcharge	<input type="checkbox"/>	<input checked="" type="checkbox"/>

CALCULATION AREA

COST/SQ FT X TOTAL SQ FT = VALUATION

per applicant

Counter computations/valuation \$ 25,000

Plan checker computation/final valuation \$ _____

CITY OF SANTA ANA
PLAN CHECK - CHECKLIST

JOB ADDRESS: 2501 S Bristol
TRACKING #: 10173913 DATE: 12-14-11

FOR PLANCHECK STATUS CALL (714) 647-5800

PLEASE INITIAL EACH ITEM BELOW

- th 1. I agree to pay a plancheck fee established for this project with the understanding that this payment is not a guarantee that a permit will be issued and that this fee is not refundable once a plancheck has commenced.
- th 2. I understand that I may request an "Accelerated Plancheck" at an additional cost to me. This plancheck will be performed by an in-house plan checker with the intention of reducing plancheck time for the Building & Safety Division.
- th 3. I understand that the project valuation (from which plancheck and permit fees are calculated) will be reviewed during the plancheck process and that said valuation shall be adjusted up or down in accordance with established fee computation regulations.
- th 4. I understand that I shall submit separate plans, applications and plancheck fees for the following when plan check is required:
 - a. Electrical Plans - 2 complete sets
 - b. Plumbing Plans - 3 complete sets
 - c. Mechanical Plans - 2 complete sets
 - d. Grading Plans - 3 complete sets
- th 5. I understand that I shall visit the Public Works Department to verify whether a field inspection of the property is required. I understand that prior to the issuance of the Building permit I am required to obtain Public Works Agency approval if my project valuation exceeds \$30,000 or has added plumbing fixtures, or added bedrooms, or exceeds 500 sq.ft.

AGREED TO BY APPLICANT OR AGENT

Applicant's Signature Haema Moore - Newport Cm
Print Name Haema Moore Address 2439 W. Coast Hwy Ste 101
Telephone Number (949) 878-1069 Fax _____

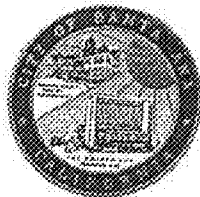
Newport Bldg, 926

FOR OFFICE USE ONLY: "Checklist of items discussed" APPROVALS & FEES REQUIRED: Y/N

- | | | |
|--|---|--|
| 1. <input checked="" type="checkbox"/> Planning Department | 7. <input checked="" type="checkbox"/> Title 24 (Energy) | 14. <input checked="" type="checkbox"/> Constr. Act. Req. |
| 2. <input checked="" type="checkbox"/> Public Works Agency | 8. <input checked="" type="checkbox"/> Title 24 (Disabled Access) | 15. <input checked="" type="checkbox"/> Res. Dev. Fees |
| 3. <input checked="" type="checkbox"/> Fire Department | 9. <input checked="" type="checkbox"/> Roof Mounted Equip. | 16. <input checked="" type="checkbox"/> SMIP |
| 4. <input checked="" type="checkbox"/> Police Department | 10. <input checked="" type="checkbox"/> List of Subcontr. | 17. <input checked="" type="checkbox"/> Microfilming |
| 5. <input checked="" type="checkbox"/> School District | 11. <input checked="" type="checkbox"/> Bldg. Pmt. Info. | 18. <input checked="" type="checkbox"/> Const. Debris Recyc. |
| 6. <input checked="" type="checkbox"/> Health Department | 12. <input checked="" type="checkbox"/> Summary of Appr. Req. | 19. <input checked="" type="checkbox"/> FCWP Surcharge |
| | 13. <input type="checkbox"/> FY Information | 20. <input checked="" type="checkbox"/> LOA/Owner-Builder Ver. |

PERMIT TECHNICIAN K Hernandez

GREASE INTERCEPTOR



MEMORANDUM

To: Kraig Kiker, Senior Plumbing/Mechanical
Systems Specialist

Date: December 12, 2011

From: Phillip Vakili – Assistant Engineer

Location: 2501 SOUTH BRISTOL STREET – EL POLO LOCO RESTAURANT

The above referenced food service establishment (FSE) must comply with Ordinance NS-26-70 as follows:

X A grease interceptor is not required at this FSE for the following reason(s):

- The proposed FSE FOG discharges are projected to be negligible and will not likely cause a significant impact to the sewer system.
- A grease interceptor cannot be installed due to physical site limitations or inadequate slope between the interceptor and private and/or public sewer lines.
- X** The proposed remodeling work does not increase the current amount of FOG generated.
- The proposed remodeling work does not require: 1) under the slab plumbing in the kitchen area, 2) an increase in the net public seating area, 3) an increase in the size of the kitchen area, or 4) any change in the size or type of food preparation equipment.
- This is an existing FSE involving a change of ownership that will not result in an increase of FOG discharged to the sewer system..

Special comments/conditions:

The Developer/owner acknowledges that no tenant improvements that include change of plumbing in the kitchen area, change of kitchen equipments, expansion of dining area, and or change in type of operations or use, are being performed at this time. The developer/owner has been notified that any improvements, that include what mentioned above, will result in the revocation of this waiver to install a grease interceptor.

C/c: Cesar Barrera, PWA
Taig Higgins, PWA
Kraig Kiker, P&BA
Everett Tomlinson, P&BA
Patricia Link, P&BA

6; The applicant shall obtain clearances/approvals for the following prior to building permit issuance:

- Planning Division approval on the corrected/final set of drawings (647-5804.) Previously approved plans should be submitted to expedite the process.
- Fire Department approval on the corrected/final sets of drawings (647-5839 or 647-5700)
- Proof of Worker's Compensation Insurance shall be required at the time of permit issuance

3-13-12

7. Provide parking data on the site plan showing the total number of parking spaces required per planning. PROVIDED ON CSI

3-13-12

8. Show entrances to the restaurant. PROVIDED CSI, CI,

3-13-12

9. Change job description to reflect T-24. REV. ALL SHEETS

3-13-12

10. Provide truncated dome for the full length and width of the curb ramp. REV. RAMPS. CI

3-13-12

11. Provide flare at sides of the curb ramp, since there is a tripping hazard. (at the side walk.) REV. CI & 9/2

3-13-12

12. parking slope shall not exceed 2% slope at any direction. NOTED CI.

JOB NAME: EL POLLO LOCO - TITLE-24 UPGRADES

JOB LOCATION: 2501 S. BRISTOL ST., SANTA ANA, CA

CLIENT: EL POLLO LOCO

STORE NUMBER: 5327



SHEET INDEX

CS1	COVER SHEET & SITE PLAN
ARCHITECTURAL	
C1	ENLARGED SITE PLAN
C2	SITE DETAILS

ARMÉT DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS
 1330 OLYMPIC BLVD.
 SANTA MONICA, CALIFORNIA 90404
 PH 310 452-5533 FAX 310 450-4742

REV.	DATE	DESCRIPTION
02/21/12	BLDG. DEPT. CORRECTIONS	

RECEIVED
 FEB 29 2012
 City of Santa Ana

DESCRIPTION OF WORK

UPGRADING PARKING STALLS AND PATH OF TRAVEL TO MEET TITLE-24 ACCESS REQUIREMENTS.

ARCHITECTURAL STRUCTURAL
 ACCEPTED FOR CONSTRUCTION

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING & MECHANICAL PLANS. This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the City of Santa Ana.

The acceptance of this plan and specifications SHALL NOT be held to permit nor as an approval of the violation of any provisions of ANY City Ordinance or State Law.

Accepted By: *K. Al* Date: 3-13-2012
 CITY OF SANTA ANA
 Date Issued: *3/15/12*

ARCHITECTURAL STRUCTURAL
 ACCEPTED FOR CONSTRUCTION

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING & MECHANICAL PLANS. This set of plans and specifications must be kept on the job at all times and it is unlawful to make any changes or alterations on same without written permission from the City of Santa Ana.

The acceptance of this plan and specifications SHALL NOT be held to permit nor as an approval of the violation of any provisions of ANY City Ordinance or State Law.

Accepted By: _____ Date: _____
 CITY OF SANTA ANA

LEGAL INFORMATION

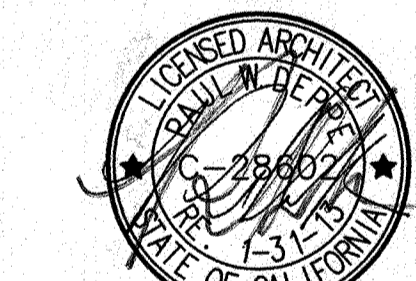
BUILDING INFORMATION: #2,200 TOTAL SQ. FT.
 LEGAL JURISDICTION: CITY OF SANTA ANA, CA
 GOVERNING CODE: 2010 CALIFORNIA BUILDING CODE
 2010 CALIFORNIA FIRE CODE
 2010 CALIFORNIA MECHANICAL CODE
 2010 CALIFORNIA PLUMBING CODE
 2010 CALIFORNIA ELECTRICAL CODE
 2010 CALIFORNIA ENERGY CONSERVATION CODE

OCCUPANCY: A2
 CONSTRUCTION TYPE: TYPE VB NON-SPRINKLERED BUILDING (FOR EXISTING REQUIREMENTS)

CONSULTANTS/CONTACTS

OWNER
 EL POLLO LOCO
 3535 HARBOR BLVD., SUITE 100
 COSTA MESA, CA 92626
 (714) 599-5000

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLISHED THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.



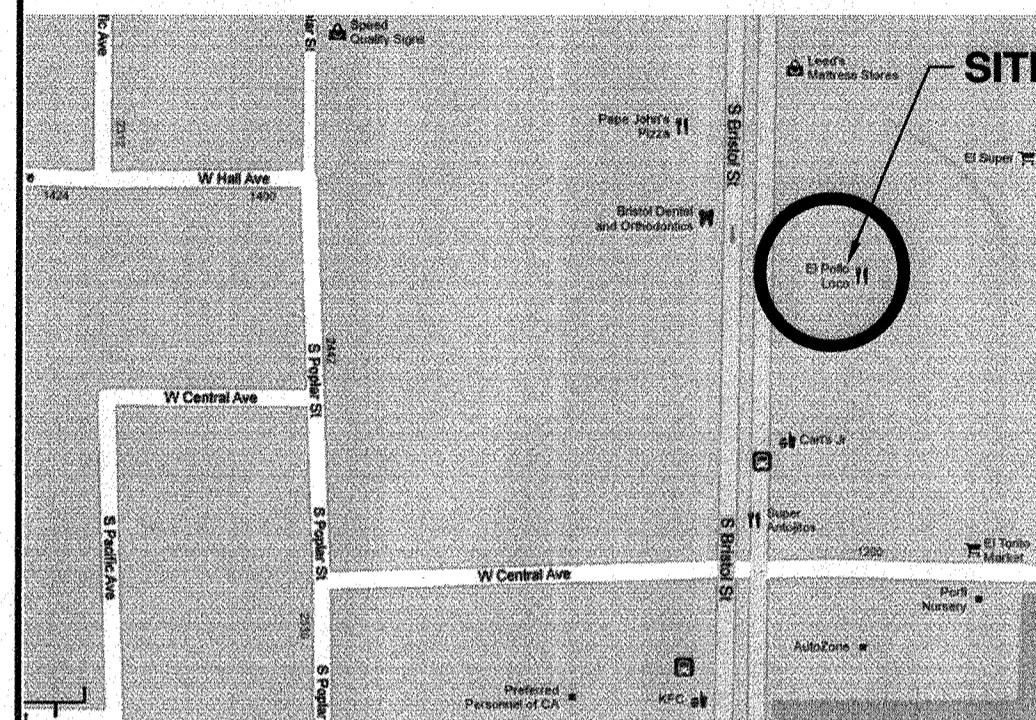
LOCATION
EPL SITE
TITLE-24 UPGRADE
 2501 S. BRISTOL ST.
 SANTA ANA, CA

DATE: 12/06/11
 JOB NO.: 11-XXXX
 DRAWN BY: CW
 CHECKED BY: PD
 FILE NAME: CS1 COVER-SITE.DWG

COVER SHEET/SITE PLAN

CS1

VICINITY MAP N.T.S.



GENERAL BUILDING NOTES

OVERLAPPING AND CONFLICTING REQUIREMENTS:

WHERE COMPLIANCE WITH 2 OR MORE INDUSTRY STANDARDS OR SETS OF REQUIREMENTS IS SPECIFIED, AND OVERLAPPING OF THOSE DIFFERENT STANDARDS ESTABLISHES DIFFERENT OR CONFLICTING MINIMUMS OR LEVELS OR REQUIREMENTS OF QUALITY, MOST STRINGENT REQUIREMENT (WHICH IS GENERALLY RECOGNIZED TO BE ALSO MOST COSTLY) IS INTENDED AND WILL BE ENFORCED, UNLESS SPECIFICALLY DETAILED LANGUAGE WRITTEN INTO CONTRACT DOCUMENTS (NOT BY WAY OF REFERENCE TO AN INDUSTRY STANDARD) CLEARLY INDICATES THAT A LESS STRINGENT REQUIREMENT IS TO BE FULFILLED. REFER APPARENTLY-EQUAL-BUT-DIFFERENT REQUIREMENTS, AND UNCERTAINTIES AS TO WHICH LEVEL OF QUALITY IS MORE STRINGENT, TO ARCHITECT/ENGINEER FOR A DECISION BEFORE PROCEEDING.

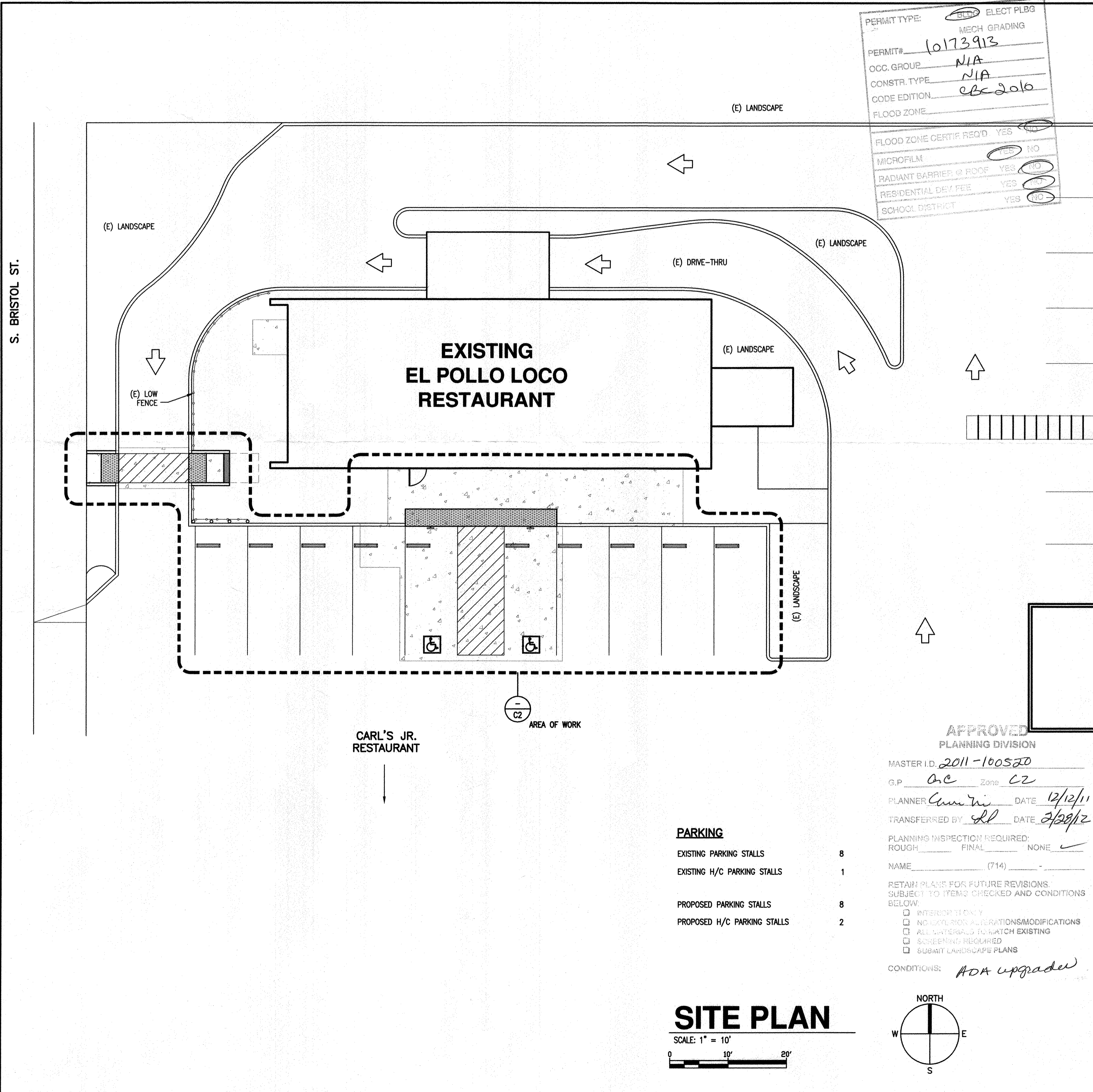
MINIMUM QUALITY/QUANTITY:

IN EVERY INSTANCE, QUALITY LEVEL OR QUANTITY SHOWN OR SPECIFIED IS INTENDED AS MINIMUM FOR THE WORK TO BE PERFORMED OR PROVIDED, EXCEPT AS OTHERWISE SPECIFICALLY INDICATED, ACTUAL WORK MAY EITHER COMPLY EXACTLY WITH THAT MINIMUM (WITHIN SPECIFIED TOLERANCES), OR MAY EXCEED THAT MINIMUM WITHIN REASONABLE LIMITS, IN COMPLYING WITH REQUIREMENTS, INDICATED NUMERIC VALUES ARE EITHER MINIMUMS OR MAXIMUMS AS NOTED OR AS APPROPRIATE FOR CONTEXT OF REQUIREMENTS. REFER INSTANCES OF UNCERTAINTY TO ARCHITECT/ENGINEER FOR DECISION BEFORE PROCEEDING.

NOTES TO CONTRACTOR

- WHERE CONTRACT DOCUMENTS (DRAWINGS AND SPECIFICATIONS) ARE INCOMPLETE, AMBIGUOUS OR CONTAIN CONFLICTING INSTRUCTIONS, DO NOT PROCEED UNTIL RECEIVING CLARIFICATION FROM THE ARCHITECT IN WRITING PROVIDE PROTECTION OF PEDESTRIANS AND PUBLIC DURING CONSTRUCTION.
- PROVIDE BARRICADES AND CANOPIES AS REQUIRED FOR PUBLIC SAFETY. PROVIDE MINIMUM 6'-0" AWAY FROM CONSTRUCTION OR OTHER APPROVED MEANS OF PROTECTION AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.

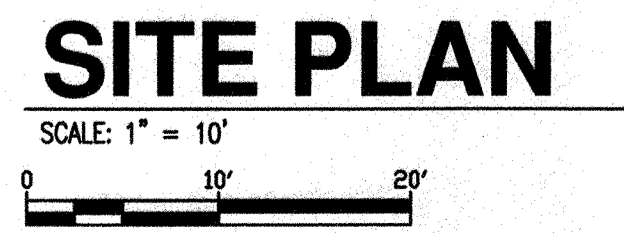
PERMIT TYPE: MECH GRADING
 PERMIT#: 10173913
 OCC. GROUP: N/A
 CONSTR. TYPE: N/A
 CODE EDITION: 2010
 FLOOD ZONE: NO
 FLOOD ZONE CERTIF. REQ'D: YES NO
 MICROFILM: YES NO
 RADIANT BARRIER @ ROOF: YES NO
 RESIDENTIAL DEV. FEE: YES NO
 SCHOOL DISTRICT: YES NO



APPROVED
 PLANNING DIVISION
 MASTER I.D. 2011-100520
 G.P. OC Zone C2
 PLANNER Camrin DATE 12/12/11
 TRANSFERRED BY ll DATE 2/29/12
 PLANNING INSPECTION REQUIRED:
 ROUGH _____ FINAL _____ NONE
 NAME _____ (714) _____
 RETAIN PLANS FOR FUTURE REVISIONS.
 SUBJECT TO ITEM 2 CHECKED AND CONDITIONS BELOW:
 INTERIOR ST. ONLY
 NO UNLINED ALTERATIONS/MODIFICATIONS
 ALL WATERWAYS TO MATCH EXISTING
 SCREENING REQUIRED
 SUBMIT LANDSCAPE PLANS
 CONDITIONS: ADA upgrade

PARKING

EXISTING PARKING STALLS	8
EXISTING H/C PARKING STALLS	1
PROPOSED PARKING STALLS	8
PROPOSED H/C PARKING STALLS	2



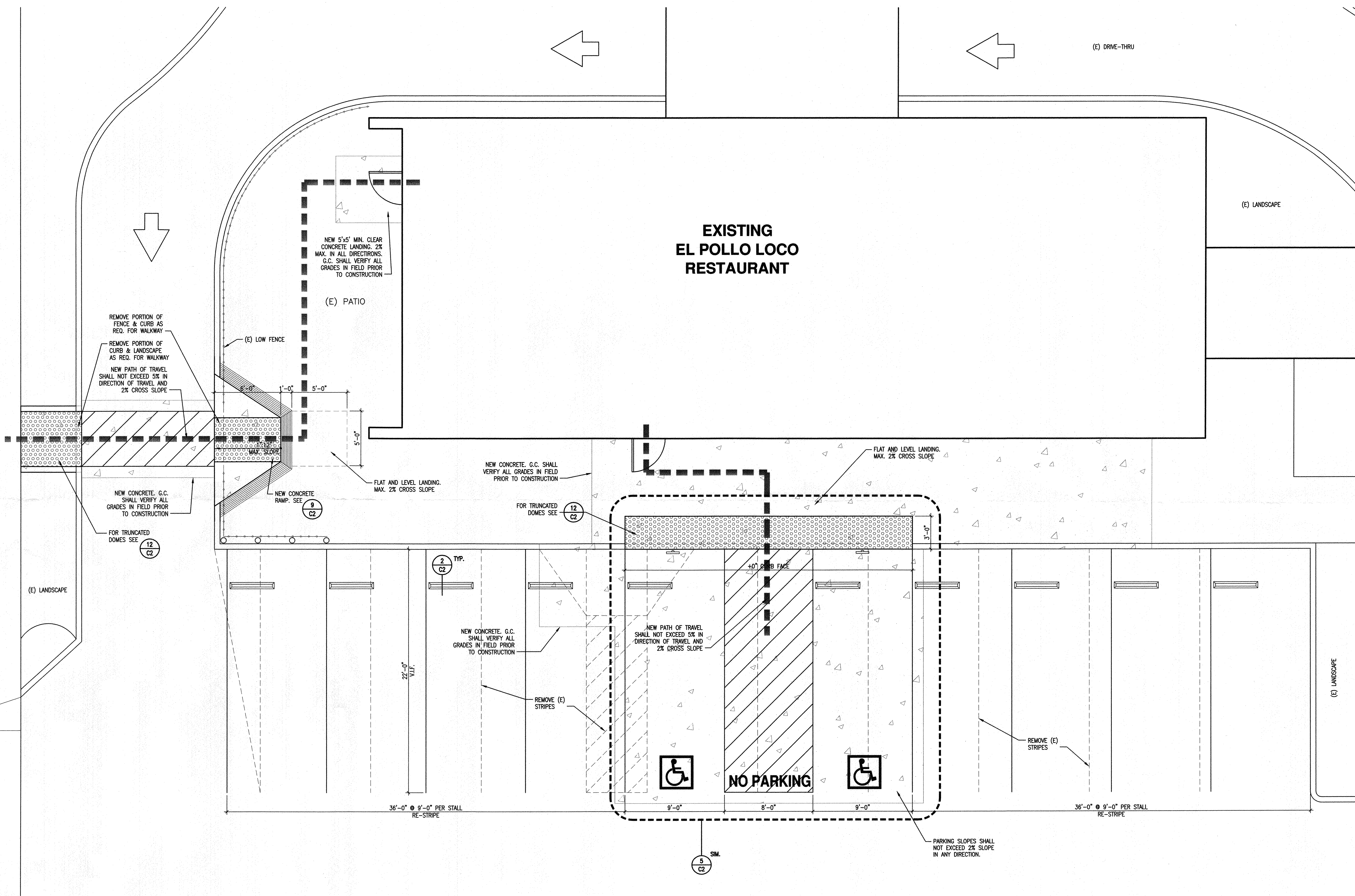
10173913
 Projects / El Pollo Loco / Santa Ana / Title-24 Upgrade / CS1 - ADA - Santa Ana Drawings - CS1 - COVER & SITE.DWG, 2/27/2012 4:48:35 PM
 Reck



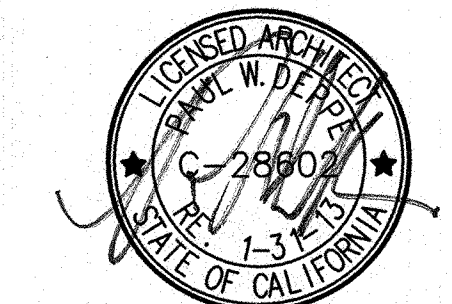
ARMÉT DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS

1330 OLYMPIC BLVD.
SANTA MONICA, CALIFORNIA 90404
PH 310 452-5533 FAX 310 450-4742

REV.	DATE	DESCRIPTION
02/21/12	BLDG. DEPT. CORRECTIONS	



THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.



LOCATION
**EPL SITE
TITLE-24 UPGRADE
2501 S. BRISTOL ST.
SANTA ANA, CA**

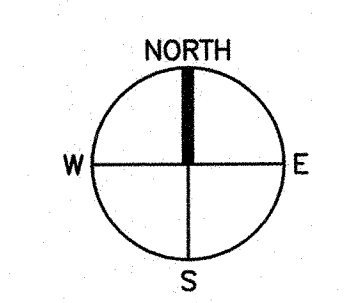
DATE
12/06/11
JOB NO.
11-XXXX
DRAWN BY
CW
CHECKED BY
PD
FILE NAME
- C1 SITE.DWG

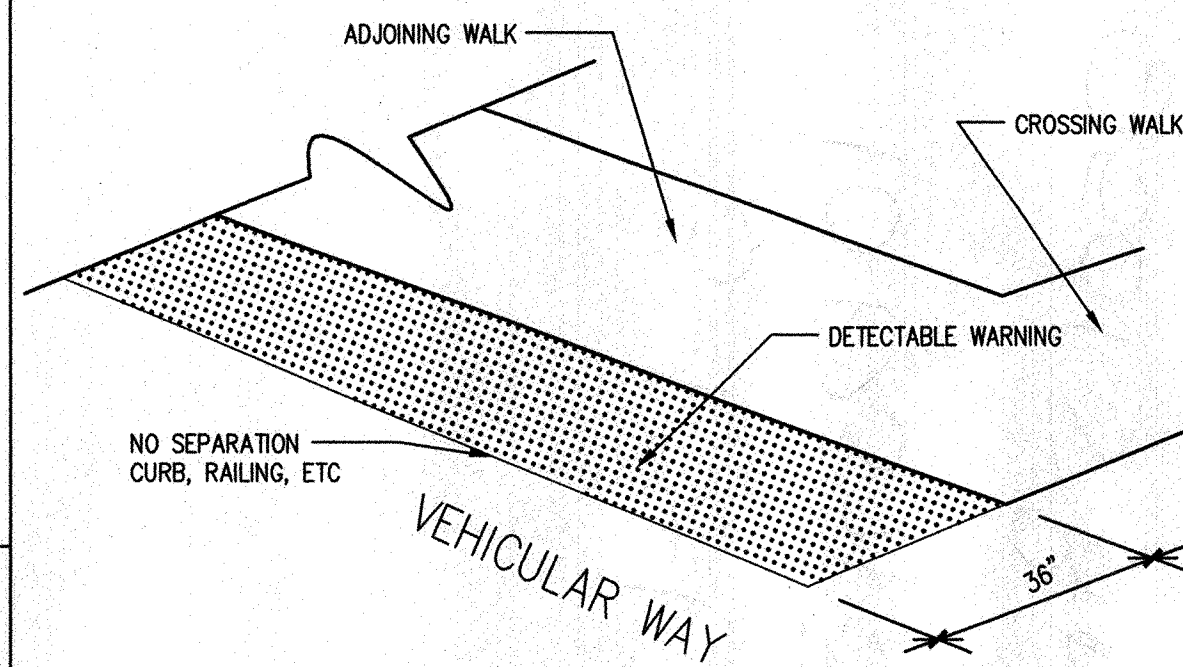
**TITLE-24 SITE
IMPROVEMENT PLAN**

C1

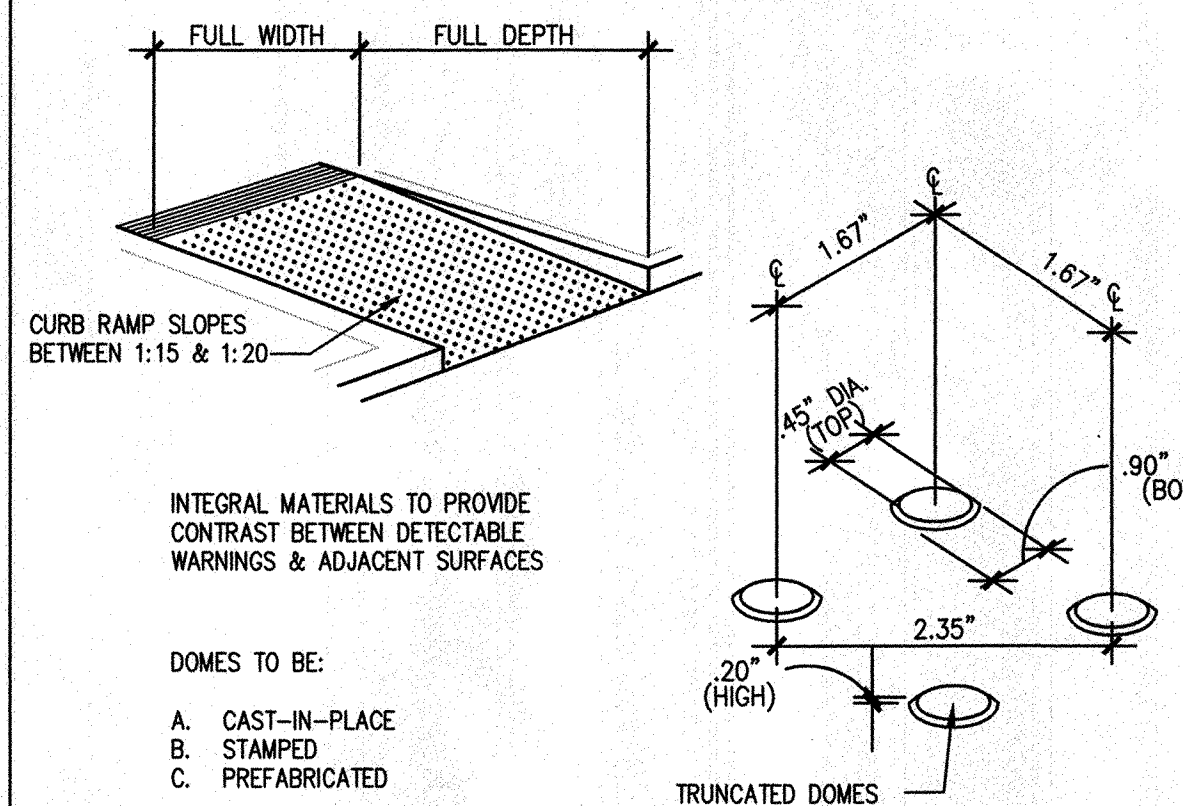
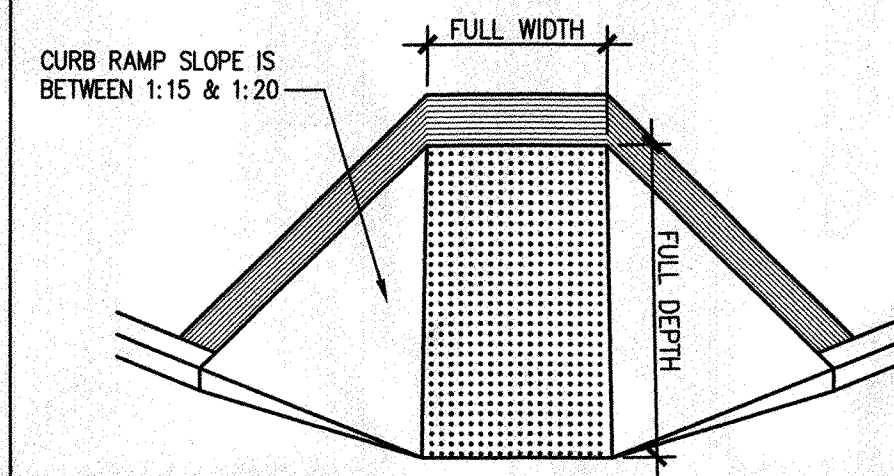
TITLE-24 SITE IMPROVEMENT PLAN

SCALE: 1/4" = 1'-0"





IF A WALK CROSSES OR ADJOINS A VEHICULAR WAY AND THE WALKING SURFACES NOT SEPARATED BY CURBS OR RAILINGS, THE BOUNDARY BETWEEN THEM IS DETERMINED BY A CONTINUOUS DETECTABLE WARNING 36° WIDE, COMPLYING WITH DETECTABLE WARNINGS AT TRANSIT BOARDING PLATFORMS. (CA T24 1133B.8.5) (ADA 4.29.5)



DOMES CONTRAST VISUALLY WITH ADJOINING SURFACES, EITHER LIGHT ON DARK OR REVERSE. MATERIAL USED TO PROVIDE CONTRAST SHALL BE AN INTEGRAL PART OR WALKING SURFACE. (CA T24 1133B.8.3)

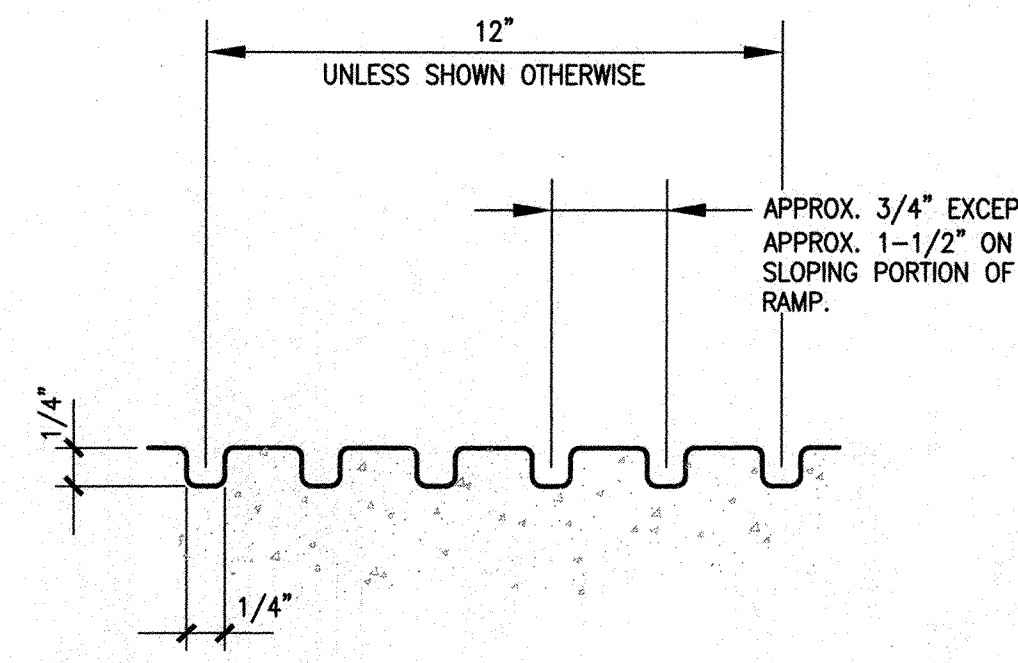
THE DETECTABLE WARNING SURFACES DIFFER FROM THE ADJOINING SURFACES IN RESILIENCY OR SOUND ON CANE CONTACT. THIS SURFACE IS RESERVED FOR WARNING. (CA T24 1133B.8.3)

THE YELLOW COLOR CONFORMS TO FED. COLOR NO. 33538, AS SHOWN IN TABLE IV OF STANDARD NO. 595B. WHERE THE COLOR VALUE CONTRAST BETWEEN THE YELLOW WARNING AND THE MAIN WALKING SURFACE IS LESS THAN 70%, A 1" WIDE BLACK STRIP SEPARATES THE YELLOW WARNING FROM MAIN WALKING SURFACE. (CA T24 1133B.8.3)

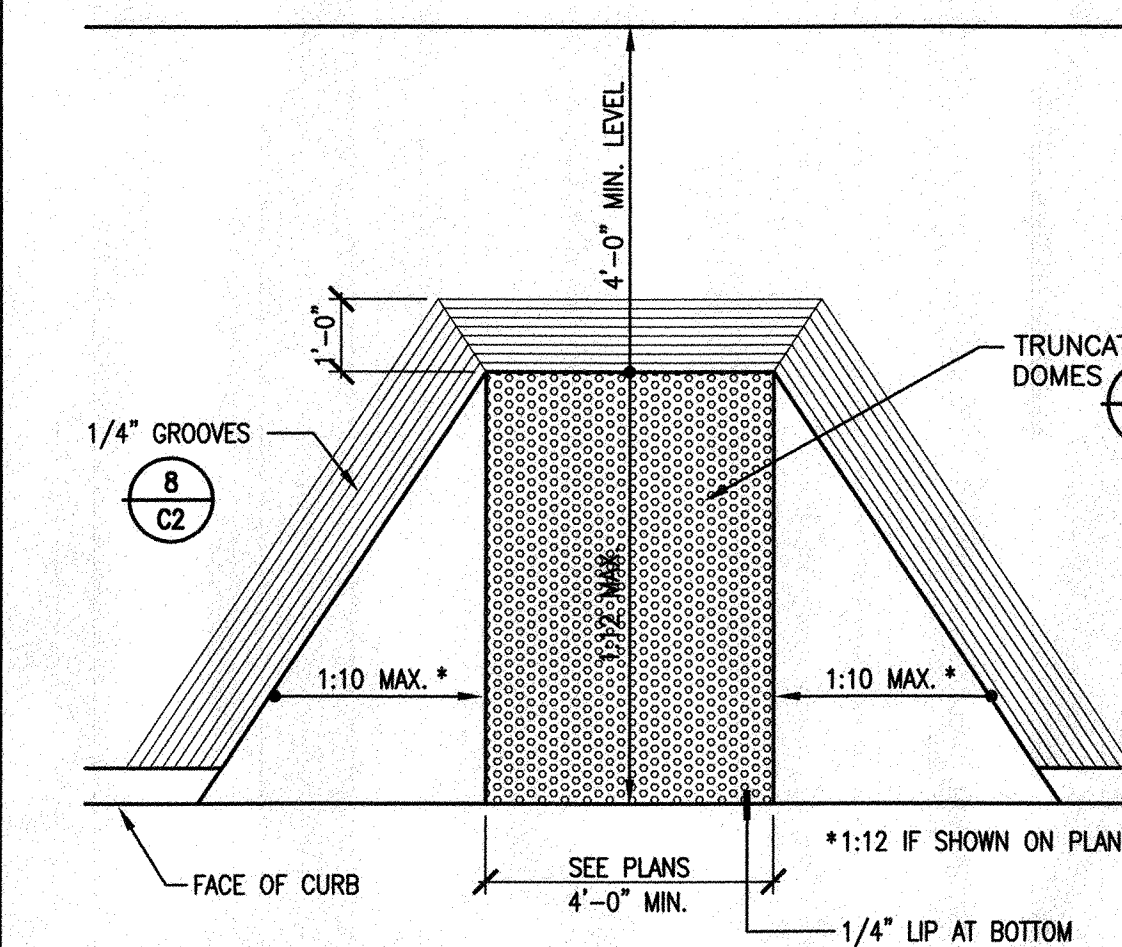
CONTRAST IS DETERMINED BY:
 CONTRAST = (B1 - B2/B1) X 100, WHERE B1 IS THE LIGHT REFLECTANCE VALUE (LRV) OF LIGHTER AREA, AND B2 IS LIGHT REFLECTANCE VALUE (LRV) OF THE DARKER AREA. (CA T24 1133B.8.3)

NOTE: WARNING PRODUCTS AND SURFACES INSTALLED AFTER JAN. 1, 2001, MUST BE EVALUATED BY AN INDEPENDENT ENTITY SELECTED BY THE DEPT. OF GEN'L. SERVICES, DIV. OF THE STATE ARCHITECT ACCESS COMP. FOR ALL OCCUPANCIES, INCL. TRANSPORTATION AND OTHER OUTDOOR ENVIRONMENTS. EXCEPT THAT WHEN PRODUCTS AND SURFACES ARE FOR USE IN RESIDENTIAL HOUSING EVALUATION CAN BE IN CONSULTATION WITH THE DEPT. OF HOUSING AND COMM. DEVELOPMENT. SEE GOVERNMENT CODE SECT. 4460. (CA T24 1133B.8.3)

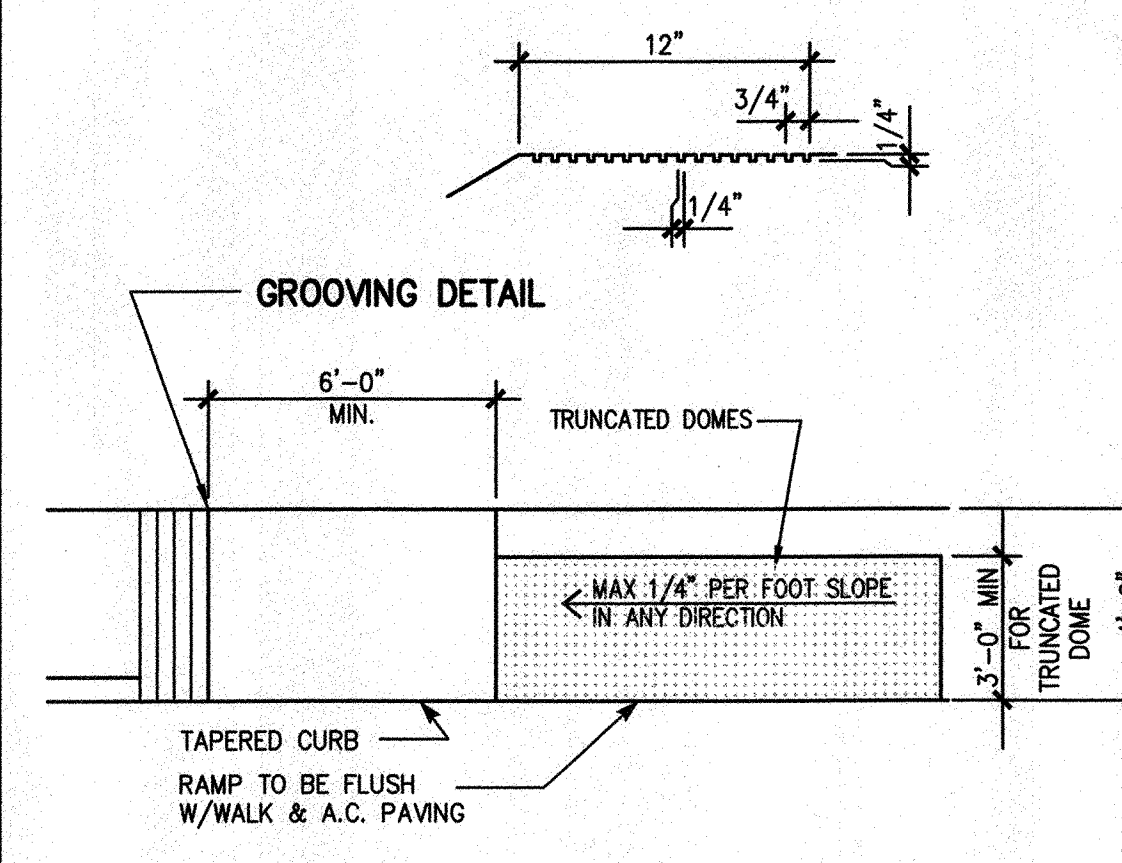
12 DETECTABLE WARNINGS
 C2 SCALE: N.T.S.



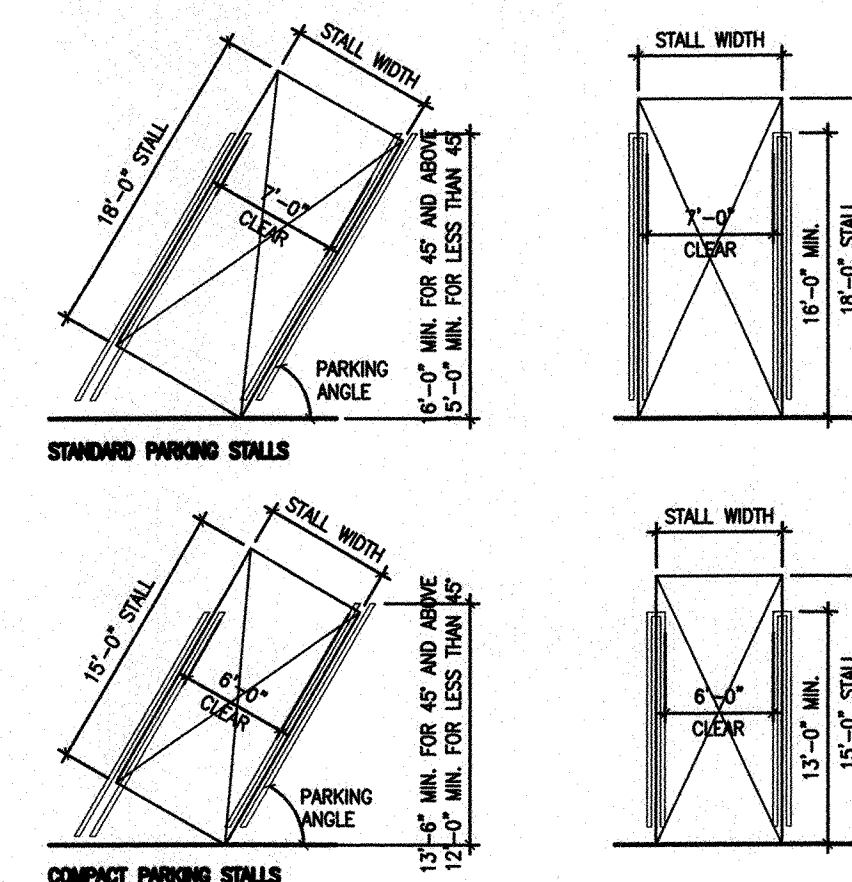
8 GROOVING
 C2 SCALE: N.T.S.



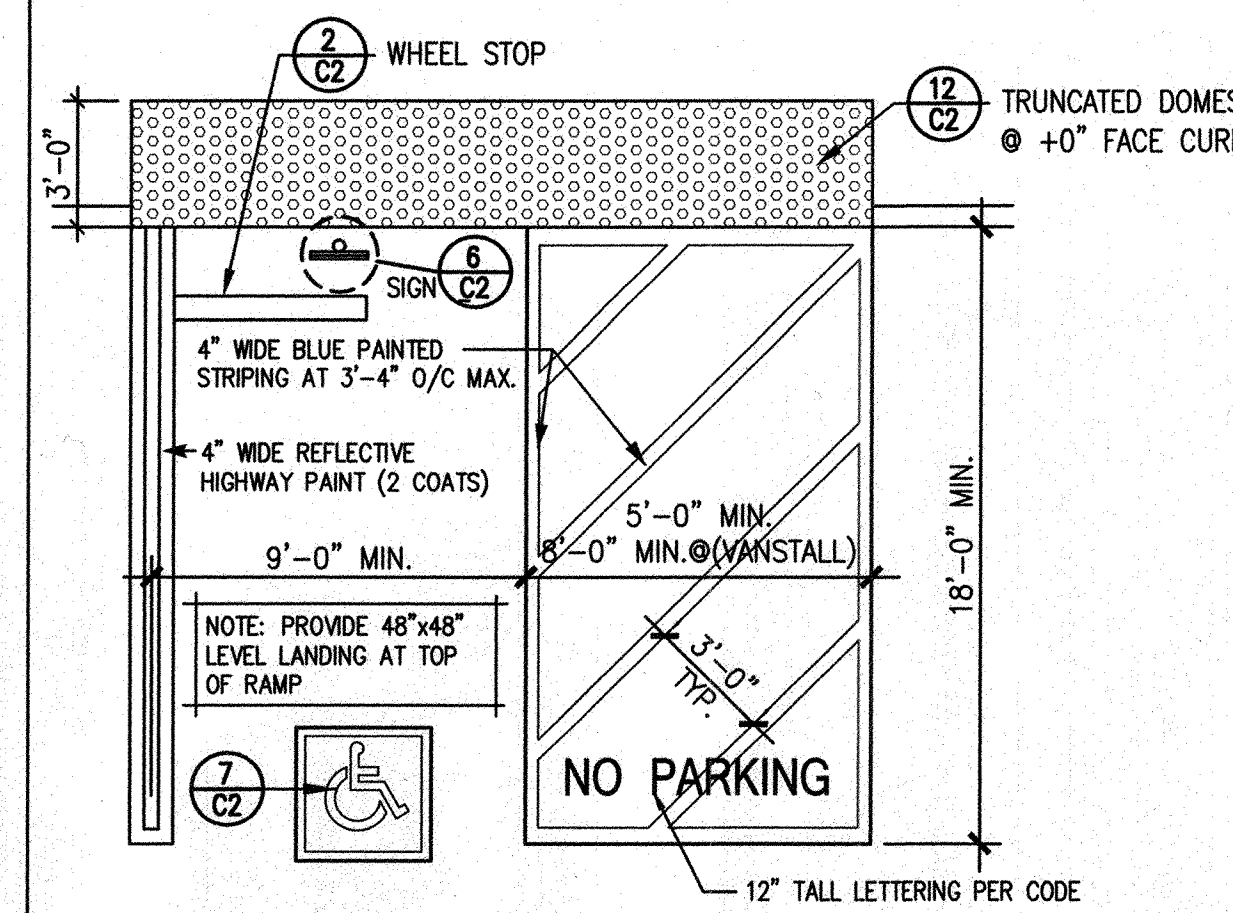
9 HC CURB RAMP
 C2 SCALE: 3/8" = 1'-0"



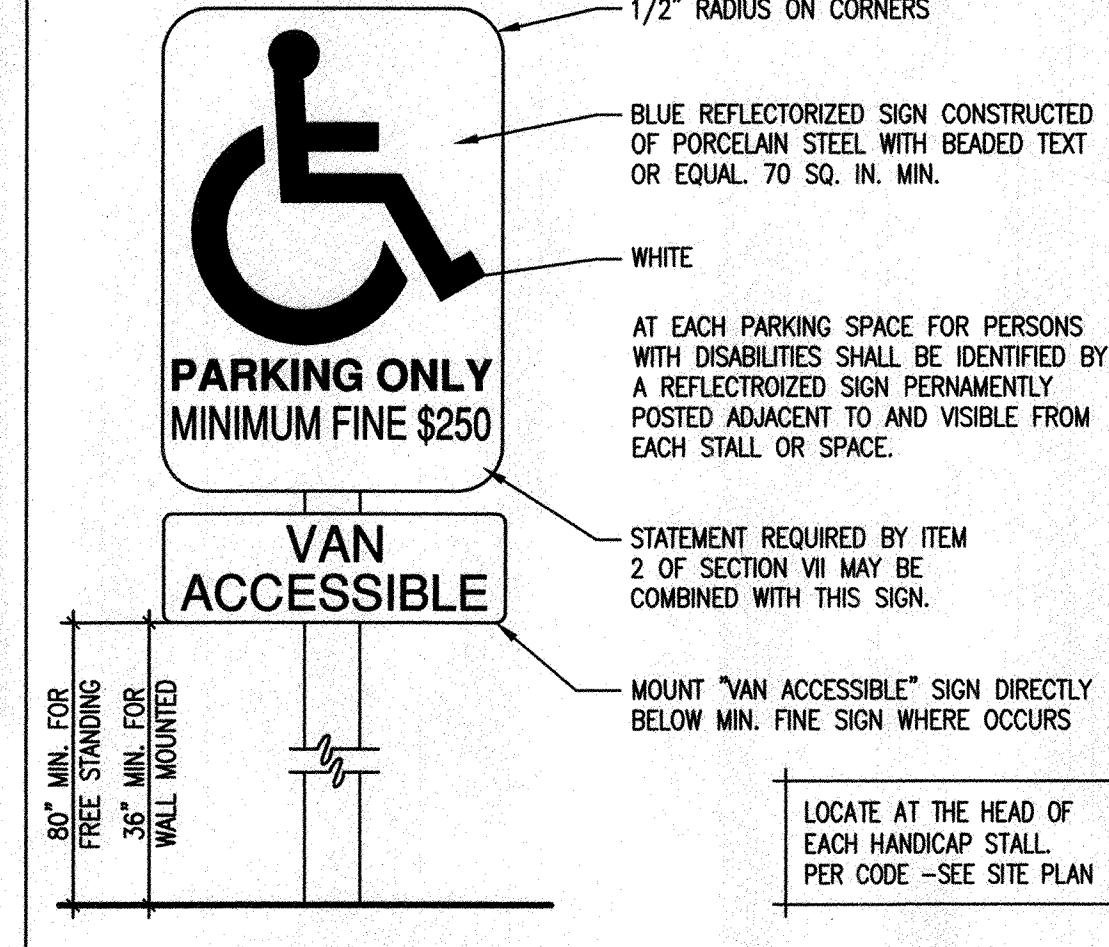
10 RAMP
 C2 SCALE: N.T.S.



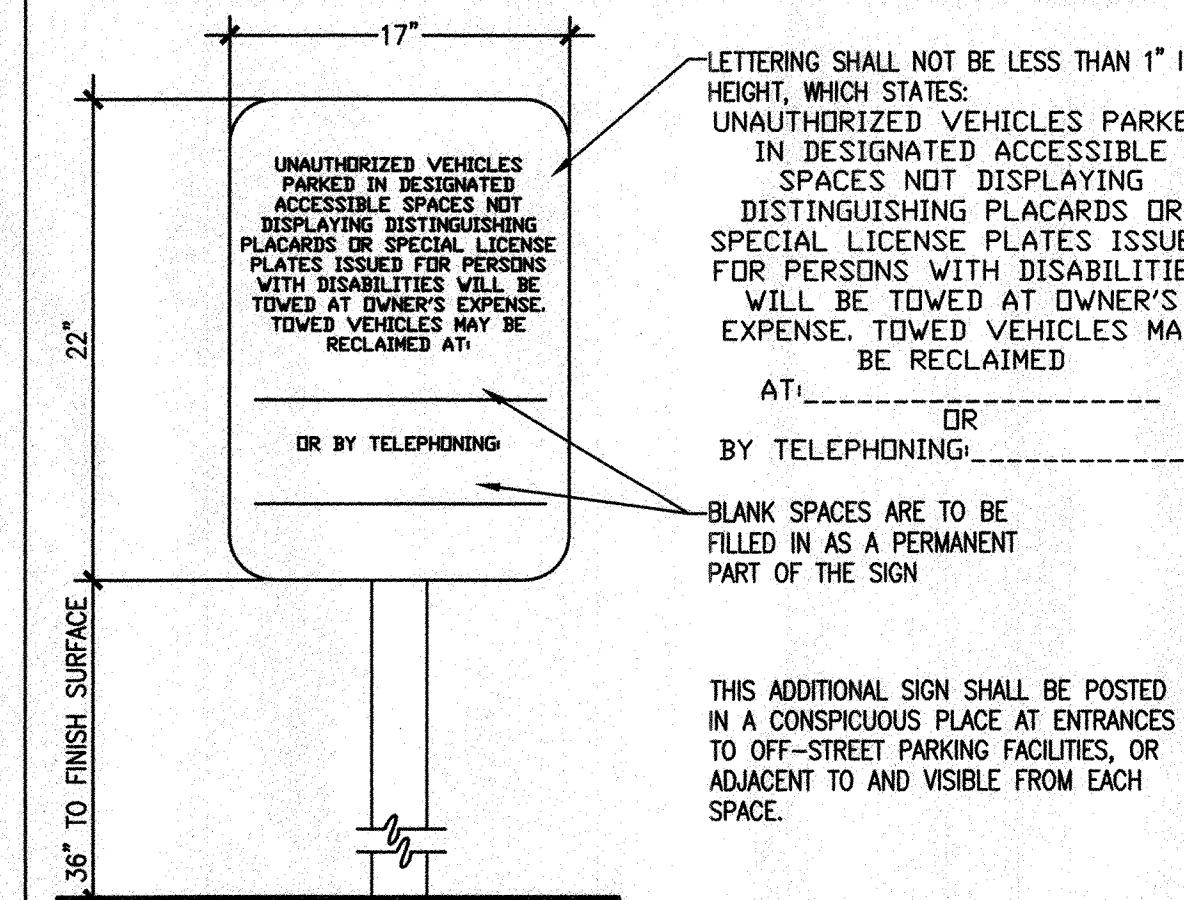
11 PARKING STRIPING
 C2 SCALE: N.T.S.



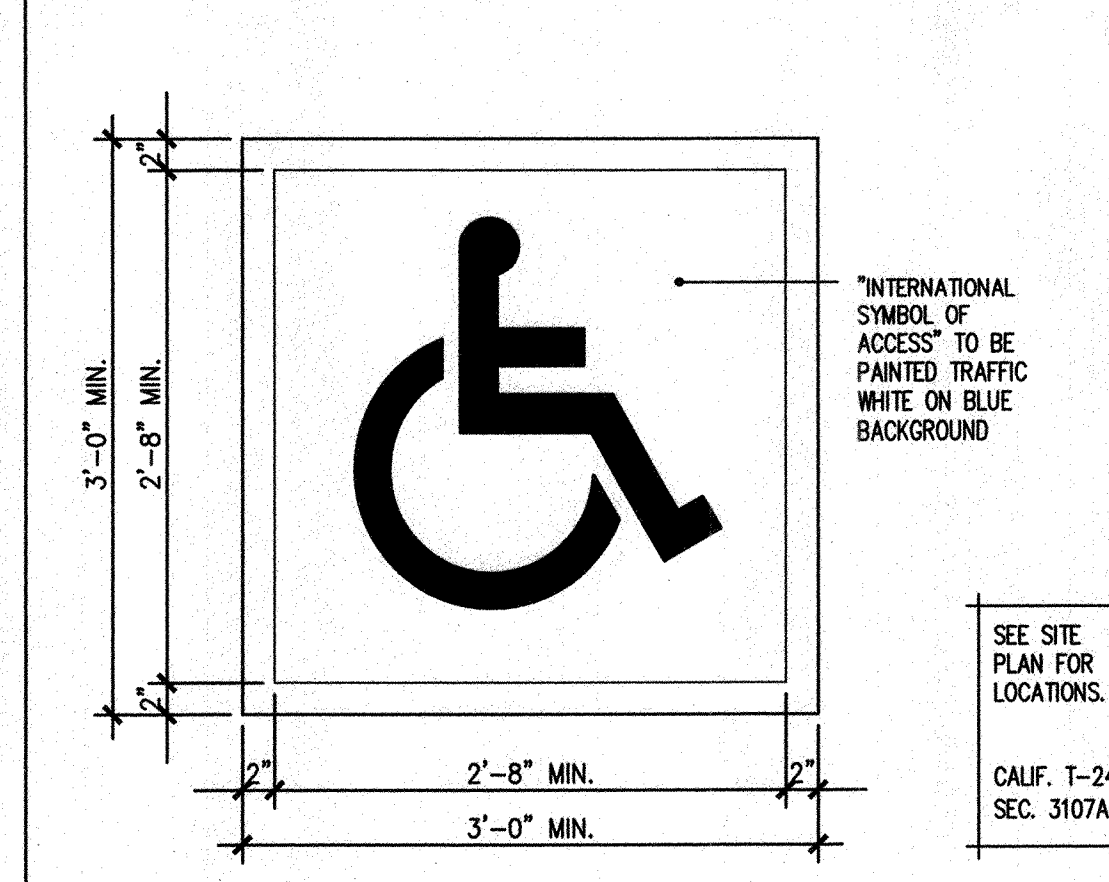
5 HANDICAP PARKING
 C2 SCALE: N.T.S.



6 HANDICAP SIGN
 C2 SCALE: N.T.S.

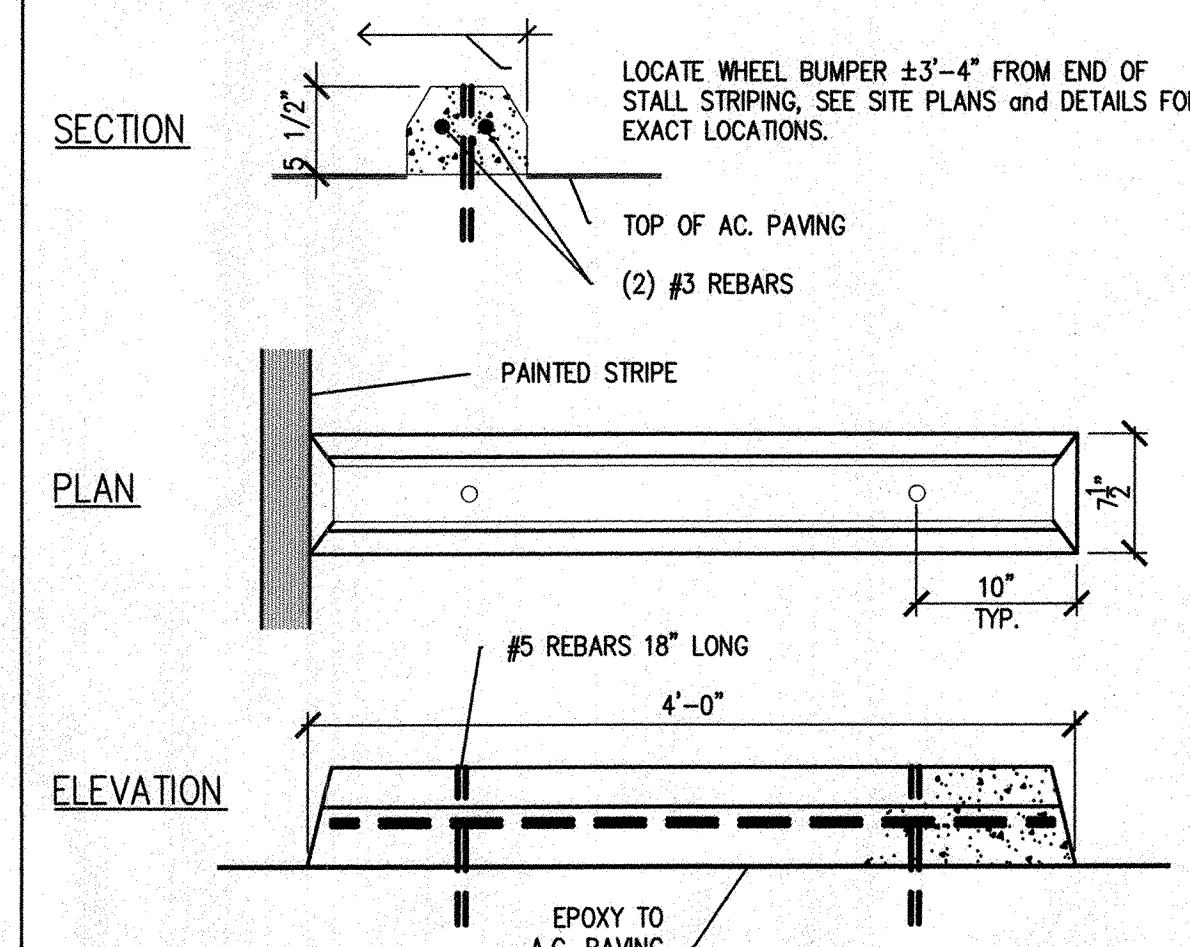


8a UNAUTHORIZED PARKING SIGNAGE
 C2 SCALE: N.T.S.

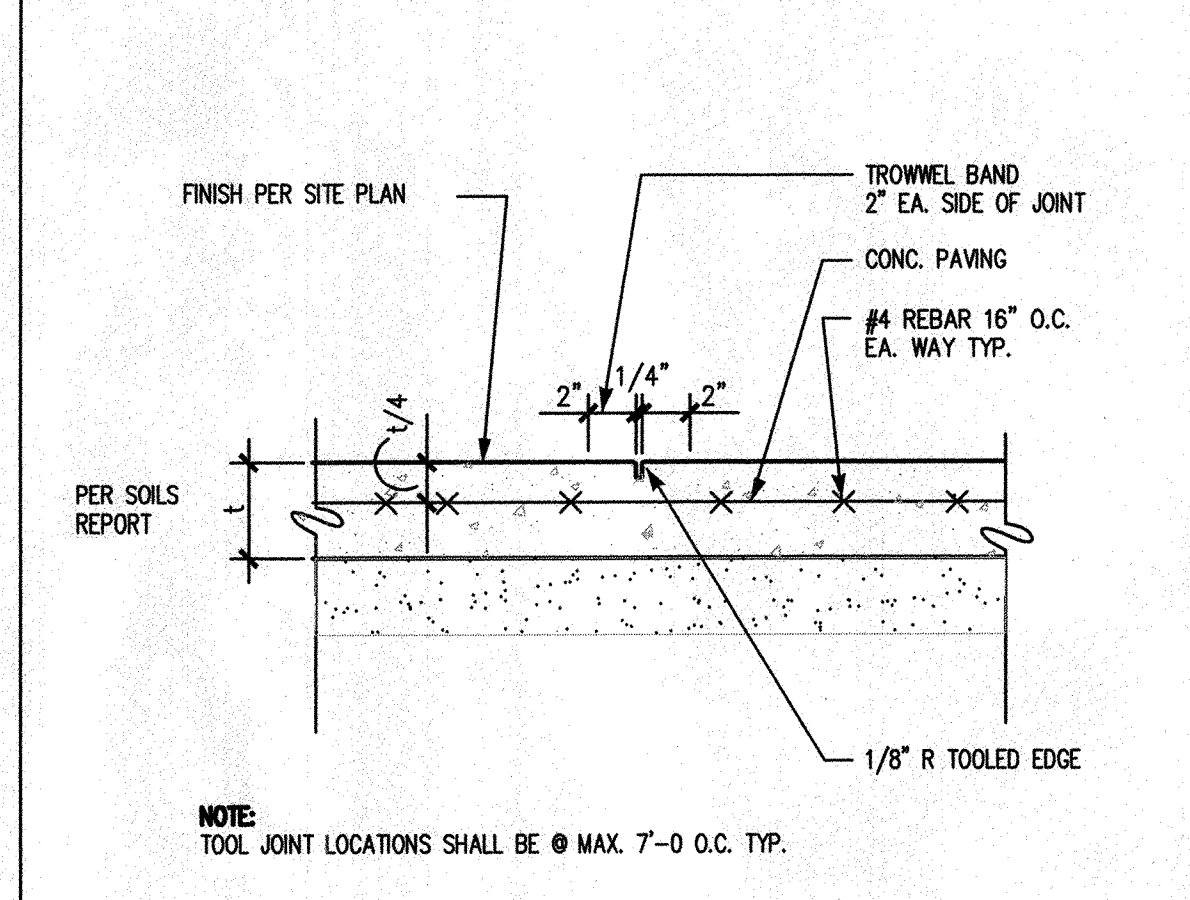


7 HANDICAP SYMBOL
 C2 SCALE: N.T.S.

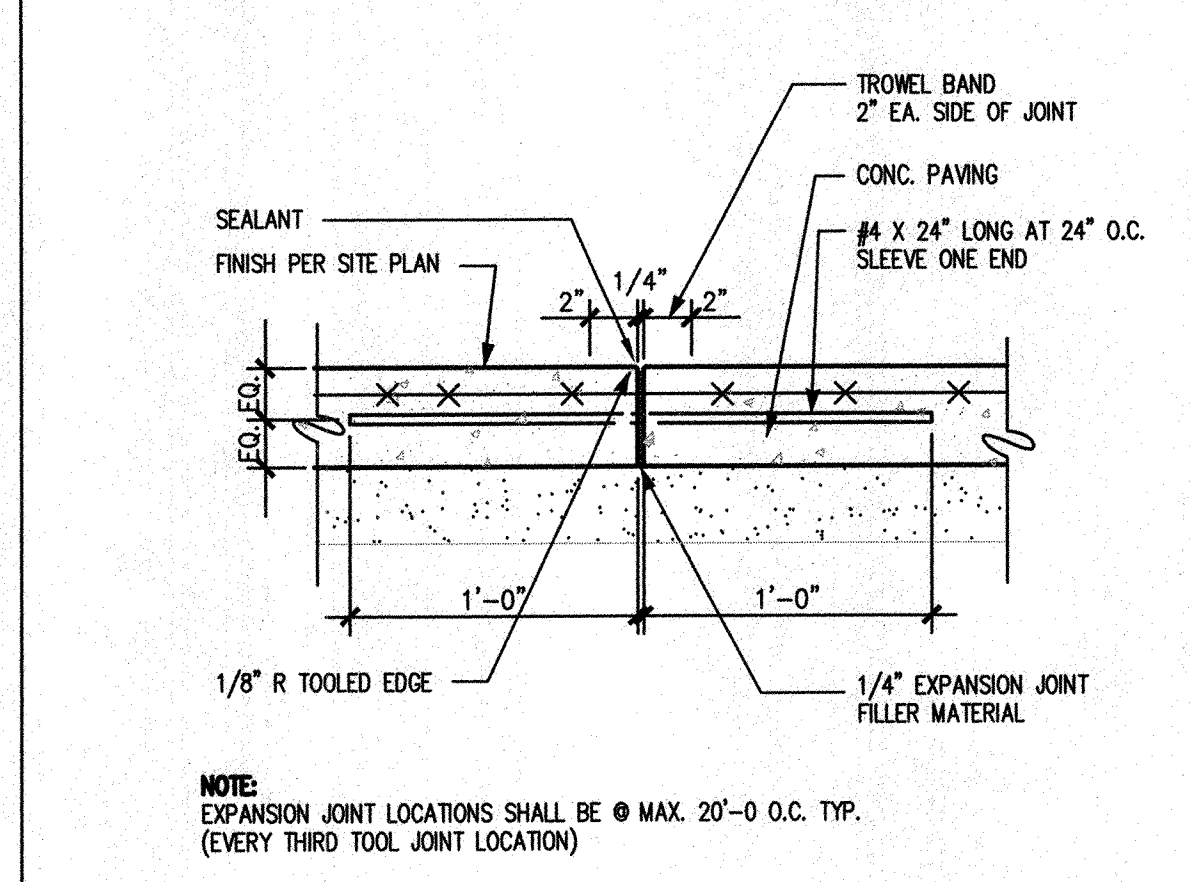
1 NOT USED
 C2 SCALE: N.T.S.



2 PRECAST CONC. WHEEL STOP
 C2 SCALE: 1 1/2" = 1'-0"



3 TOOL JOINT
 C2 SCALE: 1 1/2" = 1'-0"



4 EXPANSION JOINT
 C2 SCALE: 1 1/2" = 1'-0"

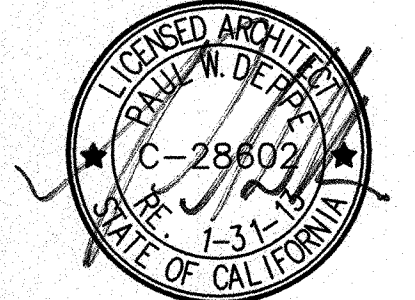


ARMÉT DAVIS NEWLOVE & ASSOCIATES, AIA ARCHITECTS

1300 OLYMPIC BLVD.
 SANTA MONICA, CALIFORNIA 90404
 PH 310 462-5533 FAX 310 460-4742

REV. DATE DESCRIPTION

THE USE OF THESE PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART, IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE ARCHITECT WITHOUT PREJUDICE. VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THE RESTRICTIONS.



LOCATION
 EPL SITE
 TITLE-24 UPGRADE
 2501 S. BRISTOL ST.
 SANTA ANA, CA

DATE
 12/06/11
 JOB NO.
 11-XXXX
 DRAWN BY
 CW
 CHECKED BY
 PD
 FILE NAME
 - C2 SITE DETAILS.DWG

SITE DETAIL

C2