

CITY OF SANTA ANA
BUILDING PERMIT WORKSHEET

10774128

PLEASE PRINT

1/14/09:forms/Bldg.App.Worksheet

PROJECT ADDRESS: <u>5 Hutton Center Dr.</u>		SUITE: <u>1050</u>	SAPIN #	
USE OF BUILDING: RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input checked="" type="checkbox"/> INDUSTRIAL <input type="checkbox"/> OTHER <input type="checkbox"/>		MASTER ID#		
NATURE OF WORK: NEW <input type="checkbox"/> ADD <input type="checkbox"/> ALTER/T.I. <input checked="" type="checkbox"/> DEMO <input type="checkbox"/> REROOF <input type="checkbox"/> REPAIR <input type="checkbox"/> SIGN <input type="checkbox"/> MISC <input type="checkbox"/>				
NEW/ADDITION/ALTERATION:				
1ST FL.. _____ SF	BASEMENT: YES/NO _____ SF	NO. OF STORIES: <u>14</u>		
2ND FL.. _____ SF	PATIO/ENCL. PATIO: _____ SF	BLDG. HEIGHT: _____		
TOTAL OF OTHER FLS: _____ SF	RES. REMODEL: _____ SF	PROPOSED USE: _____		
GARAGE/CARPORT: _____ SF	ALTER/T.I.: <u>4165</u> SF			
JOB DESCRIPTION (non-residential projects see reverse side of this application):				
<u>NON-STRUCTURAL OFFICE INTERIOR T2 + (N) DEMISING WALL.</u>				
BUILDING OWNER'S NAME: <u>LINKED PROPERTY COMPANY</u>		PHONE NO: <u>714 662-5902</u>		
ADDRESS: <u>5 Hutton Center Dr 120</u>	CITY: <u>SANTA ANA</u>	STATE: <u>CA</u>	ZIP: <u>92707</u>	
TENANT'S NAME (Comm/Inc): <u>MICHAEL E MORAN</u>		PHONE NO: <u>714-976-1852</u>		
CONTRACTOR'S NAME: <u>TO BE DETERMINED</u>		STATE CONTR. #:	LICENSE CLASS:	PHONE NO:
ADDRESS:		CITY:	STATE:	ZIP:
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER: <u>PAUL MORFORD</u>		STATE LICENSE #: <u>C-19058</u>	PHONE NO: <u>949-863-9434</u>	
ADDRESS: <u>4675 MACARTHUR CT. #350</u>		CITY: <u>NEWPORT BEACH</u>	STATE: <u>CA</u>	ZIP: <u>92660</u>
CONTACT NAME: <u>MARK YAM</u>		PHONE NO: <u>626 675-9882</u>		
E-MAIL ADDRESS: <u>MEYBE YAM @ SPC</u>		FAX NO:		

OFFICE USE ONLY: **ACC OR SPC (CIRCLE ONE)** 3 HRS PER JK BLDG. FEE \$ _____

OCC. GROUP: _____ RECEIPT # 581047 P/C FEE PD \$ 1322.90

TYPE OF CONSTR: _____ VALUATION: \$ 149,500 SUBMITTAL DATE: 1/17/12

FIRE SPKR: YES / NO _____ A/C: YES / NO _____ FLOOD ZONE: _____ PROCESSED: 2/8/12

RES. DEV. FEE: YES / NO _____ PRIOR DWELLING UNIT: YES / NO _____ COMMENTS: _____

PLANNING OK TO CHECK & DATE _____ BLDG. DEPT. APPROVAL & DATE _____

PLNG CONDITIONS: _____

PLEASE CHECK ALL THAT APPLY TO YOUR PROJECT

JOB DESCRIPTION CHECKLIST:

- | | |
|--|---|
| <input type="checkbox"/> Additional square footage | <input checked="" type="checkbox"/> Partition walls |
| <input type="checkbox"/> Awnings | <input type="checkbox"/> Rated corridors |
| <input type="checkbox"/> Canopy | <input type="checkbox"/> Rated shafts |
| <input checked="" type="checkbox"/> Ceiling work | <input type="checkbox"/> Roof mounted equipment |
| <input type="checkbox"/> Change of occupancy (use) | <input type="checkbox"/> Security bars |
| <input type="checkbox"/> Disabled accessible (H/C) restrooms | <input type="checkbox"/> Screening for equipment |
| <input type="checkbox"/> Dust collector | <input type="checkbox"/> Skylights |
| <input type="checkbox"/> Elevator shaft | <input type="checkbox"/> Stairs |
| <input type="checkbox"/> Exterior doors or windows | <input type="checkbox"/> Storefront/facade improvements |
| <input type="checkbox"/> Equipment pads | <input type="checkbox"/> Storage racks or shelving over 5'-9" |
| <input checked="" type="checkbox"/> Interior demo | <input type="checkbox"/> Walk-in coolers |
| <input type="checkbox"/> Kitchen equipment | |

ITEMS REQUIRING SEPARATE BUILDING PERMIT APPLICATIONS:

- Block wall
- Card readers
- Complete demo
- Fence
- Fire signaling system
- Fire sprinklers
- Flagpole
- Lawn sprinkler system
- Light Standards
- Parking lot repaving
- Parking lot restriping
- Pedestrian protection
- Pool/Spa
- Signs
- Spray booth
- Temporary power pole
- Trash enclosure

CITY OF SANTA ANA

BUILDING PERMIT WORKSHEET

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1/14/09:forms/Bldg.App.Worksheet

PROJECT ADDRESS:		SUITE:	SAPIN #	
USE OF BUILDING:	RESIDENTIAL	COMMERCIAL	INDUSTRIAL	OTHER
				MASTER ID#
NATURE OF WORK:	NEW	ADD	ALTER/T.I.	DEMO
	REROOF	REPAIR	SIGN	MISC
NEW/ADDITION/ALTERATION:				
1ST FL..	_____ SF	BASEMENT: YES/NO	_____ SF	NO. OF STORIES: _____
2ND FL..	_____ SF	PATIO/ENCL. PATIO:	_____ SF	BLDG. HEIGHT: _____
TOTAL OF OTHER FLS:	_____ SF	RES. REMODEL:	_____ SF	PROPOSED USE: _____
GARAGE/CARPORT:	_____ SF	ALTER/T.I.:	_____ SF	
JOB DESCRIPTION (non-residential projects see reverse side of this application) : _____				
BUILDING OWNER'S NAME:			PHONE NO:	
ADDRESS:	CITY:	STATE:	ZIP:	
TENANT'S NAME (Comm/Ind):			PHONE NO:	
CONTRACTOR'S NAME:		STATE CONTR. #:	LICENSE CLASS:	PHONE NO:
ADDRESS:	CITY:	STATE:	ZIP:	
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER:		STATE LICENSE #:	PHONE NO:	
ADDRESS:	CITY:	STATE:	ZIP:	
CONTACT NAME:			PHONE NO:	
E-MAIL ADDRESS:			FAX NO:	

OFFICE USE ONLY: ACC OR SPC (CIRCLE ONE) _____ HRS PER _____ BLDG. FEE \$ _____

OCC. GROUP: _____ RECEIPT #: _____ P/C FEE PD \$ _____

TYPE OF CONSTR: _____ VALUATION: \$ _____ SUBMITTAL DATE: _____

FIRE SPKR: YES / NO A/C: YES / NO FLOOD ZONE: _____ PROCESSED _____

RES. DEV. FEE: YES / NO PRIOR DWELLING UNIT: YES / NO COMMENTS: _____

PLANNING OK TO CHECK & DATE _____ BLDG. DEPT. APPROVAL & DATE _____

PLNG CONDITIONS: _____

FEE CHECKLIST WORKSHEET

Received by: _____

[Handwritten Signature]

SAPIN #: _____

10774128

FEE TYPE

REQUIRED

Yes No

Plan Check Fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Disability Fee	<input checked="" type="checkbox"/>	<input type="checkbox"/>
SMIP Fee	<input type="checkbox"/>	<input type="checkbox"/>
Res. Dev. Fee	<input type="checkbox"/>	<input type="checkbox"/>
Fire Facility Fee	<input type="checkbox"/>	<input type="checkbox"/>
School Distr. Fee	<input type="checkbox"/>	<input type="checkbox"/>
Microfilm	<input checked="" type="checkbox"/>	<input type="checkbox"/>
FCWP Surcharge	<input type="checkbox"/>	<input type="checkbox"/>

CALCULATION AREA

COST/SQ FT X TOTAL SQ FT = VALUATION

3590 (4,165)

Counter computations/valuation \$ *149,500*

Plan checker computation/final valuation \$ _____

**CITY OF SANTA ANA
PLAN CHECK - CHECKLIST**

5 Horton #1050

JOB ADDRESS: _____

TRACKING #: 1074128

DATE: 1/17/12

FOR PLANCHECK STATUS CALL (714) 647-5800

PLEASE INITIAL EACH ITEM BELOW

- MY 1. I agree to pay a plancheck fee established for this project with the understanding that this payment is not a guarantee that a permit will be issued and that this fee is not refundable once a plancheck has commenced.
- MY 2. I understand that I may request an "Accelerated Plancheck" at an additional cost to me. This plancheck will be performed by an in-house plan checker with the intention of reducing plancheck time for the Building & Safety Division.
- MY 3. I understand that the project valuation (from which plancheck and permit fees are calculated) will be reviewed during the plancheck process and that said valuation shall be adjusted up or down in accordance with established fee computation regulations.
- MY 4. I understand that I shall submit separate plans, applications and plancheck fees for the following when plan check is required:
 - a. Electrical Plans - 2 complete sets
 - b. Plumbing Plans - 3 complete sets
 - c. Mechanical Plans - 2 complete sets
 - d. Grading Plans - 3 complete sets
- MY 5. I understand that I shall visit the Public Works Department to verify whether a field inspection of the property is required. I understand that prior to the issuance of the Building permit I am required to obtain Public Works Agency approval if my project valuation exceeds \$30,000 or has added plumbing fixtures, or added bedrooms, or exceeds 500 sq.ft.

AGREED TO BY APPLICANT OR AGENT

Applicant's Signature _____

Print Name MARK YAN

Address 392 N. LE MAY CT ORANGE 92867

Telephone Number 626 757-2320

Fax _____

FOR OFFICE USE ONLY: "Checklist of items discussed" APPROVALS & FEES REQUIRED: Y/N

- | | | |
|--|---|--|
| 1. <input checked="" type="checkbox"/> Planning Department | 7. <input checked="" type="checkbox"/> Title 24 (Energy) | 14. <input checked="" type="checkbox"/> Constr. Act. Req. |
| 2. <input checked="" type="checkbox"/> Public Works Agency | 8. <input checked="" type="checkbox"/> Title 24 (Disabled Access) | 15. <input type="checkbox"/> Res. Dev. Fees |
| 3. <input checked="" type="checkbox"/> Fire Department | 9. <input checked="" type="checkbox"/> Roof Mounted Equip. | 16. <input checked="" type="checkbox"/> SMIP |
| 4. <input checked="" type="checkbox"/> Police Department | 10. <input type="checkbox"/> List of Subcontr. | 17. <input checked="" type="checkbox"/> Microfilming |
| 5. <input type="checkbox"/> School District | 11. <input checked="" type="checkbox"/> Bldg. Pmt. Info. | 18. <input checked="" type="checkbox"/> Const. Debris Recyc. |
| 6. <input type="checkbox"/> Health Department | 12. <input checked="" type="checkbox"/> Summary of Appr. Req. | 19. <input type="checkbox"/> FCWP Surcharge |
| | 13. <input checked="" type="checkbox"/> FY Information | 20. <input type="checkbox"/> LOA/Owner-Builder Ver. |

PERMIT TECHNICIAN _____

CITY OF SANTA ANA

BUILDING PERMIT WORKSHEET

PLEASE PRINT

1/14/09:forms/Bldg.App.Worksheet

PROJECT ADDRESS: <u>5 HUTTON CENTER DR.</u>		SUITE: <u>1075</u>	SAPIN # <u>10174350</u>	
USE OF BUILDING:	RESIDENTIAL	<u>COMMERCIAL</u>	INDUSTRIAL	OTHER
NATURE OF WORK: NEW ADD <u>ALTER/T.I.</u> DEMO REROOF REPAIR SIGN MISC				MASTER ID#
NEW/ADDITION/ALTERATION:				
1ST FL.. _____ SF	BASEMENT: YES/NO _____ SF	NO. OF STORIES: <u>14</u>		
2ND FL.. _____ SF	PATIO/ENCL. PATIO: _____ SF	BLDG. HEIGHT: _____		
TOTAL OF OTHER FLS: _____ SF	RES. REMODEL: _____ SF	PROPOSED USE: _____		
GARAGE/CARPORT: _____ SF	ALTER/T.I.: _____ SF			
JOB DESCRIPTION (non-residential projects see reverse side of this application) : _____				
<u>INSTALL</u>				
<u>NON-STRUCTURAL OFFICE INTERIOR NEW DEMISING WALL BETWEEN SUITE #1050 & SUITE #1075</u>				
BUILDING OWNER'S NAME: <u>LINCOLN PROPERTY COMPANY</u>			PHONE NO: <u>714-662-5902</u>	
ADDRESS: <u>5 HUTTON CENTER #120</u>		CITY: <u>STANA ANA</u>	STATE: <u>CA</u>	ZIP: <u>92707</u>
TENANT'S NAME (Comm/Ind): <u>MICHAEL F MURKIN</u>			PHONE NO:	
CONTRACTOR'S NAME: <u>TO BE DETERMINED</u>		STATE CONTR. #:	LICENSE CLASS:	PHONE NO:
ADDRESS:		CITY:	STATE:	ZIP:
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER: <u>PAUL MORFORD</u>		STATE LICENSE #: <u>C-19050</u>	PHONE NO: <u>949-863-9434</u>	
ADDRESS: <u>8675 MCKAMBER CT #350</u>		CITY: <u>NEWPORT BEACH</u>	STATE: <u>CA</u>	ZIP: <u>92660</u>
CONTACT NAME: <u>MARK OR DUPE YAM</u>		PHONE NO: <u>626 675-9882</u>		
E-MAIL ADDRESS: <u>MEYKE.YAM@SBCGLOBAL.NET</u> FAX NO:				

OFFICE USE ONLY: ACC OR SPC (CIRCLE ONE) _____ HRS PER _____ BLDG. FEE \$ _____

OCC. GROUP: _____ RECEIPT #: 58759 P/C FEE PD \$ 103.00

TYPE OF CONSTR: _____ VALUATION: \$ 1000 SUBMITTAL DATE: 2-8-12

FIRE SPKR: YES / NO A/C: YES / NO FLOOD ZONE: X PROCESSED JULIE

RES. DEV. FEE: YES / NO PRIOR DWELLING UNIT: YES / NO COMMENTS: _____

PLANNING OK TO CHECK & DATE _____ BLDG. DEPT. APPROVAL & DATE _____

PLNG CONDITIONS: _____

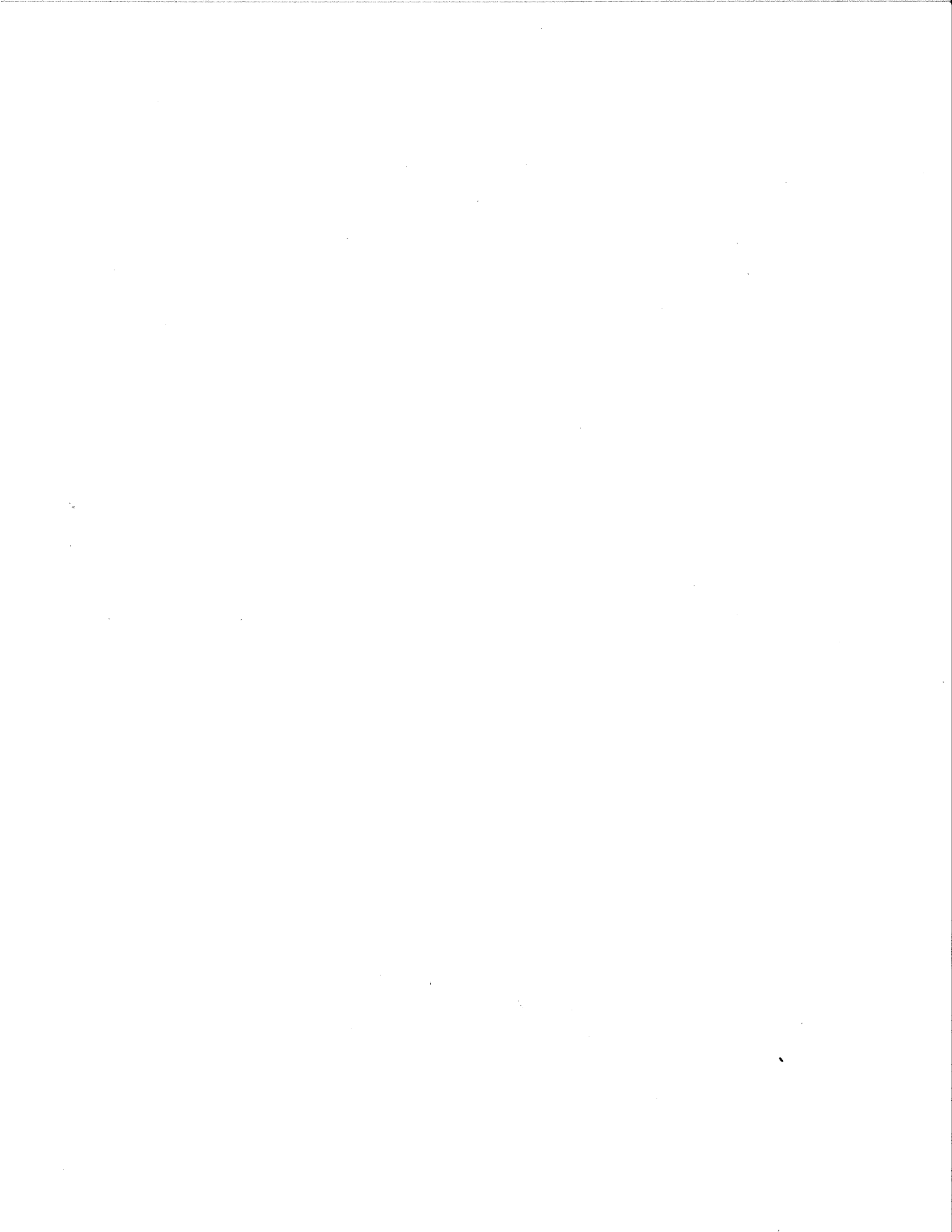
PLEASE CHECK ALL THAT APPLY TO YOUR PROJECT

JOB DESCRIPTION CHECKLIST:

- | | |
|--|---|
| <input type="checkbox"/> Additional square footage | <input type="checkbox"/> Partition walls |
| <input type="checkbox"/> Awnings | <input type="checkbox"/> Rated corridors |
| <input type="checkbox"/> Canopy | <input type="checkbox"/> Rated shafts |
| <input type="checkbox"/> Ceiling work | <input type="checkbox"/> Roof mounted equipment |
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| <input type="checkbox"/> Disabled accessible (H/C) restrooms | <input type="checkbox"/> Screening for equipment |
| <input type="checkbox"/> Dust collector | <input type="checkbox"/> Skylights |
| <input type="checkbox"/> Elevator shaft | <input type="checkbox"/> Stairs |
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| <input type="checkbox"/> Kitchen equipment | |

ITEMS REQUIRING SEPARATE BUILDING PERMIT APPLICATIONS:

- Block wall
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- Fire sprinklers
- Flagpole
- Lawn sprinkler system
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- Parking lot restriping
- Pedestrian protection
- Pool/Spa
- Signs
- Spray booth
- Temporary power pole
- Trash enclosure





Planning and Building Agency
Planning Division
20 Civic Center Plaza
P.O. Box 1988 (M-20)
Santa Ana, CA 92702
(714) 647-5804
www.santa-ana.org

**Sapin Dev Rev
Application Data Sheet**

Master I.D.: 2012-101483

Application Number: NONR-2012-80-TI

Project Address: 5 Hutton Center Dr Unit# 1075

Application Date: 02/08/2012

Planner/Project Manager: Ni, Ann

Determination: Approved

Application Description: Add demising wall to create unit 1075

Dev Rev Project Conditions:



Planning & Building Agency
 Building Safety Division
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

TENANT IMPROVEMENT PLAN CHECK COMMENTS

PLAN CHECK NO:	10174128		
PROJECT ADDRESS:	5 E Hutton Center Dr Unit# 1050		
PLAN CHECK ENGINEER:	Ahangian, Kathy	TEL: 714	647-5812
		FAX: 714	647-5897
TYPE OF CONSTRUCTION:	I A, SPK		
OCCUPANCY CLASSIFICATION(S):	B		
PLAN CHECK DATES:	REMARKS/RECHECK ITEMS:		
APPLICATION	2/8/2012	_____	
INITIAL REVIEW	2/18/2012	_____	
EXPIRATION	8/6/2012	_____	
RECHECKS:	1. 2-28-12	PROJECT APPLICANT CONTACT PERSON:	
	2. 2-29-12	Judy or Mark Yam	
	3.	TEL:	(626)675-9882
VALUATION:	\$149,500.00	FAX:	_____
FLOOD ZONE:	X-0602320278J	EMAIL:	meiyeeyam@sbcglobal.net

APPLICABLE CODE: 2010 CALIFORNIA BUILDING CODE (CBC) WITH CITY OF SANTA ANA AMENDMENTS

1. All items noted on this plan check report must be addressed. If you feel that an item is not applicable to your project, note "N/A" and discuss the reason with the plan checker.
2. Please indicate the sheet number and detail to the right of each correction, or note the number on the plans where the correction is made. Resubmit marked original, calculations and this correction sheet. A separate sheet for response may be used.
3. Resubmit 3 corrected sets of plans.
4. Meetings between the project applicant/designer and the plan reviewer shall be by appointment only. Please call (714) 647-5812 for an appointment.
5. Please return marked up set of drawings with corrections.

6. This review does not include mechanical, plumbing, fire sprinkler system, or electrical work. Separate plans, applications, fees, plan checks, and permits are required for mechanical, plumbing, fire sprinkler systems, and electrical work. Call 647-5800 for information.

7. The applicant shall obtain clearances/approvals for the following prior to building permit issuance:

- Planning Division approval on the corrected/final set of drawings (647-5804.) Previously approved plans should be submitted to expedite the process.
- Fire Department approval on the corrected/final sets of drawings (647-5839 or 647-5700)
- Police Department approval on the corrected/final set of drawings (647-5840)
- Public Works Agency approval (647-5039)

- Proof of Worker's Compensation Insurance shall be required at the time of permit issuance

2-29-12

Pending 2-28-12

use detail 13

SEE REVISED KEYNOTE #8 ON SHEET A02-10

8. CBC Section 708.4, Fire partitions shall extend from the top of the foundation or floor/ceiling assembly below to the underside of the floor or roof sheathing, slab or deck above or to the fire-resistance-rated floor/ceiling or roof/ceiling assembly above, and shall be securely attached thereto. If the partitions are not continuous to the sheathing, deck or slab, and where constructed of combustible construction, the space between the ceiling and the sheathing, deck or slab above shall be fire-blocked or draft-stopped in accordance with Sections 717.2 and 717.3 at the partition line. The supporting construction shall be protected to afford the required fire-resistance rating of the wall supported, except for tenant and sleeping unit separation walls and corridor walls in buildings of Types IIB, IIIB, and VB construction.

2-28-12

9. Provide complying exiting plan for the "reminder" area. Note the use of adjacent units. *See sheet A02-10*

2-28-12

10. Provide sf of the adjacent suite. *See sheet A2-10*

2-28-12

11. Provide number of exits required by CBC Sections 1015 and 1016. (For adjacent suite) *see sheet A02-10*

2-28-12

12. **Provide typical complete section view through one-hour corridor(s) showing compliance with CBC Sections 1017 and 708:** *see detail 15/A12-00.*

- Size, spacing, and material of framing members. Note gauge and ICC number and installation/construction requirements for metal framing members.
- Method of attaching framing to the building structure. Compliance shall be shown with CBC Section 1607.13 for lateral support of the walls. Do not support top of walls to suspended ceiling system unless calculations and drawings prepared by a registered engineer are submitted for review. Submit structural engineering calculations for walls in rooms with a floor to building structure above height greater than 14'.
- Sheathing material and details of attachment. Note type, size, and spacing of fasteners.
- Height of partition, suspended ceiling, structure above.
- Reference each wall and ceiling fire-resistive assembly to a CBC Chapter 7 Table and item number.
- Fire blocks and draft stops in combustible construction in accordance with CBC Section 717. Show

location(s) and provide typical construction details.

Fire/smoke damper locations, installation requirements, and required access doors. Refer to CBC Section 716 and Mechanical Code Section 606.

2-29-12
Pending

13. Note on the drawings CBC Section 715 requirements for a pair of doors installed in a one-hour corridor wall. Door is 20min rated. See door schedule on sheet A2.10.

2-29-12
Pending

A labeled assembly having a fire-protection rating of not less than 20 minutes.

Self-closer or automatic-closer actuated by a smoke detector.

See door note #9 on sheet A2.10

- Automatic flush bolts, the door leaf having the automatic flush bolts shall have no doorknob or surface-mounted hardware. The unlatching of any leaf shall not require more than one operation.
- Full mortise hinges – three minimum.
- Tight-fitting clearances and provided with a gasket so installed as to provide a seal where the door meets the stop on both sides and across the top. Clearances for a pair of swinging doors shall be as follows: With a minus 1/16" tolerance – 1/8" along the top, 1/8" along the hinge and latch jambs, 1/8" along the meeting edge of the doors, and 1/4" at the bottom of the doors.

Pending

An overlapping astragal extending the full height of the doors is required along the meeting edges of the doors. A coordinating device is also required to insure proper closing."

Pending

14. CBC Section 1024.5.1. Doors, when fully opened, and handrails shall not reduce the required width by more than 7". Doors in any position shall not reduce the required width by more than one-half. Other nonstructural projections such as trim and similar decorative features are permitted to project into the required width 1.5" from each side. (For door # 1055.1) See door note #7 on sheet A02.10

2-28-12

15. Show height of the partition wall on detail 1/A12. See dimension added A12.00

2-28-12

16. Provide span table for metal studs. Span table added on sheet A12.00

2-28-12

17. Show width and height of the glass in conference room. See dimension (height) added A12.00

2-28-12

18. Show how glasses in office 1061, will be supported at the angles. See sheet A12.00

2-28-12

19. Show height and width of the glass in room # 1061. See sheet A12.00

2-28-12

20. Show width of the corridor. Width added. See sheet A02.10.

2-28-12

21. Provide complete structural calculations and drawings for suspended ceiling systems showing compliance with CBC Sections 711.3.1, 803.9, 1613, and 1705 (special inspections) and ASTM C635 and ASTM C636. (OR See Comment #22 to #24) See sheet A12.00

2-28-12

22. Provide a complete suspended ceiling system plan and section detail showing the following:

See sheet A12.00

- Vertical supports
- Seismic wires
- Seismic strut/Compression strut
- Perimeter wires

EXISTING CEILING TO REMAIN.

- Separate fixture wires for lights and mechanical devices
- ICC Research Report number for the suspended ceiling

2-29-12

Pending 2-28-12

23. The reflected ceiling plan and details must show compliance with CBC Sections 711.3.1, 803, 1613, and 1705 (special inspection) for suspended ceiling systems. See sheet A12.00

24. Note ICC Research Report Number on the drawings for the suspended ceiling system. (ICC Report Number 1308) See sheet A12.00

2-28-12

2-29-12

25 on detail $\frac{2}{A-12}$ Add ~~not~~ No combustibe material. see revised detail $\frac{2}{A-12.00}$



Planning & Building Agency
 Building Safety Division
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

TENANT IMPROVEMENT PLAN CHECK COMMENTS

PLAN CHECK NO:	10174128		
PROJECT ADDRESS:	5 E Hutton Center Dr Unit# 1050		
PLAN CHECK ENGINEER:	Ahangian, Kathy	TEL: 714	647-5812
		FAX: 714	647-5897
TYPE OF CONSTRUCTION:	I A, SPK		
OCCUPANCY CLASSIFICATION(S):	B		
PLAN CHECK DATES:		REMARKS/RECHECK ITEMS:	
APPLICATION	2/8/2012		
INITIAL REVIEW	2/18/2012		
EXPIRATION	8/6/2012		
RECHECKS:	1. 2-28-12	PROJECT APPLICANT CONTACT PERSON:	
	2.	Judy or Mark Yam	
	3.	TEL:	(626)675-9882
VALUATION:	\$149,500.00	FAX:	
FLOOD ZONE:	X-0602320278J	EMAIL:	meiyeeyam@sbcglobal.net

**APPLICABLE CODE: 2010 CALIFORNIA BUILDING CODE (CBC) WITH
 CITY OF SANTA ANA AMENDMENTS**

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2. Please indicate the sheet number and detail to the right of each correction, or note the number on the plans where the correction is made. Resubmit marked original, calculations and this correction sheet. A separate sheet for response may be used.
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- Fire Department approval on the corrected/final sets of drawings (647-5839 or 647-5700)
- Police Department approval on the corrected/final set of drawings (647-5840)
- Public Works Agency approval (647-5039)
- Proof of Worker's Compensation Insurance shall be required at the time of permit issuance

Pending 2-28-12 use detail B
8. CBC Section 708.4, Fire partitions shall extend from the top of the foundation or floor/ceiling assembly below to the underside of the floor or roof sheathing, slab or deck above or to the fire-resistance-rated floor/ceiling or roof/ceiling assembly above, and shall be securely attached thereto. If the partitions are not continuous to the sheathing, deck or slab, and where constructed of combustible construction, the space between the ceiling and the sheathing, deck or slab above shall be fire-blocked or draft-stopped in accordance with Sections 717.2 and 717.3 at the partition line. The supporting construction shall be protected to afford the required fire-resistance rating of the wall supported, except for tenant and sleeping unit separation walls and corridor walls in buildings of Types IIB, IIIB, and VB construction.

2-28-12
9. Provide complying exiting plan for the "reminder" area. Note the use of adjacent units. *See sheet A02-10*

2-28-12
10. Provide sf of the adjacent suite. *See sheet A2-10*

2-28-12
11. Provide number of exits required by CBC Sections 1015 and 1016. (For adjacent suite) *see sheet A02-10*

2-28-12
12. **Provide typical complete section view through one-hour corridor(s) showing compliance with CBC Sections 1017 and 708:** *see detail 15/A12-00.*

- Size, spacing, and material of framing members. Note gauge and ICC number and installation/construction requirements for metal framing members.
- Method of attaching framing to the building structure. Compliance shall be shown with CBC Section 1607.13 for lateral support of the walls. Do not support top of walls to suspended ceiling system unless calculations and drawings prepared by a registered engineer are submitted for review. Submit structural engineering calculations for walls in rooms with a floor to building structure above height greater than 14'.
- Sheathing material and details of attachment. Note type, size, and spacing of fasteners.
- Height of partition, suspended ceiling, structure above.
- Reference each wall and ceiling fire-resistive assembly to a CBC Chapter 7 Table and item number.
- Fire blocks and draft stops in combustible construction in accordance with CBC Section 717. Show

location(s) and provide typical construction details.

- Fire/smoke damper locations, installation requirements, and required access doors. Refer to CBC Section 716 and Mechanical Code Section 606.

Pending
 13. Note on the drawings CBC Section 715 requirements for a pair of doors installed in a one-hour corridor wall. *Door is 20min rated. See door schedule on sheet A2.10.*

- A labeled assembly having a fire-protection rating of not less than 20 minutes.

Pending
 Self-closer or automatic-closer actuated by a smoke detector.

- Automatic flush bolts, the door leaf having the automatic flush bolts shall have no doorknob or surface-mounted hardware. The unlatching of any leaf shall not require more than one operation.
- Full mortise hinges – three minimum.
- Tight-fitting clearances and provided with a gasket so installed as to provide a seal where the door meets the stop on both sides and across the top. Clearances for a pair of swinging doors shall be as follows: With a minus 1/16" tolerance – 1/8" along the top, 1/8" along the hinge and latch jambs, 1/8" along the meeting edge of the doors, and 1/4" at the bottom of the doors.

Pending
 An overlapping astragal extending the full height of the doors is required along the meeting edges of the doors. A coordinating device is also required to insure proper closing."

Pending
 14. CBC Section 1024.5.1. Doors, when fully opened, and handrails shall not reduce the required width by more than 7". Doors in any position shall not reduce the required width by more than one-half. Other nonstructural projections such as trim and similar decorative features are permitted to project into the required width 1.5" from each side. *(For door # 1055.1) See door note # 7 on sheet A02.10*

2-28-12
 15. Show height of the partition wall on detail 1/A12. *See dimension added A12.00*

2-28-12
 16. Provide span table for metal studs. *Span table added on sheet A12.00*

Pending 2-28-12
 17. Show width and height of the glass in conference room. *see dimension (height) added A12.00*

Pending 2-28-12
 18. Show how glasses in office 1061, will be supported at the angles. *see sheet A12.00*

Pending
 19. Show height and width of the glass in room # 1061. *see sheet A12.00*

2-28-12
 20. Show width of the corridor. *width added. see sheet A02.10.*

2-28-12
 21. Provide complete structural calculations and drawings for suspended ceiling systems showing compliance with CBC Sections 711.3.1, 803.9, 1613, and 1705 (special inspections) and ASTM C635 and ASTM C636. *(OR See Comment #22 to #24) see sheet A12.00*

2-28-12
 22. Provide a complete suspended ceiling system plan and section detail showing the following:

- Vertical supports
- Seismic wires
- Seismic strut/Compression strut
- Perimeter wires

see sheet A12.00

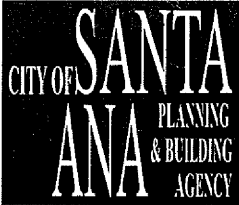
- Separate fixture wires for lights and mechanical devices
- ICC Research Report number for the suspended ceiling

Pending 2-28-12
23) ~~The reflected ceiling plan and details must show compliance with CBC Sections 711.3.1, 803, 1613, and 1705 (special inspection) for suspended ceiling systems.~~ *See sheet A-12.00*

24. Note ICC Research Report Number on the drawings for the suspended ceiling system. (ICC Report Number 1308) *See sheet A-12.00*

2-28-12

25) on detail $\frac{2}{A-12}$ Add ~~not~~ No combustible material.



Planning & Building Agency
 Permits & Plan Check Section
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

ACCELERATED PLAN CHECK REQUEST

Project Address: 5 E Horton #1050 HQ 6:07-01-11

Misc. Receipt: 586047 Processed By: [Signature] Plan Checked By: _____

Cost: \$117.70 per hour for each discipline. The plan checker will estimate the number of hours for review. This fee is in addition to the regular plan check fee.

Type of Plan Check: Building 10174128 Electrical _____
 Est. Hrs. 3 Actual _____ Est. Hrs. _____ Actual _____
 Plumbing _____ Mechanical _____
 Est. Hrs. _____ Actual _____ Est. Hrs. _____ Actual _____

Owner/Representative Signature: [Signature]

Print Name: MARK YAM Date: 1-17-12

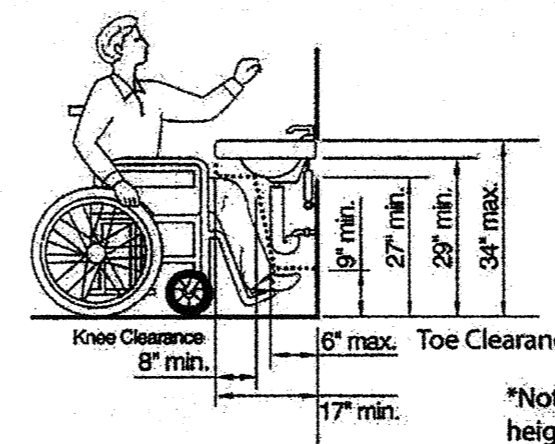
Telephone Number: (661) 675 9882 Fax Number: () _____

[Signature] **An accelerated plan check review will not include the following:**
Fire, Police, Public Works, Planning or Landscaping Plan Check

Revisions: If requesting an "accelerated revision", the cost will be \$207.25 per hour in addition to the accelerated fee of \$117.70 per hour (total \$324.95).

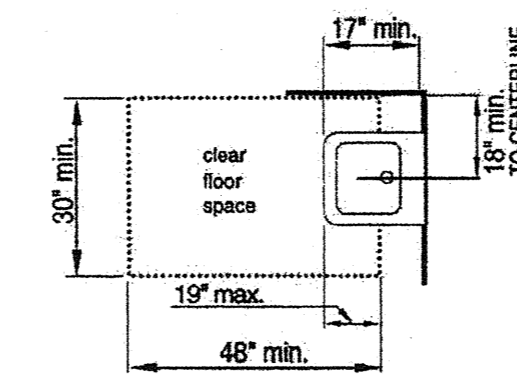
INTERNAL USE ONLY

Name (Last, First, Initial)		Employee #	Division
From (Date & Time)	To (Date & Time)	Total Hours Worked	_____ Comp Time Requested _____ Overtime Requested
Employee Signature: _____		Date: _____	
AUTHORIZED _____ Comp time _____ Overtime		APPROVALS _____ Division Manager _____ Date _____ _____ Executive Director _____ Date _____	
Immediate Supervisor _____	Date _____	Executive Director _____	Date _____



*Note: If a minimum 9 inches height of toe clearance is provided, a maximum of 6 inches of the 48 inches of clear floor space required at the fixture may extend into the toe space.

SIDE ELEVATION



PLAN VIEW

THIS DIAGRAM ILLUSTRATES THE SPECIFIC REQUIREMENTS OF THESE REGULATIONS AND ARE INTENDED ONLY AS A GUIDE FOR BUILDING DESIGN AND CONSTRUCTION.

FIGURE 11A-90—KNEE CLEARANCE

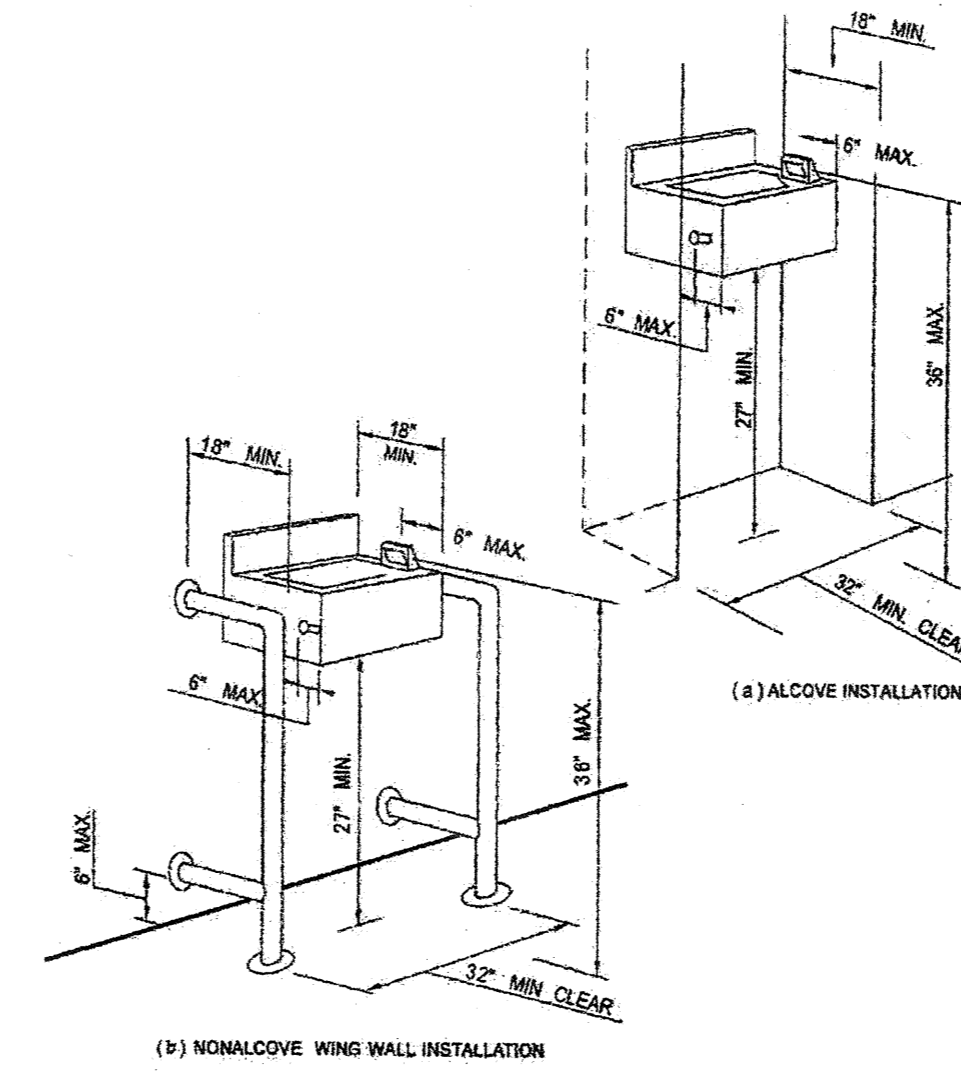
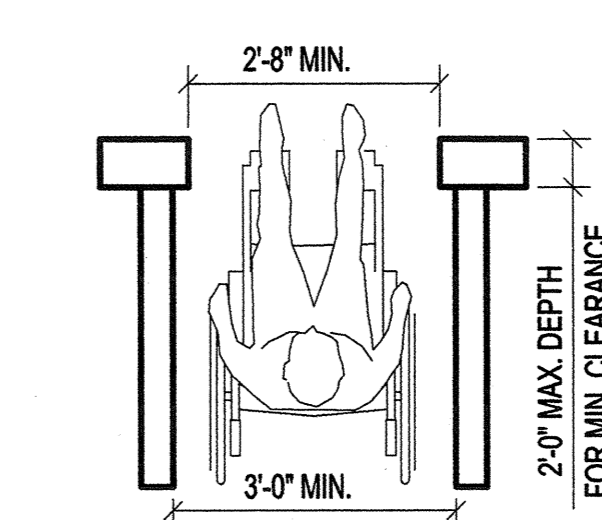
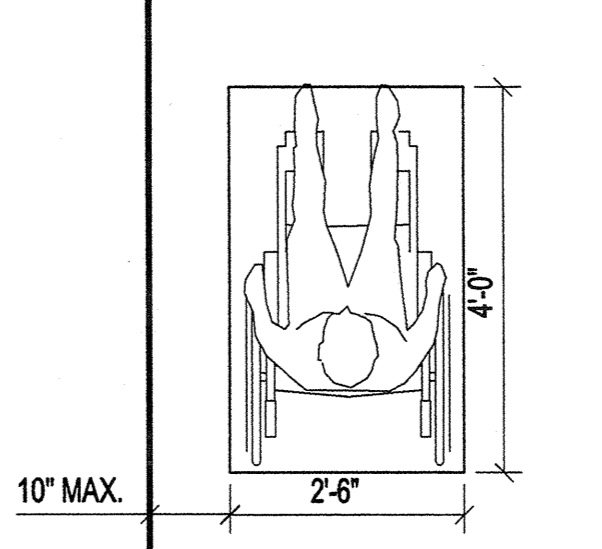
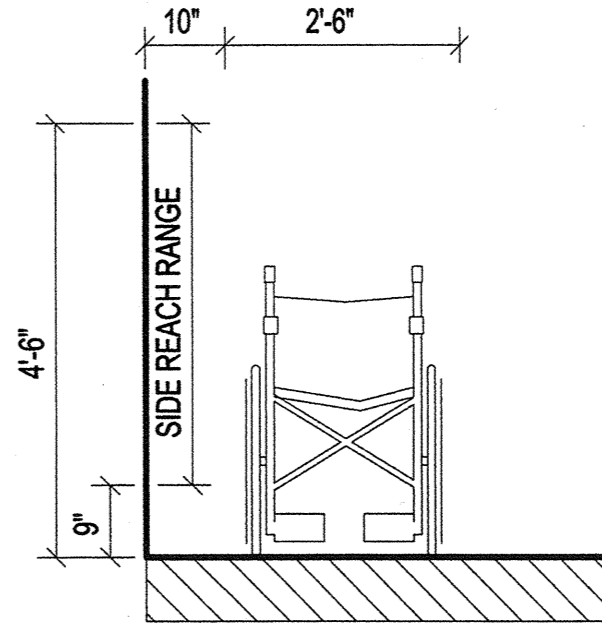
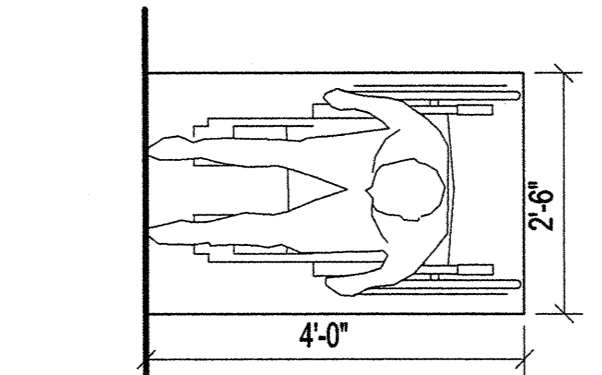
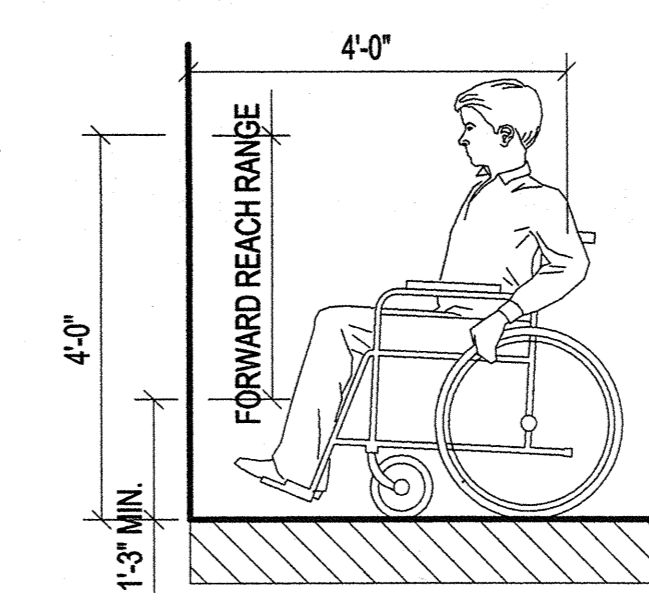


FIGURE 11A-11A—WATER FOUNTAINS

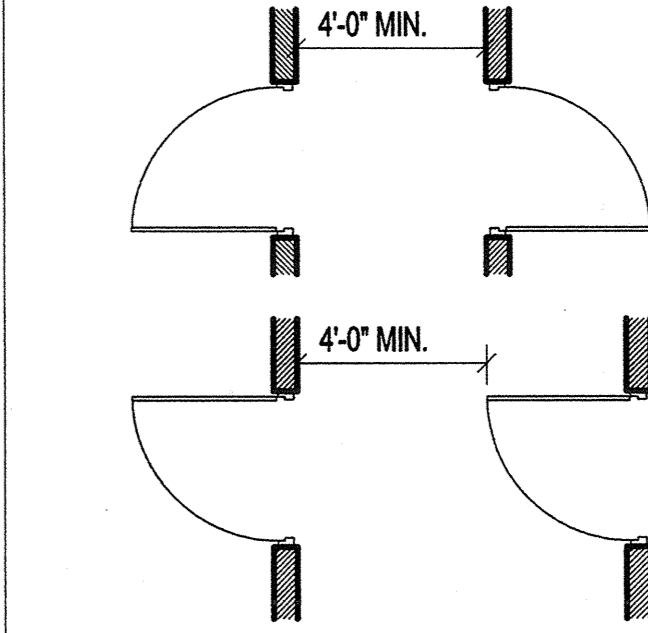
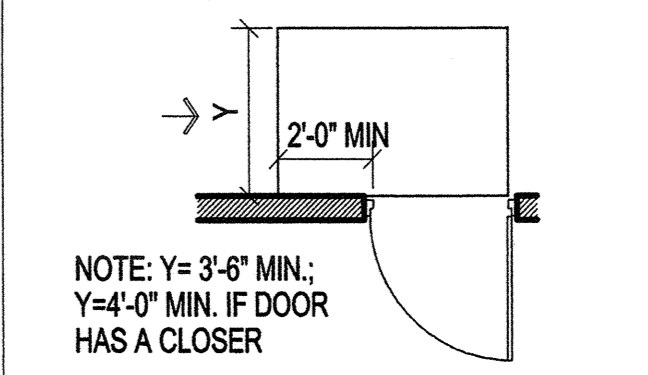
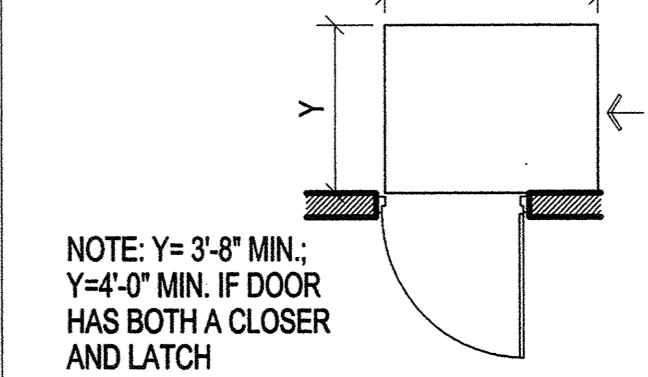
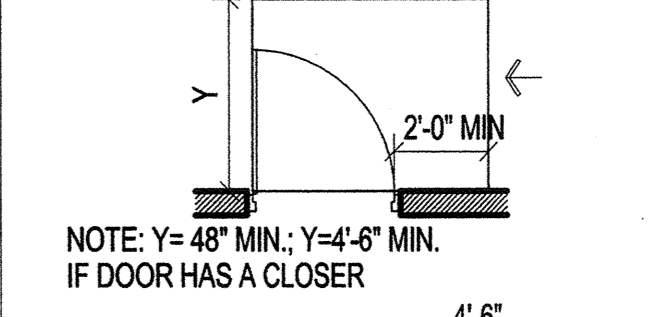
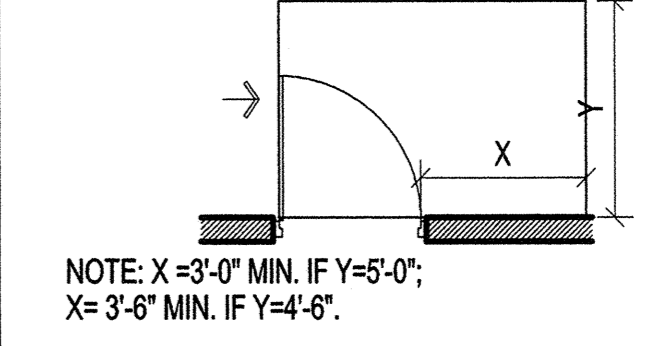
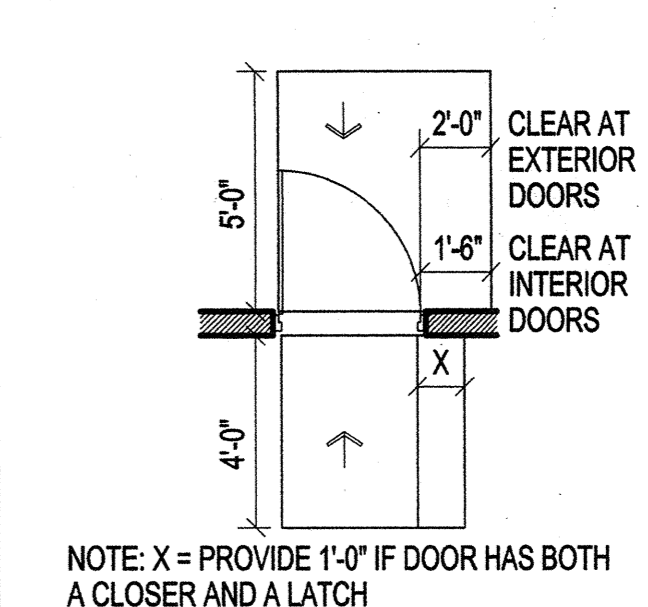
DRINKING FOUNTAIN
SCALE: NTS

10



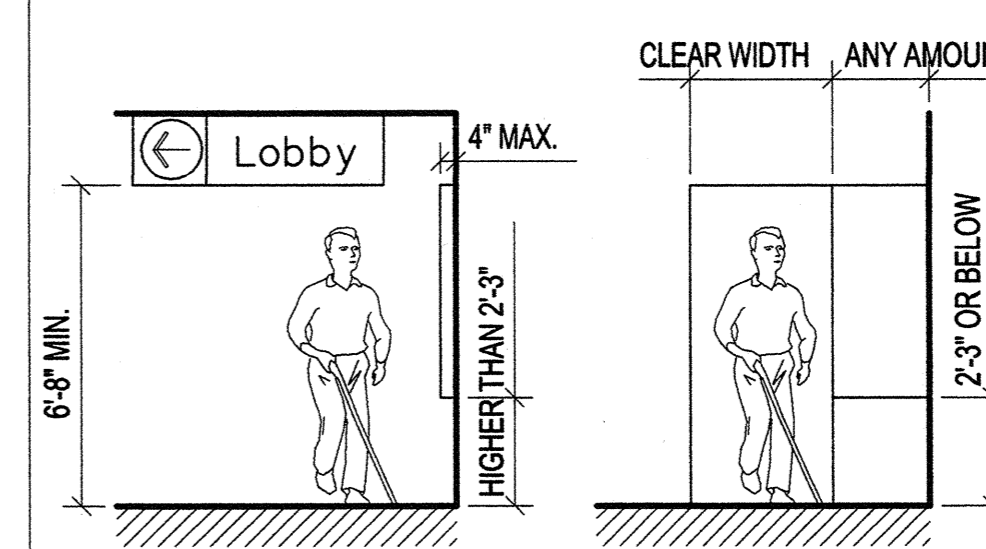
REACH RANGES
SCALE: 1/2" = 1'-0"

6



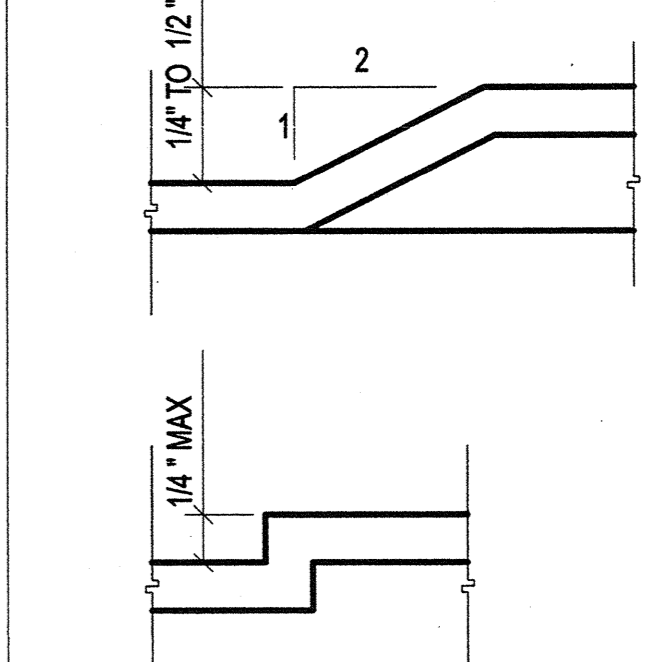
CLEARANCES
SCALE: 1/2" = 1'-0"

2



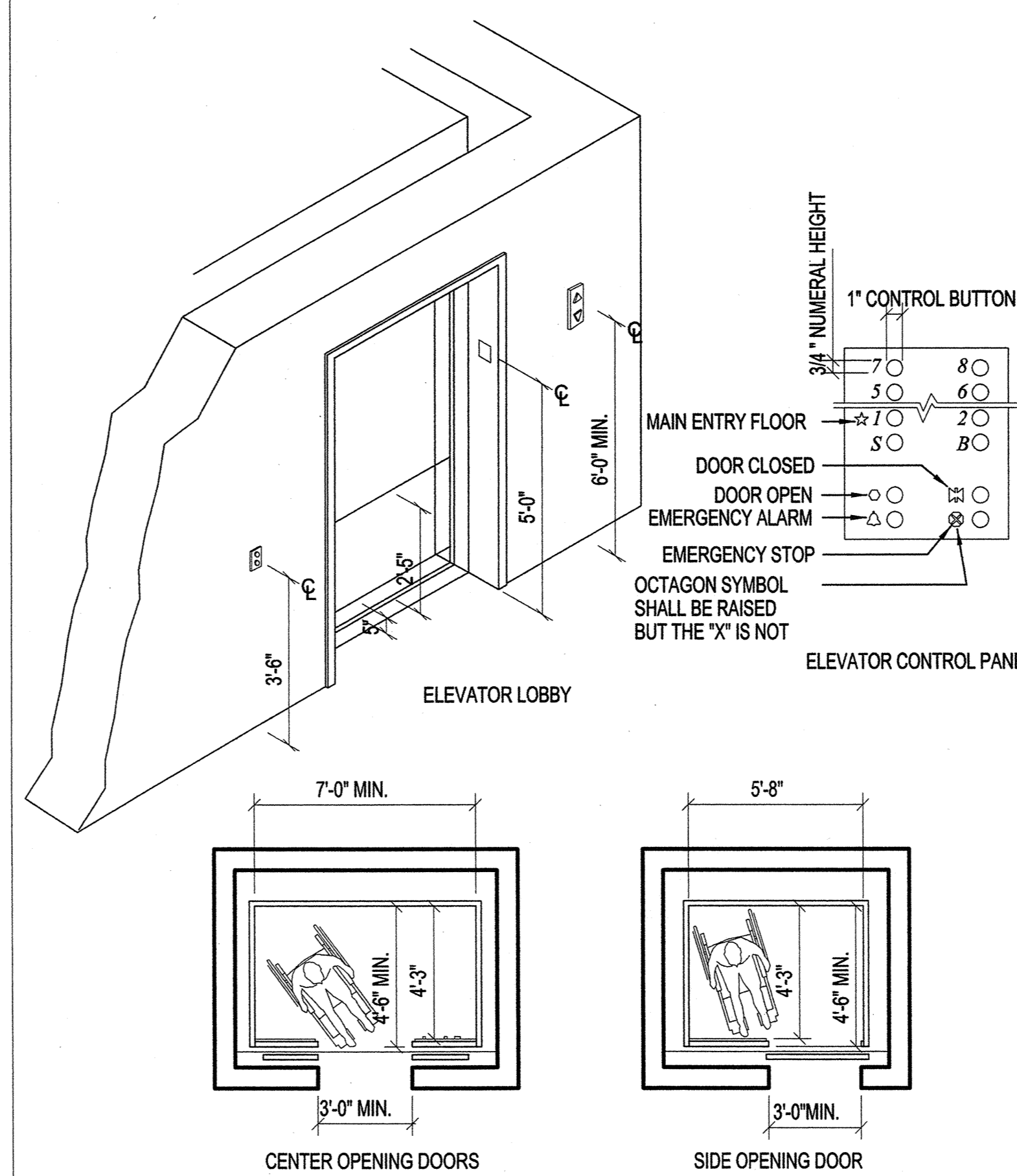
PROTRUDING OBJECTS
SCALE: 1/4" = 1'-0"

7



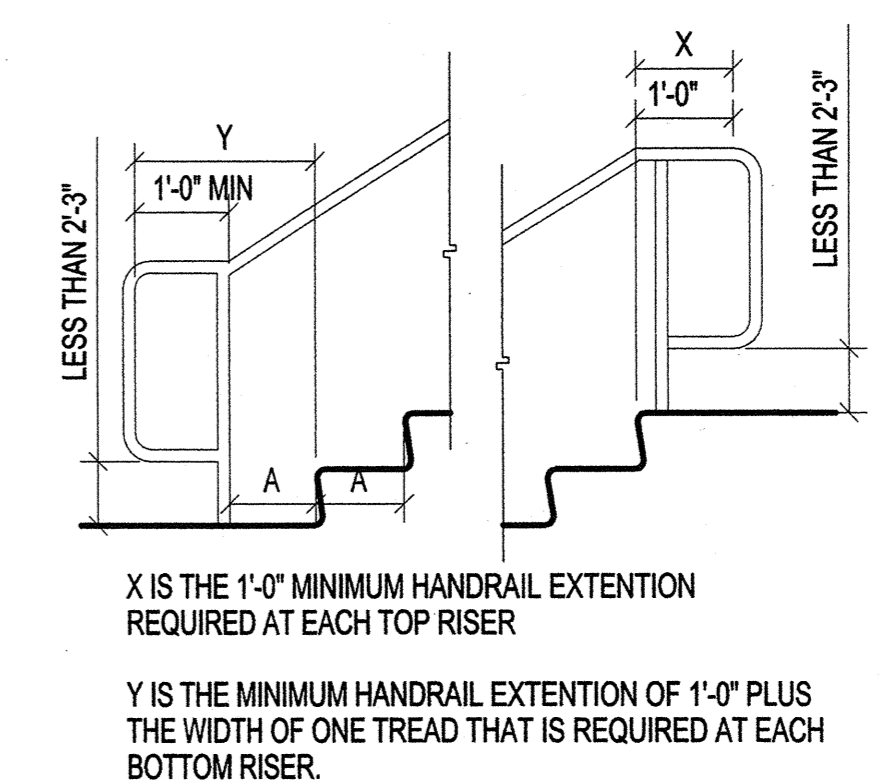
THRESHOLDS
SCALE: FULL

3



ELEVATOR
SCALE: VARIES

12



HANDRAIL EXTENSIONS
SCALE: 1/2" = 1'-0"

4

MICHAEL F MORAN
5 HUTTON CENTRE DRIVE
SUITE 1050
SANTA ANA, CA 92707

4675 MacArthur Court
Suite 350
Newport Beach, CA 92660
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Facsimile 949.553.1676

Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SB/PM
ISSUE FOR PERMIT / CITY SUBMITTAL / BID			

Seal/Signature

Project Name
MICHAEL F MORAN
4,185 R.S.F.

Project Number
07.8222.018

CAD File Name
Q:\MORAN\GRIFFIN\TOWERS\HUTTON\CENTER\10\MICHAEL\MORAN\CA\00.SHEETS.A00.40

Description
TITLE-24 INFORMATION

Scale

A00.40

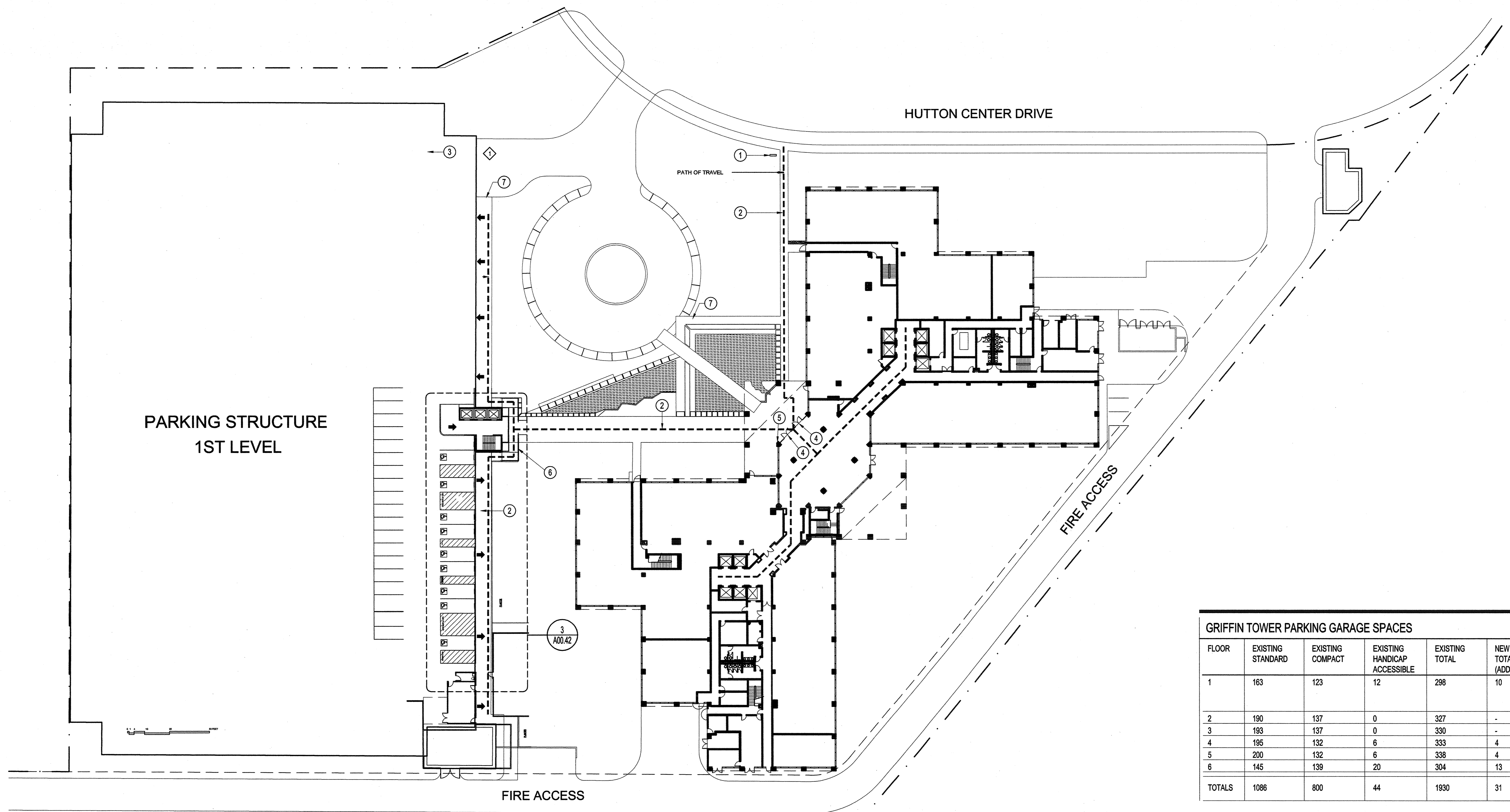
EXISTING CONDITIONS

- ① EXISTING 9"X12" SITE ACCESSIBLE ROUTE SIGN WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY, FROM PUBLIC WAY. (BOTTOM OF SIGN AT 34" HIGH).
- ② EXISTING LEVEL CONCRETE WALK WAY TO BUILDING ENTRANCE (LESS THAN 2% RUNNING SLOPE AND LESS THAN 2% CROSS SLOPE).
- ③ ENTRANCE TO EXISTING PARKING GARAGE WITH DIRECTIONAL SIGNAGE (WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY), TOWARDS (10) ACCESSIBLE PARKING STALLS. (4 VAN ACCESSIBLE AND 6 HANDICAPPED ACCESSIBLE SPACES ON LEVEL 1).
- ④ EXISTING ACCESSIBLE ENTRANCE DOORS WITH 10" SMOOTH UNINTERRUPTED BOTTOM RAIL, DOOR PULLS MOUNTED BETWEEN 36" AND 48" A.F.F. (SEE ELEVATION 1 ON SHEET A00.44).
- ⑤ EXISTING INTERNATIONAL SYMBOL OF ACCESSIBILITY 5' SQUARE (BLUE ON WHITE BACKGROUND) TO REMAIN. (SEE ELEVATION 1 ON SHEET A00.44).
- ⑥ EXISTING HANDICAPPED ACCESSIBLE PARKING (LEVEL 1) RAMP (3.3% SLOPE) TO LEVEL ACCESS ROUTE. (SEE RAMP SECTION DETAIL 2 ON SHEET A00.43).
- ⑦ PROVIDE NEW TRUNCATED DOMES, 3'-0" DEEP X FULL WIDTH OF WALKWAY. (SEE DETAIL 17 ON SHEET A00.43).

ACCESSIBLE PARKING TABULATION

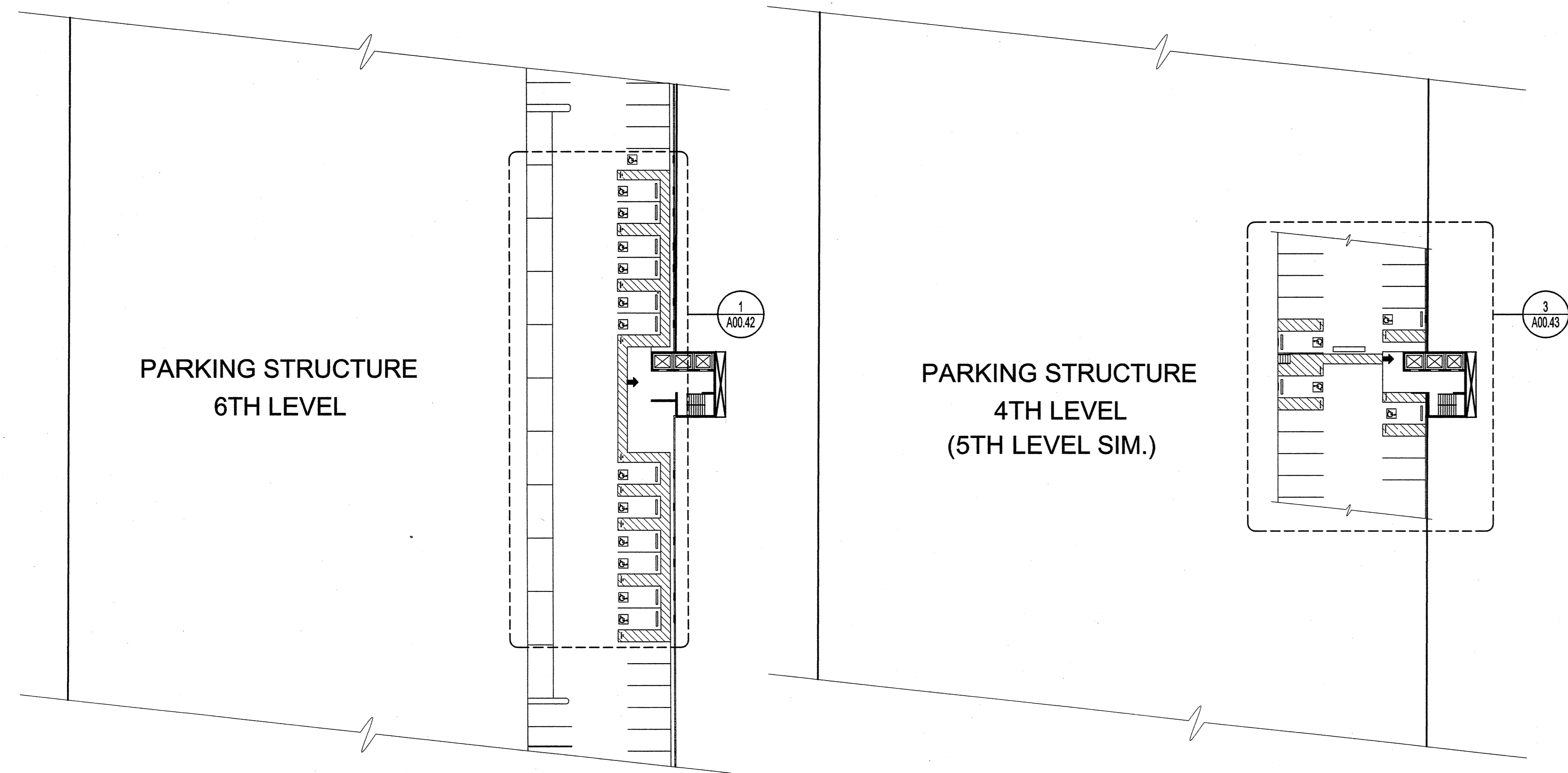
- (A) PER CITY OF SANTA ANA, DISABLED ACCESSIBLE PARKING SECTION 1129B - ACCESSIBLE PARKING. TABLE 11B-6 SPACE REQUIRED: 21 PLUS 1 FOR EACH 100 OR FRACTION THEREOF OVER 1,000. (1938 TOTAL SPACES = 21+10=31 TOTAL H.C. SPACES).
- (B) VAN ACCESSIBLE SPACE: 1 VAN ACCESSIBLE SPACE FOR EACH (8) HANDICAPPED ACCESSIBLE SPACES. (31) H.C. SPACE/ 8= 4 VAN ACCESSIBLE.

GRIFFIN TOWER PARKING GARAGE SPACES						
FLOOR	EXISTING STANDARD	EXISTING COMPACT	EXISTING HANDICAP ACCESSIBLE	EXISTING TOTAL	NEW TOTAL (ADDED)	REMARKS
1	163	123	12	298	10	4 VAN ACCESSIBLE STALLS RE-WORKED (TO COMPLY WITH REVISED CODE), RESULTING IN LOSS OF 2 NON-VAN ACCESSIBLE H.C. SPACES. REVISED TOTAL = 4 VAN AND 6 NON-VAN ACCESSIBLE H.C. SPACES. (B)
2	190	137	0	327	-	-
3	193	137	0	330	-	-
4	195	132	6	333	4	THESE SPACES ARE NON-VAN, HANDICAP ACCESSIBLE
5	200	132	6	338	4	THESE SPACES ARE NON-VAN, HANDICAP ACCESSIBLE
6	145	139	20	304	13	THESE SPACES ARE NON-VAN, HANDICAP ACCESSIBLE
TOTALS	1086	800	44	1930	31 (A)(B)	-



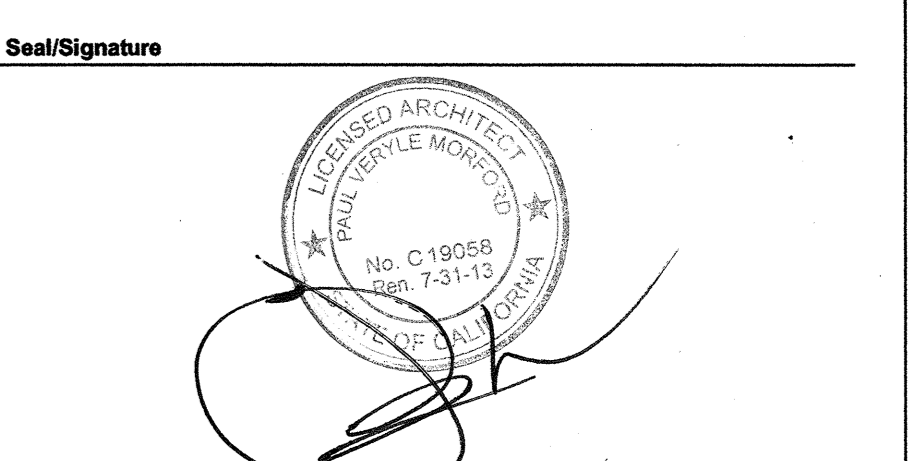
SITE PLAN
SCALE: 1:30

THIS PLAN FOR REFERENCE ONLY. REFER TO PLAN CHECK/PERMIT NO.: 1017360 FOR ADA UPGRADES INCLUDING 12" GROOVED BORDER AT EXISTING RAMP, SIDE SLOPES, TRUNCATED DOMES AND HANDRAILS.



Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SB/PM

ISSUE FOR PERMIT / CITY SUBMITTAL / BID

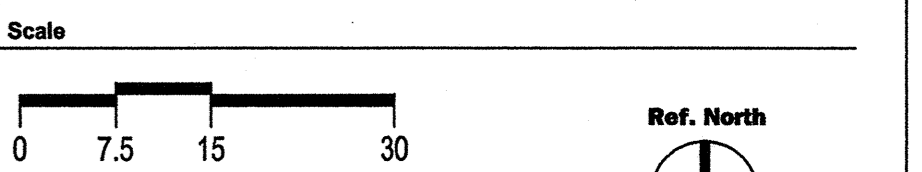


Project Name
MICHAEL F MORAN
4,185 R.S.F.

Project Number
07.6222.018

CAD File Name
03MAGUREGRIFFINTOWERSHUTTONCENTER/MICHAELMORAN/CAD/SHEETS/A00.41

Description
SITE PLAN & PARKING STRUCTURE



MICHAEL F MORAN
5 HUTTON CENTRE DRIVE
SUITE 1050
SANTA ANA, CA 92707

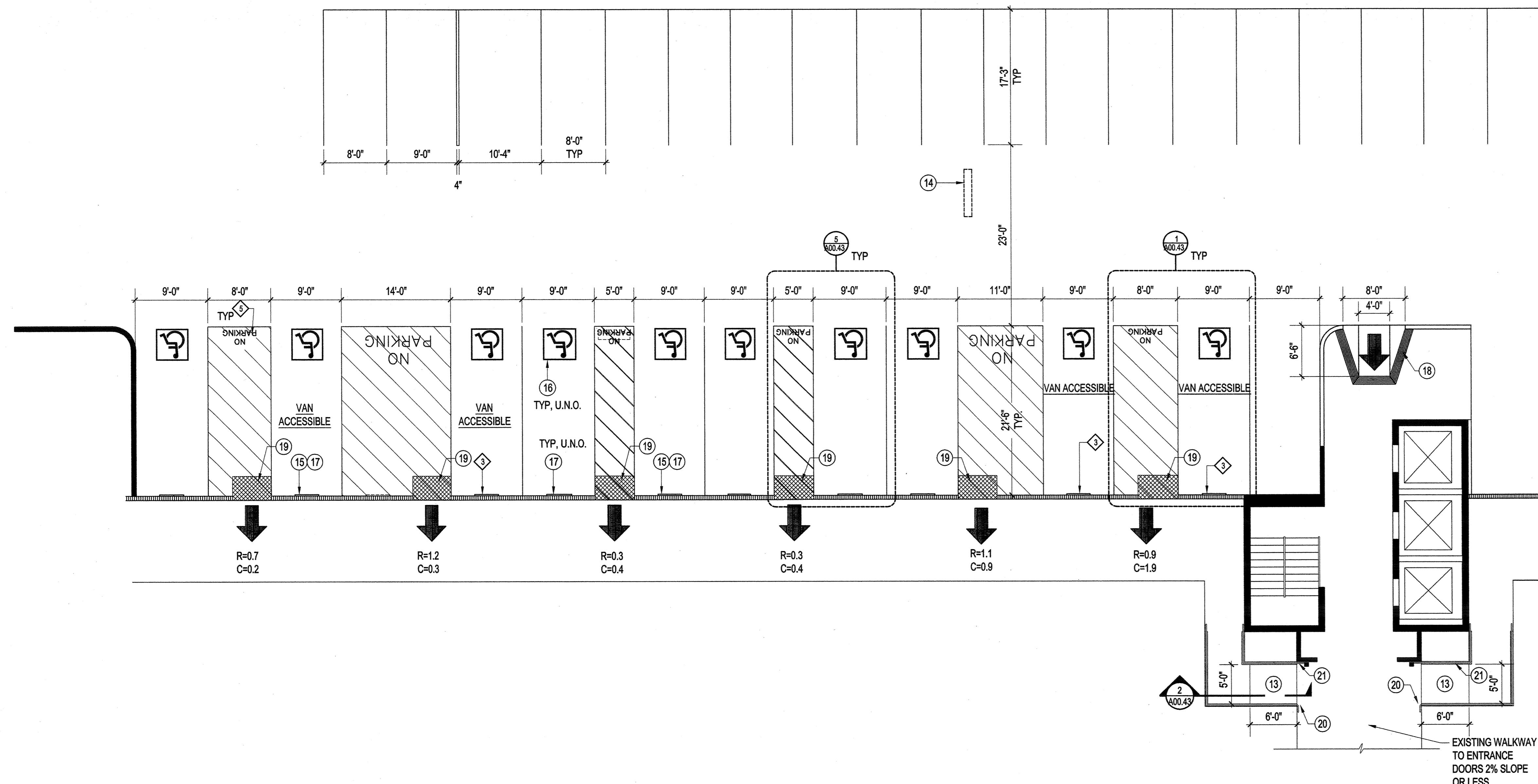
4675 MacArthur Court
Suite 350
Newport Beach, CA 92660
Telephone 949.863.9434
Facsimile 949.553.1676

Gensler

1ST LEVEL EXIST. COND.

- ◇ NOT USED.
- ◇ NOT USED.
- ◇ EXISTING VAN STALL IDENTIFICATION SIGN, MOUNTED ON LOW WALL CENTERED IN FRONT OF STALL (TOP OF SIGN AT 42" A.F.F.), SIMILAR TO DETAIL 10, SHEET A00.43.
- ◇ EXISTING "NO PARKING" IN 12" HIGH LETTERS, MINIMUM. SEE DETAIL 5 ON SHEET A00.43.
- ◇ EXISTING PAVEMENT IDENTIFICATION SIGN, PER CITY OF SANTA ANA REQUIREMENTS. (SEE DETAIL 14, SHEET A00.43).

1. SLOPE OF PAVEMENT IS 1:50 MAX
2. ALL ACCESSIBLE STALLS ARE IDENTIFIED WITH AN UPRIGHT SIGN AND ADDITIONAL PAVEMENT SIGN - SEE SHEET A00.43 FOR DETAILS.
3. ALL ELEVATORS HAVE AUTOMATIC LEVELING FEATURE
4. ALL ELEVATOR DOORS HAVE PROTECTIVE AND AUTOMATIC DOOR REOPENING DEVICES
5. CONTROL PANEL INSIDE (2) ELEVATOR CARS AND CALL BUTTONS AT LOBBY HAVE RAISED CONTROL BUTTONS WITH SQUARE SHOULDERS.
6. ALL CONTROL BUTTONS ARE ACTIVATED BY A MECHANICAL MOTION AND ARE ILLUMINATED UPON ACTIVATION AND EXTINGUISHED WHEN A CALL IS ANSWERED.
7. ALL CONTROL BUTTONS AND CALL BUTTONS ARE MIN. 3/4" DIAMETER.
8. INSIDE OF THE CARS, CONTROL BUTTONS ARE DESIGNATED WITH MIN. 5/8" HIGH, 1/32" RAISED ARABIC NUMERALS AND SYMBOLS IMMEDIATELY TO THE LEFT OF BUTTONS. BRAILLE SYMBOL IS LOCATED IMMEDIATELY BELOW THE RAISED NUMERALS AND SYMBOL. WHITE ON BLACK.
9. CAR POSITION INDICATOR IS PROVIDED IN ALL CARS. INDICATION IS ON A CONTRASTING COLOR BACKGROUND AND WITH MINIMUM 1/2" HIGH TEXT.
10. BACK RAIL IS PROVIDED INSIDE CARS.
11. HALL LANTERNS HAVE BOTH VISUAL AND AUDIBLE SIGNALS, AND ARE MIN. 2 1/2" IN THEIR SMALLEST DIMENSION. THEY ARE CENTERED AT 6'-7.5", TYPICAL.
12. 5/8" HIGH RAISED STAR IS PROVIDED TO THE LEFT OF THE MAIN ENTRY FLOOR AT GROUND LEVEL.
13. EXISTING RAMP WITH 7.6% SLOPE (RUN) FROM LEVEL WALKWAY TO LEVEL WALKWAY TO BUILDING (LESS THAN 2% CROSS-SLOPE).
14. LOCATION OF DISABLED ACCESS SIGNAGE INDICATING THAT ADDITIONAL DISABLED ACCESS PARKING STALLS ARE LOCATED ON THE 4TH, 5TH AND 6TH FLOORS.
15. EXISTING VAN SIGNAGE TO REMAIN
16. EXISTING PAVEMENT IDENTIFICATION SIGN TO REMAIN.
17. EXISTING PARKING SIGNAGE TO REMAIN
18. EXISTING RAMP WITH 7.8% SLOPE (RUN) AND 10% MAX SIDE SLOPE FROM LEVEL GARAGE TO LEVEL WALKWAY TO BUILDING (WITH LESS THAN 2% CROSS-SLOPE). PROVIDE 12" GROOVED BORDER AT WALKWAY, ON APPROACH SIDE OF RAMP. SEE DETAIL 17/A00.43
19. EXISTING TRUNCATED DOMES AT EXISTING OPENING, 3'-0" DEEP X OPENING WIDTH. (SEE DETAIL 17 ON SHEET A00.43)
20. EXISTING HANDRAIL WITH 12" RETURN AT WALKWAY, AS SHOWN ON PLAN. SEE DETAIL 2/A00.43 (SIM)
21. EXISTING HANDRAIL WITH 12" EXTENSION AT APPROACH AND CONNECTION TO EXISTING COLUMN.



PARKING STRUCTURE 1ST LEVEL

SCALE: 1/8"=1'-0"

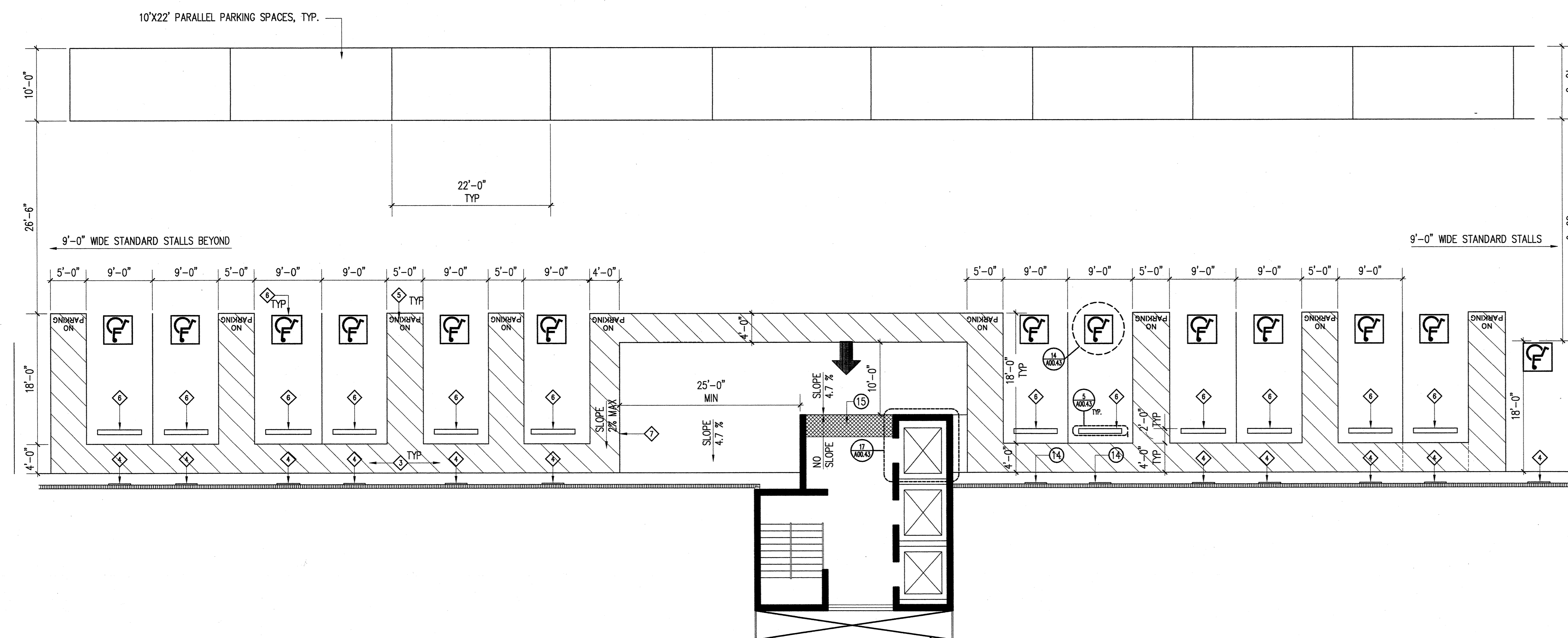
PK_01_TYP

3

6TH LEVEL EXIST. COND.

- ◇ NOT USED.
- ◇ NOT USED.
- ◇ EXISTING STRIPED 4'-0" WIDE PATH OF TRAVEL AISLE AS GRAPHICALLY SHOWN. SEE DETAILS 1, 5, 10 & 14 ON SHEET A00.43 FOR STRIPING SPECIFICATIONS
- ◇ RELOCATED OR NEW STALL IDENTIFICATION SIGN, MOUNTED ON LOW WALL IN FRONT OF STALL (TOP OF SIGN AT 42" A.F.F.), SIMILAR TO DETAIL 10, SHEET A00.43.
- ◇ EXISTING "NO PARKING" IN 12" HIGH LETTERS, MINIMUM. SEE DETAIL 5 ON SHEET A00.43.
- ◇ EXISTING WHEEL STOPS.
- ◇ ALL NEW PARKING SPACES TO HAVE LESS THAN 2% (1:50) SLOPE. START PAINTED ACCESS AISLE AT MINIMUM OF 25'-0" FROM STAIR STRUCTURE TO KEEP CLEAR OF EXISTING, NON-COMPLIANT GRADE.

1. SLOPE OF PAVEMENT IS 1:50 MAX (2% MAX SLOPE).
2. ALL ACCESSIBLE STALLS ARE IDENTIFIED WITH AN UPRIGHT SIGN AND ADDITIONAL PAVEMENT SIGN - SEE DETAILS 4, 6 & 10 ON SHEET A00.43. (RELOCATE AS REQ'D.)
3. ALL ELEVATORS HAVE AUTOMATIC LEVELING FEATURE
4. ALL ELEVATOR DOORS HAVE PROTECTIVE AND AUTOMATIC DOOR REOPENING DEVICES
5. CONTROL PANEL INSIDE (2) ELEVATOR CARS AND CALL BUTTONS AT LOBBY HAVE RAISED CONTROL BUTTONS WITH SQUARE SHOULDERS.
6. ALL CONTROL BUTTONS ARE ACTIVATED BY A MECHANICAL MOTION AND ARE ILLUMINATED UPON ACTIVATION AND EXTINGUISHED WHEN A CALL IS ANSWERED.
7. ALL CONTROL BUTTONS AND CALL BUTTONS ARE MIN. 3/4" DIAMETER.
8. INSIDE OF THE CARS, CONTROL BUTTONS ARE DESIGNATED WITH MIN. 5/8" HIGH, 1/32" RAISED ARABIC NUMERALS AND SYMBOLS IMMEDIATELY TO THE LEFT OF BUTTONS. BRAILLE SYMBOL IS LOCATED IMMEDIATELY BELOW THE RAISED NUMERALS AND SYMBOL. WHITE ON BLACK.
9. CAR POSITION INDICATOR IS PROVIDED IN ALL CARS. INDICATION IS ON A CONTRASTING COLOR BACKGROUND AND WITH MINIMUM 1/2" HIGH TEXT.
10. BACK RAIL IS PROVIDED INSIDE CARS.
11. EXISTING HALL LANTERNS HAVE BOTH VISUAL AND AUDIBLE SIGNALS, AND ARE MIN. 2 1/2" IN THEIR SMALLEST DIMENSION. THEY ARE CENTERED AT 6'-7.5", TYPICAL.
12. 5/8" HIGH RAISED STAR IS PROVIDED TO THE LEFT OF THE MAIN ENTRY FLOOR AT GROUND LEVEL.
13. EXISTING RAMP 3.3% SLOPE FROM LEVEL WALKWAY (LESS THAN 2% SLOPE) TO LEVEL WALKWAY TO BUILDING (LESS THAN 2% SLOPE).
14. EXISTING SIGNAGE TO REMAIN
15. EXISTING TRUNCATED DOMES AT EXISTING OPENING, 3'-0" DEEP MIN. (SEE DETAIL 17 ON SHEET A00.43).



PARKING STRUCTURE 6TH LEVEL

SCALE: 1/8"=1'-0"

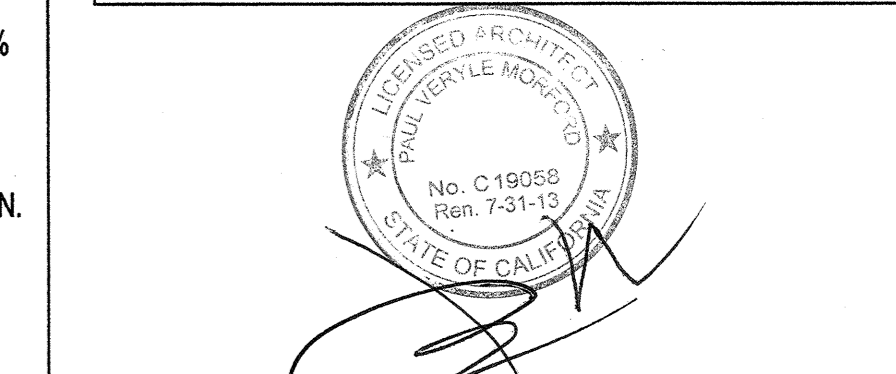
PK_06_TYP

1

THIS PLAN FOR REFERENCE ONLY. REFER TO PLAN CHECK/PERMIT NO.: 1017360 FOR ADA UPGRADES INCLUDING 12" GROOVED BORDER AT EXISTING RAMP, SIDE SLOPES, TRUNCATED DOMES AND HANDRAILS.

Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SB/PM
ISSUE FOR PERMIT / CITY SUBMITTAL / BID			

Seal/Signature



Project Name
MICHAEL F MORAN
4,185 R.S.F.

Project Number
07.6222.018

CAD File Name
C:\MAGUIRE\GRRP\TONERS\HUTTONCENTER\10\MICHELMORAN\CA\00.SHEETS A00.42

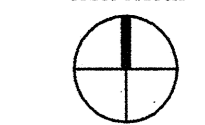
Description
ENLARGED PLANS

Scale

A00.42

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Ref. North



MICHAEL F MORAN
5 HUTTON CENTRE DRIVE
SUITE 1050
SANTA ANA, CA 92707

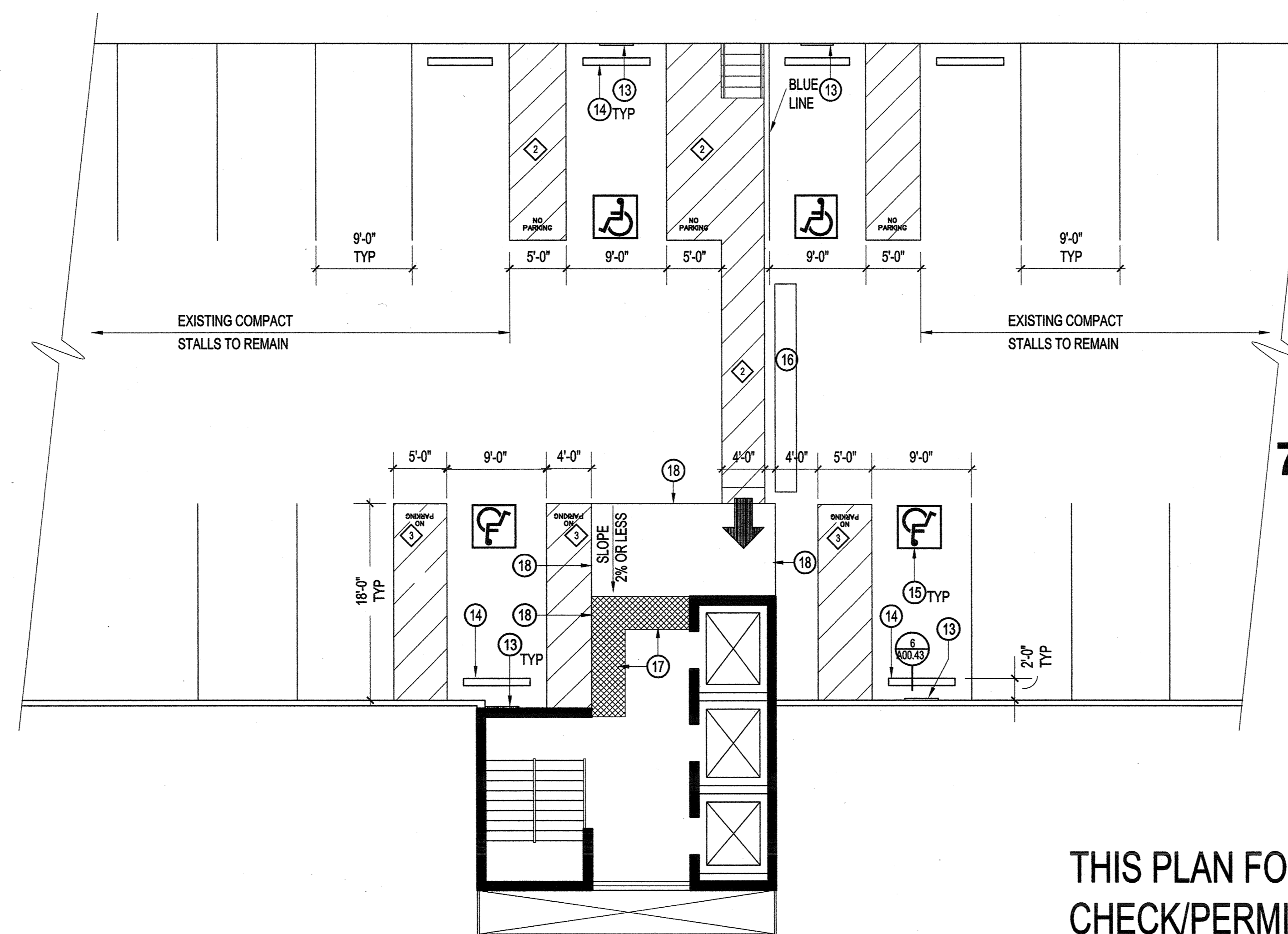
4675 MacArthur Court
Suite 350
Newport Beach, CA 92660
Telephone 949.863.9434
Facsimile 949.553.1676

Gensler

EXISTING CONDITIONS

- SLOPE OF PAVEMENT IS 1:50 MAX
- ALL ACCESSIBLE STALLS ARE IDENTIFIED WITH AN UPRIGHT SIGN AND ADDITIONAL PAVEMENT SIGN - SEE DETAILS 1, 5 & 10 THIS SHEET.
- ALL ELEVATORS HAVE AUTOMATIC LEVELING FEATURE
- ALL ELEVATOR DOORS HAVE PROTECTIVE AND AUTOMATIC DOOR REOPENING DEVICES
- CONTROL PANEL INSIDE (2) ELEVATOR CARS AND CALL BUTTONS AT LOBBY HAVE RAISED CONTROL BUTTONS WITH SQUARE SHOULDERS.
- ALL CONTROL BUTTONS ARE ACTIVATED BY A MECHANICAL MOTION AND ARE ILLUMINATED UPON ACTIVATION AND EXTINGUISHED WHEN A CALL IS ANSWERED.
- ALL CONTROL BUTTONS AND CALL BUTTONS ARE MIN. 3/4" DIAMETER.
- INSIDE ALL (3) CARS, CONTROL BUTTONS ARE DESIGNATED WITH MIN. 5/8" HIGH, 1/32" RAISED ARABIC NUMERALS AND SYMBOLS IMMEDIATELY TO THE LEFT OF BUTTONS. BRAILLE SYMBOL IS LOCATED IMMEDIATELY BELOW THE RAISED NUMERALS AND SYMBOL. WHITE ON BLACK. CONTROL BUTTONS ARE BETWEEN 34" & 42" A.F.F.
- CAR POSITION INDICATOR IS PROVIDED IN ALL CARS. INDICATION IS ON A CONTRASTING COLOR BACKGROUND AND WITH MINIMUM 1/2" HIGH TEXT.
- BACK RAIL IS PROVIDED INSIDE CARS.
- HALL LANTERNS HAVE BOTH VISUAL AND AUDIBLE SIGNALS, AND ARE MIN. 2 1/2" IN THEIR SMALLEST DIMENSION. THEY ARE CENTERED.
- 5/8" HIGH RAISED STAR IS PROVIDED TO THE LEFT OF THE MAIN ENTRY FLOOR AT GROUND LEVEL.
- EXISTING SIGNAGE
- EXISTING WHEEL STOP
- EXISTING PAVEMENT SIGNAGE, TYP.
- EXISTING SPEED BUMP
- EXISTING CONTINUOUS TRUNCATED DOMES WHERE SHOWN, 3'-0" DEEP MIN. (SEE DETAIL 17-1).
- EXISTING SLOPE TO FLUSH GRADE.

- ◇ NOT USED.
- ◇ EXISTING BLUE PAINTED STRIPED PEDESTRIAN ACCESS AISLE AND REPAINT IN BLUE, PER SPECIFICATIONS NOTED ON DETAILS 1 & 5, THIS SHEET.
- ◇ EXISTING STRIPES AND "NO PARKING" LETTERS, TO COMPLY WITH 2001 CBC SECTION 1129B-ACCESSIBLE PARKING. SEE DETAILS 1 & 5 ON THIS SHEET.



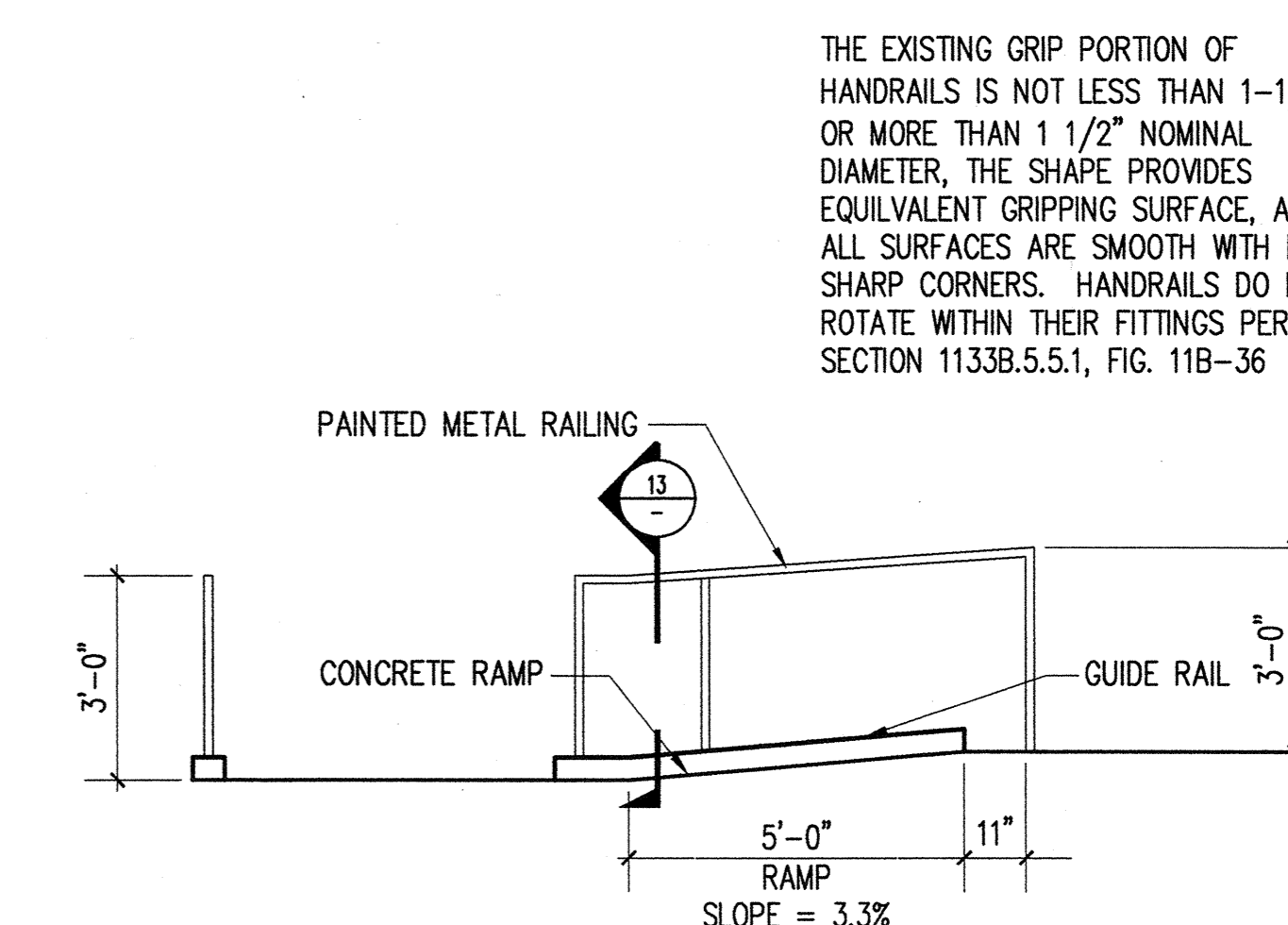
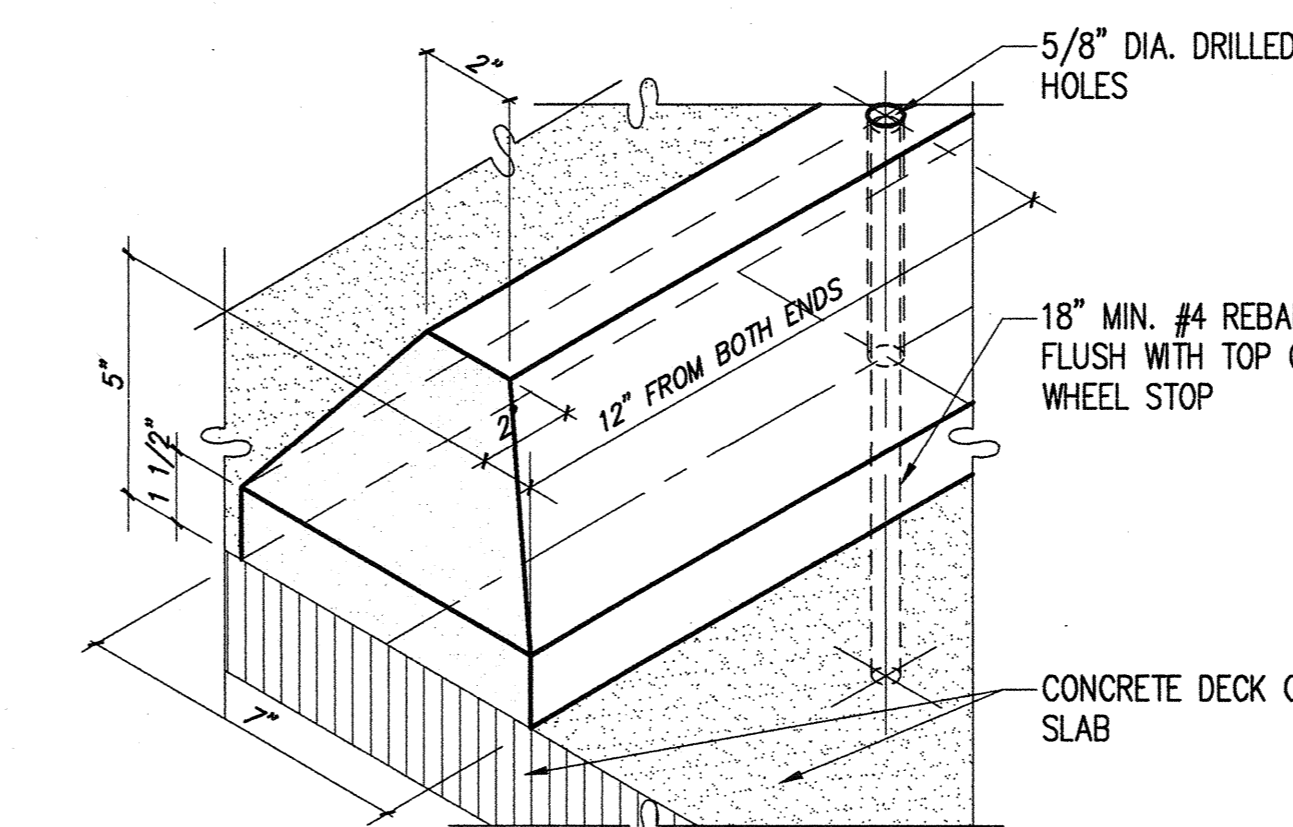
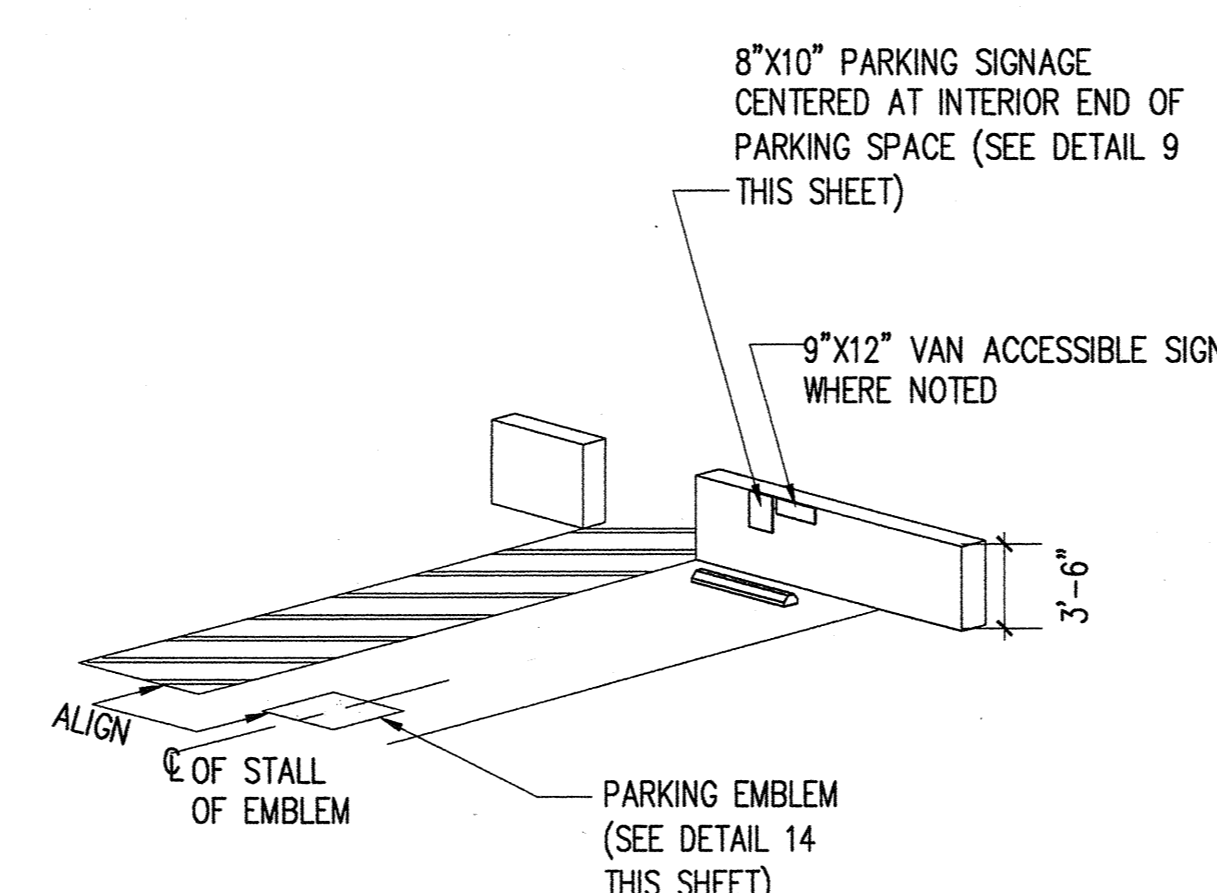
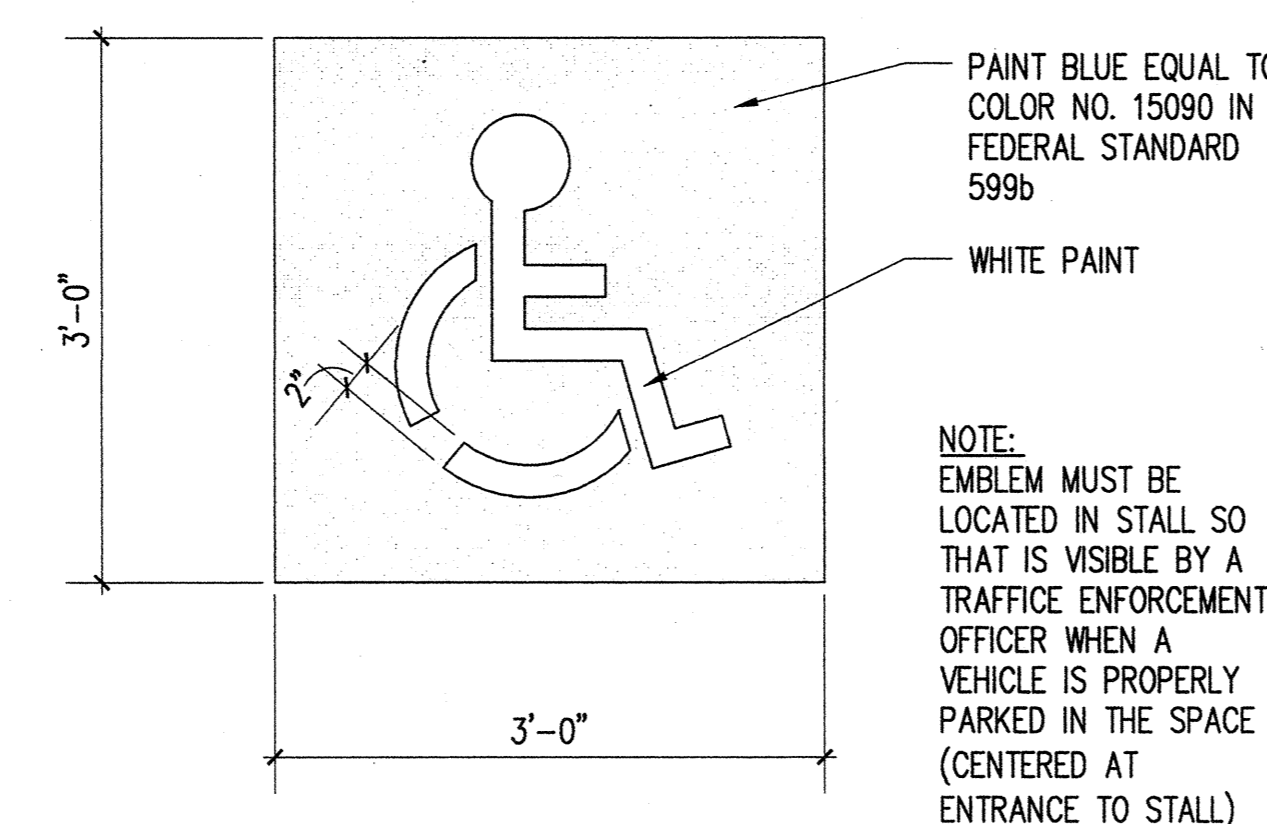
THIS PLAN FOR REFERENCE ONLY. REFER TO PLAN CHECK/PERMIT NO.: 1017360 FOR ADA UPGRADES INCLUDING 12" GROOVED BORDER AT EXISTING RAMP, SIDE SLOPES, TRUNCATED DOMES AND HANDRAILS.

PARKING STRUCTURE 4TH & 5TH LEVELS

SCALE: 1/8"=1'-0"

PK_04_TYP

3



PAVEMENT SIGNAGE @ PRKG STALL 14

SCALE: 1"=1'-0"

dt_01

PARKING SPACE SIGNAGE

SCALE: 1/8"=1'-0"

dt_13

10

6'-0" PRECAST CONC. WHEEL STOP

SCALE: 3"=1'-0"

dt_04

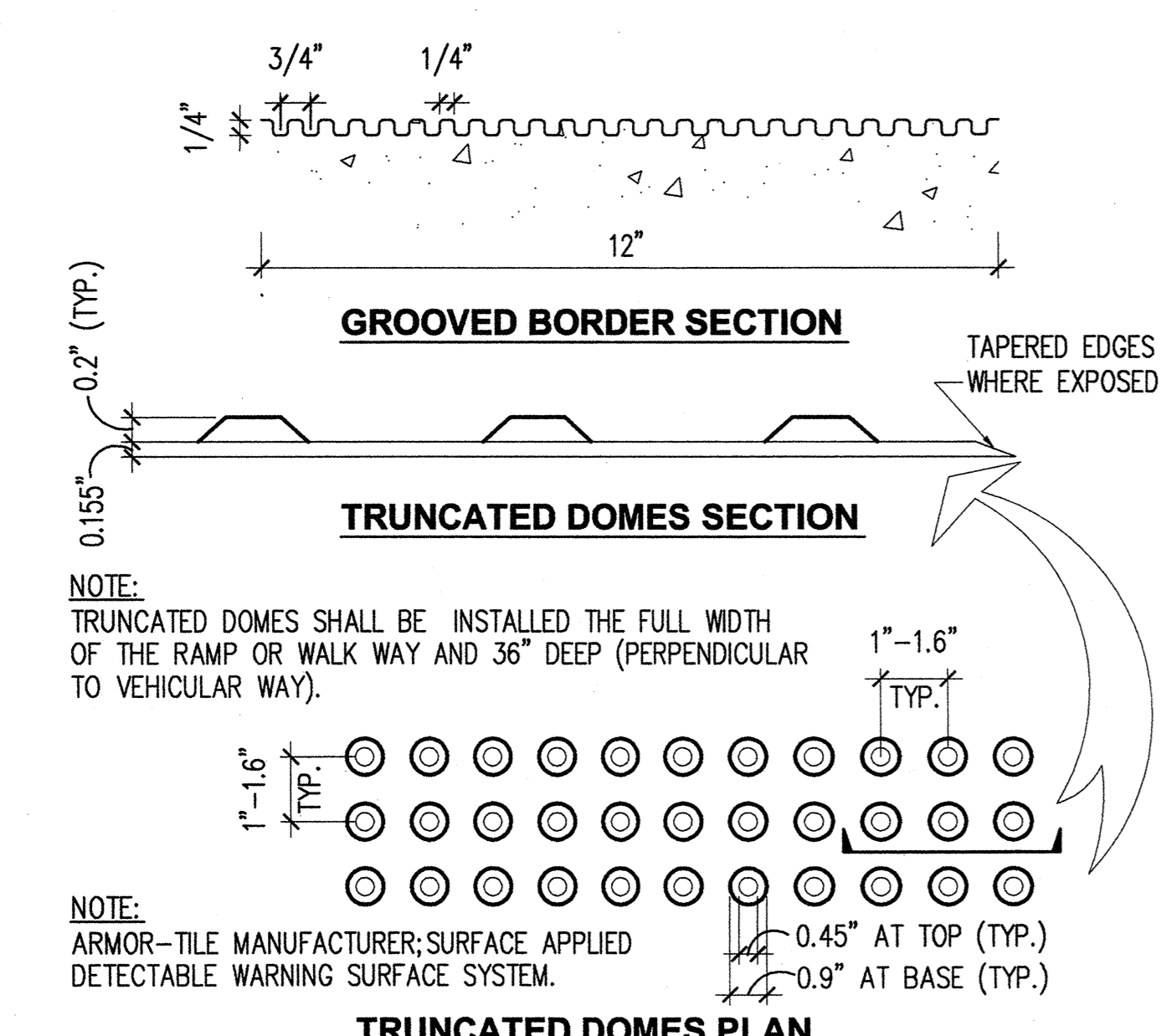
6

EXISTING RAMP

SCALE: 3/8"=1'-0"

dt_08

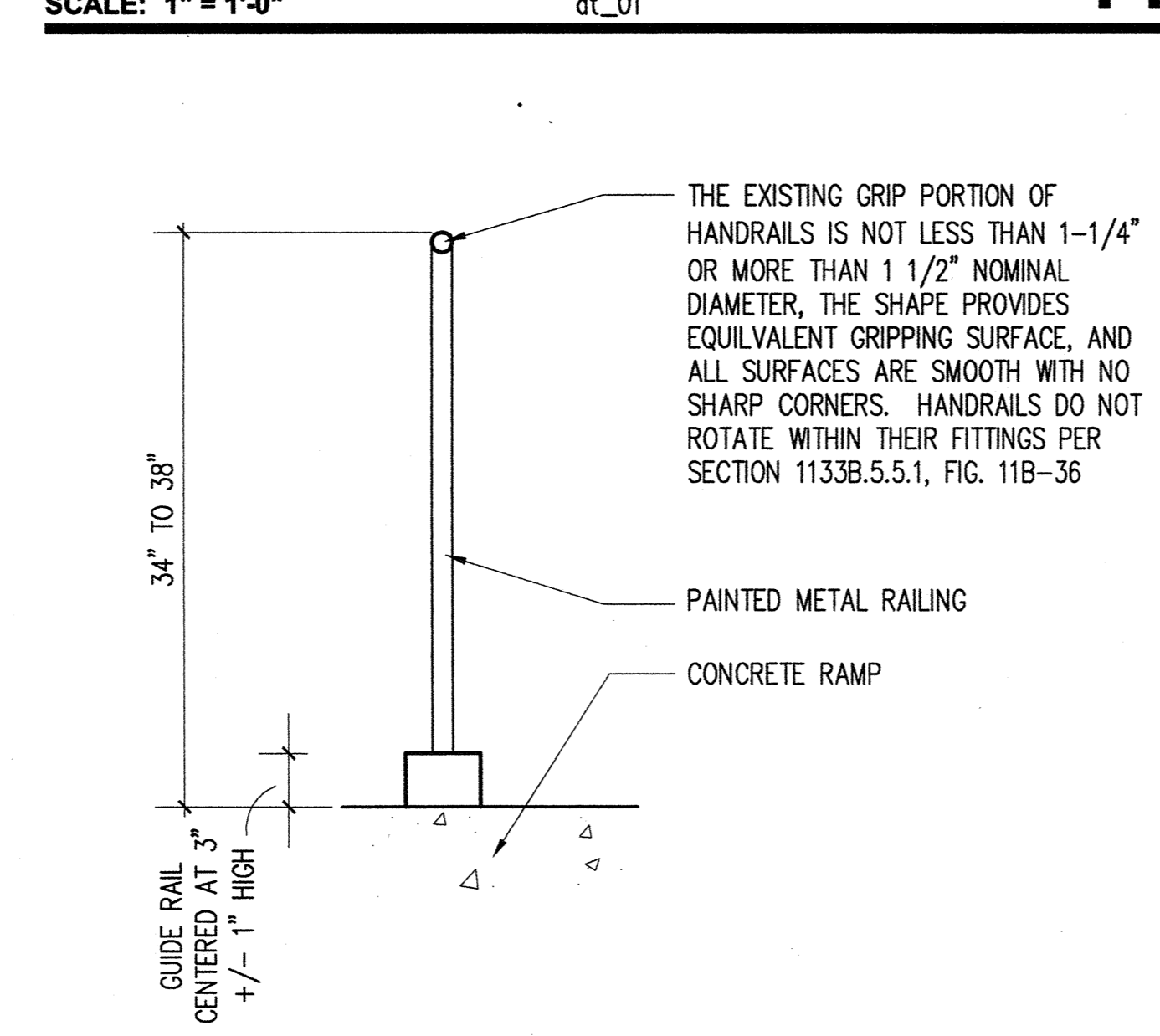
2



GROOVED BORDER / TRUNCATED DOMES

SCALE: N.T.S.

TRUNCATED

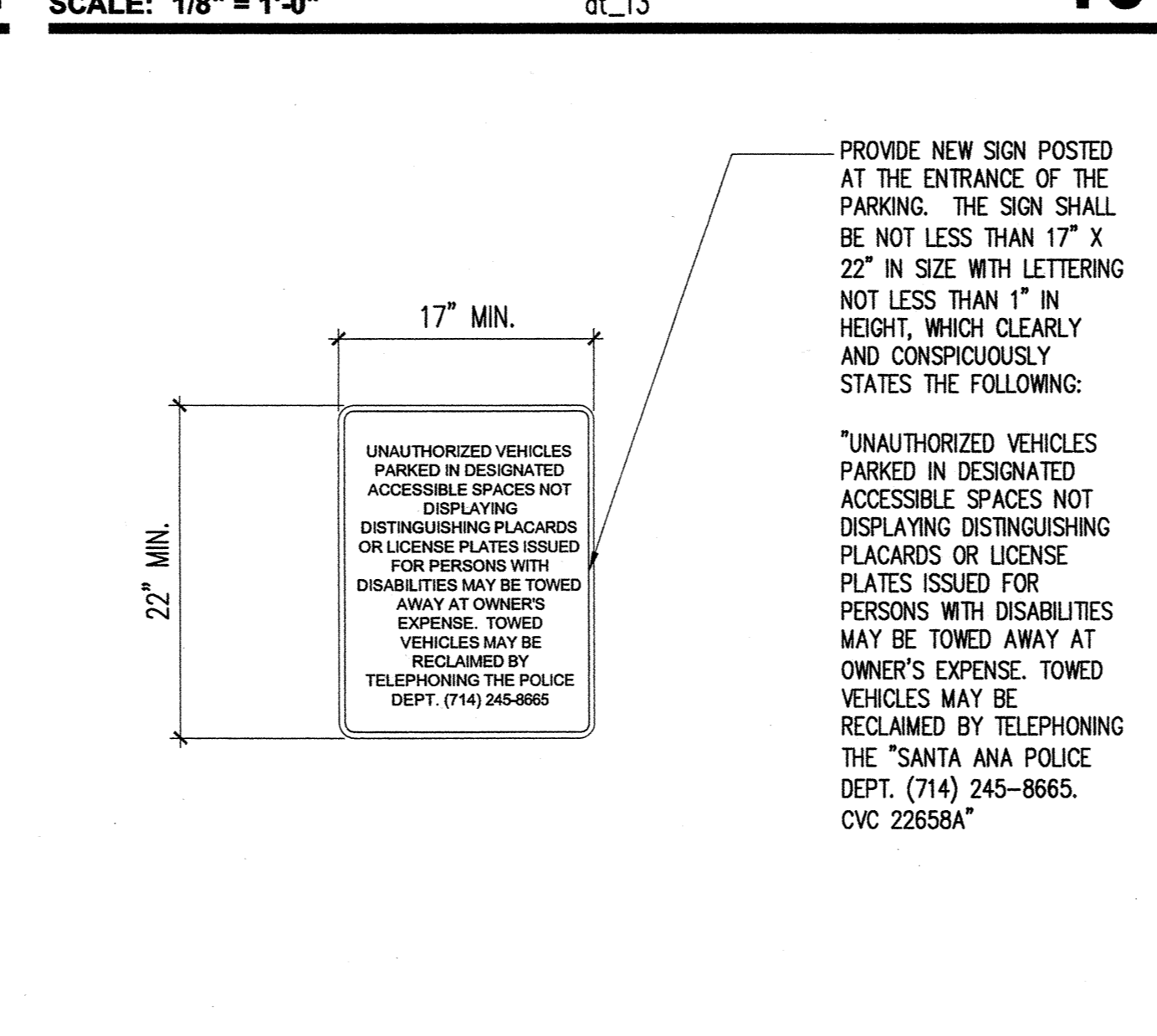


EXIST. EXTERIOR RAMP HAND RAIL

SCALE: 1"=1'-0"

dt_03

13

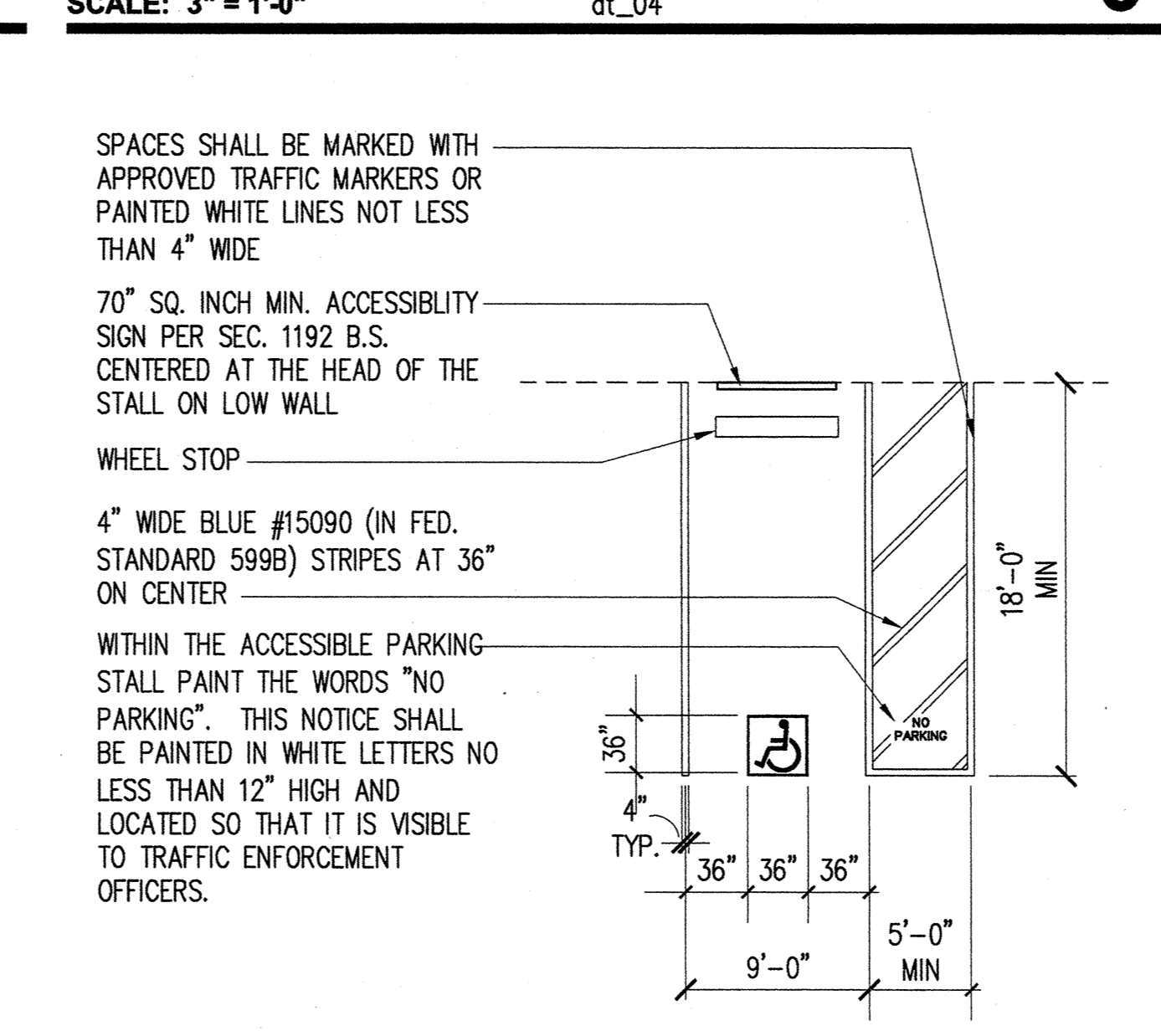


TOW-AWAY SIGNAGE

SCALE: 1 1/2"=1'-0"

dt_11.dwg

9

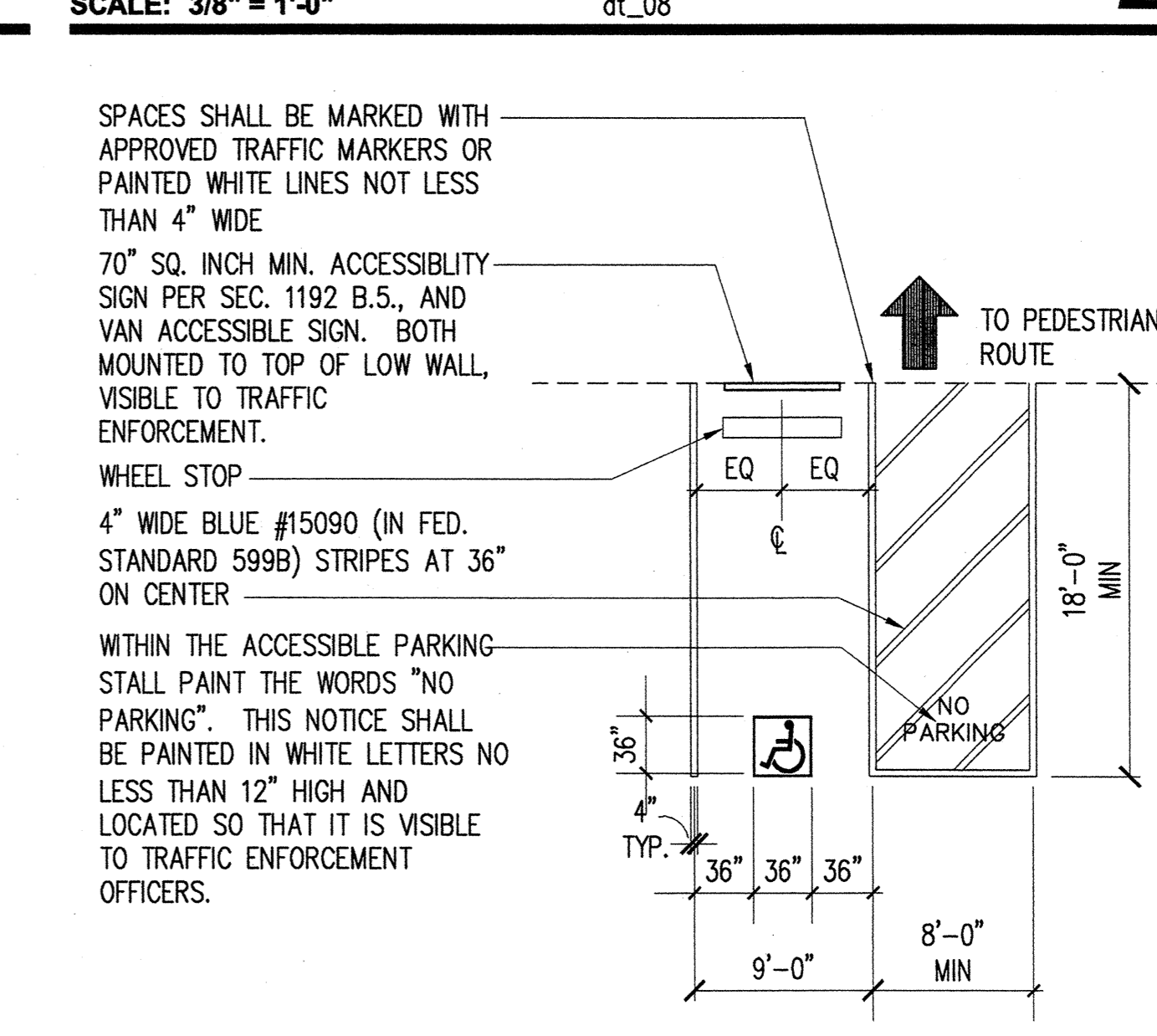


TYPICAL PARKING STALLS

SCALE: 1/8"=1'-0"

dt_11.dwg

5



TYPICAL VAN ACCESSIBLE

SCALE: 1/8"=1'-0"

dt_12.dwg

1

Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SB/PM
ISSUE FOR PERMIT / CITY SUBMITTAL / BID			

Seal/Signature

Project Name
MICHAEL F MORAN
4,185 R.S.F.

Project Number
07.8222.018

CAD File Name
0:\INQUIRE\GRIFFIN\TOWERS\HUTTONCENTER\10MICHAELMORAN\CAD\SSHE00_43

Description
DETAILS & NOTES

Scale

Ref. North

A00.43

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MICHAEL F MORAN

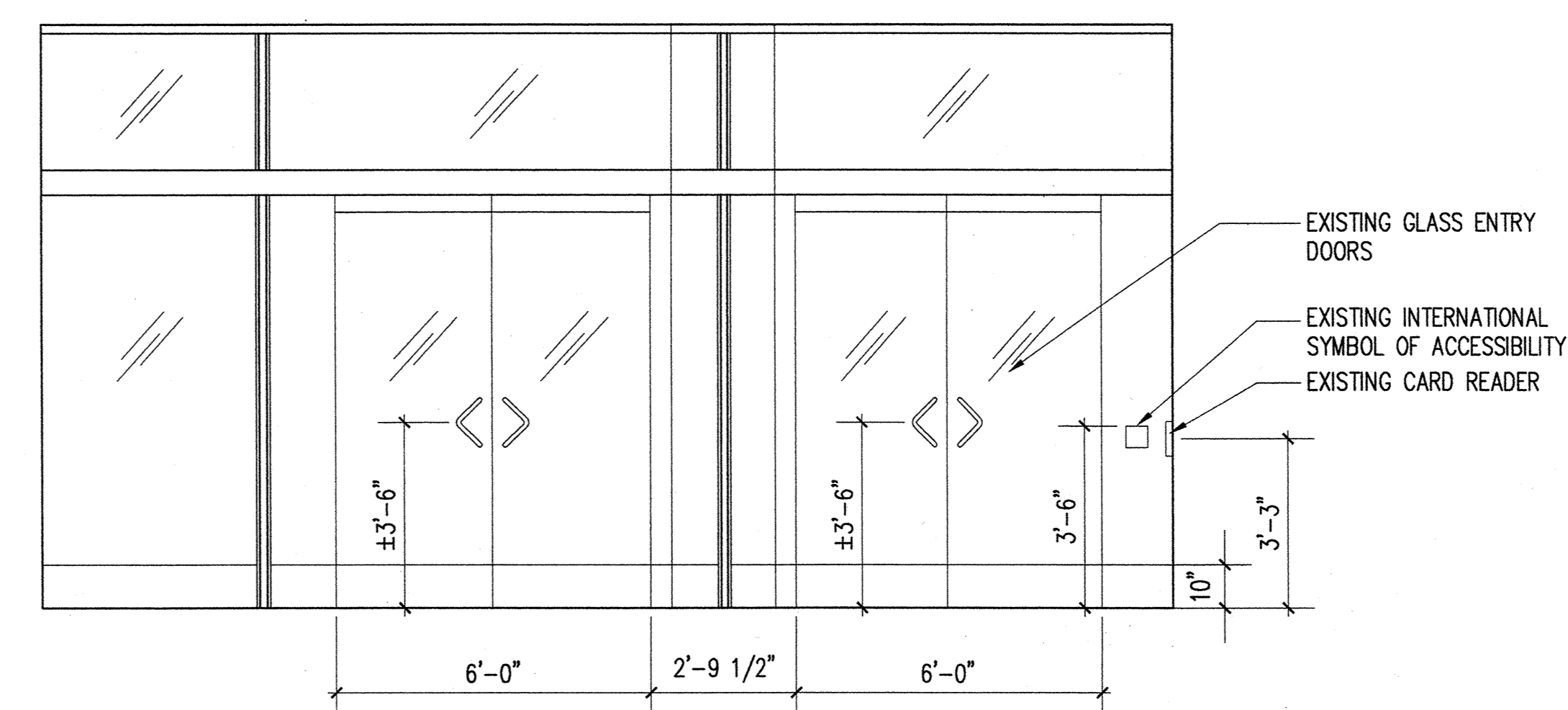
5 HUTTON CENTRE DRIVE
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Gensler

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Suite 350
Newport Beach, CA 92660
Telephone 949.863.9434
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Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SB/PM
ISSUE FOR PERMIT / CITY SUBMITTAL / BID			

THIS PLAN FOR REFERENCE ONLY. REFER TO PLAN
CHECK/PERMIT NO.: 1017360 FOR ADA UPGRADES
INCLUDING 12" GROOVED BORDER AT EXISTING RAMP,
SIDE SLOPES, TRUNCATED DOMES AND HANDRAILS.



REFERENCE ONLY

Project Name

MICHAEL F MORAN
4,185 R.S.F.

Project Number

07.6222.018

CAD File Name

D:\INQUIRE\GFF\TOWERS\HUTTONCENTER\10\MICHELMORAN\CAD\SHEETS\A00.44

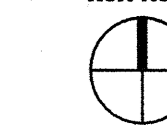
Description

EXTERIOR ENTRY
ELEVATION

Scale

A00.44

Ref. North



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FAX: 949.833.2222

CONSULTANTS

LEGEND

- ◻ DOOR
- ◻ NEW SIGN RECESSED FIRE EXTINGUISHER CABINET, PAINT CABINET TO MATCH ADJACENT WALL MIN. 50" HIGH AND DRY CHEMICAL EXTINGUISHER REFER TO DETAIL 901A.01
- ◻ EXIT SIGNS REFER TO SHEET ASS FOR EXACT LOCATIONS
- ◻ INDICATES DIRECTIONAL GRAPHIC
- ◻ INDICATES PATH OF TRAVEL
- ◻ INDICATES NEW
- ◻ INDICATES EXISTING TO REMAIN
- ◻ INDICATES EXISTING RELOCATED

KEY NOTES

- 1. EXISTING EVACUATION SIGNAGE TO REMAIN
- 2. EXISTING TACTILE EXITING SIGN 'EXIT ROUTE' TO REMAIN
- 3. EXISTING TACTILE STAIR DOWN IDENTIFICATION TO REMAIN

EGRESS/ TRAVEL DISTANCE ANALYSIS

FULLY SPRINKLERED	YES	# OF OCCUPANTS	61
OCCUPANCY	B	# OF EXITS REQUIRED PER TABLE 1003.1 AND 1003.2	2
AREA SF	2340	# OF EXITING PATHS	5

SEAL & STAMP

ISSUE	FOR PLAN CHECK	DATE
REVISION BULLETIN 1	06/28/09	06/28/09
REVISION BULLETIN 2	07/20/09	07/20/09
REVISION BULLETIN 3	07/28/09	07/28/09
REVISION BULLETIN 4	07/28/09	07/28/09

Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SB/PM

ISSUE FOR PERMIT / CITY SUBMITTAL / BID

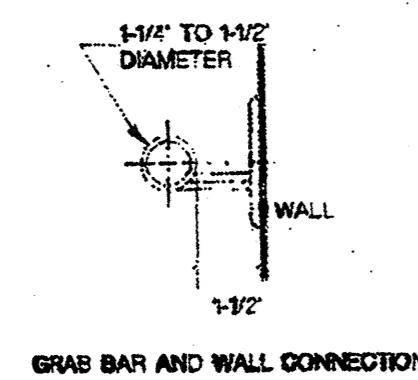
1 SITE PLAN & PATH OF TRAVEL

BANITARY FACILITIES

- ON DOORWAYS LEADING TO MEN'S BANITARY FACILITIES, AN EQUALATORIAL TRIANGLE 94 INCH TALL WITH EDGES 8-INCHES LONG AND A VERTICAL POINTING UPWARD SHALL BE PROVIDED AND ON DOORWAYS LEADING TO WOMEN'S BANITARY FACILITIES A CIRCLE 94 INCH TALL WITH EDGES 8-INCHES DIAMETER SHALL BE PROVIDED. THESE GRAPHIC SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 68 INCHES AND THEIR COLOR AND CONTRAST SHALL BE IDENTICAL TO THE BANITARY FACILITY SIGNAGE. THE SIGNAGE SHALL BE MOUNTED ON THE WALL WITH A CLEARANCE OF 18 INCHES FROM THE FLOOR AND A MINIMUM OF 18 INCHES FROM THE SIDE WALLS.
- A WATER CLOSET ROOM LOCATED IN A COMPARTMENT SHALL PROVIDE A 36-INCH WIDE CLEAR SPACE FROM A WALL TO THE FRONT OF THE WATER CLOSET AND A 36-INCH WIDE CLEAR SPACE FROM THE WATER CLOSET TO THE FRONT OF THE WATER CLOSET. A 36-INCH WIDE CLEAR SPACE SHALL BE PROVIDED IN A COMPARTMENT WITH THE DOOR LOCATED IN THE SIDE. GRAB BARS SHALL NOT PROJECT MORE THAN 12 INCHES INTO THE CLEAR SPACE AS SPECIFIED ABOVE.
- WATER CLOSET COMPARTMENTS SHALL BE EQUIPPED WITH A DOOR THAT HAS AN UNOBSTRUCTED CLEARING AND SHALL HAVE A CLEAR UNOBSTRUCTED OPENING WITH A MINIMUM OF 20 INCHES WITH THE DOOR OPENED AT AN ANGLE OF 90 DEGREES FROM THE CLOSED POSITION.
- EXCEPT FOR DOOR OPENING WIDTH AND DOOR SWING, A 36-INCH UNOBSTRUCTED CLEARANCE SHALL BE PROVIDED TO THE FRONT OF THE WATER CLOSET COMPARTMENT. THE CLEARANCE SHALL BE NOT LESS THAN 36 INCHES AS MEASURED AT RIGHT ANGLES TO THE COMPARTMENT DOOR IN ITS CLOSED POSITION.
- THE HEIGHT OF ACCESSIBLE WATER CLOSETS SHALL BE A MINIMUM OF 80 INCHES AND A MAXIMUM OF 84 INCHES MEASURED TO THE TOP OF TOILET SEAT.
- TOILET FLUSH CONTROLS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE THE USER TO GRASP, REACH OR TWIST OF THE WRIST. CONTROLS FOR THE FLUSH VALVES SHALL BE MOUNTED ON THE SIDE WALL AT A HEIGHT OF 48 INCHES TO 54 INCHES ABOVE THE FLOOR. THE SPACE REQUIRED TO OPERATE CONTROLS SHALL BE NO GREATER THAN 18 INCHES.
- WHERE URINALS ARE PROVIDED, AT LEAST ONE SHALL HAVE A CLEAR SPACE UNLESS THE URINAL IS 48 INCHES LONG IN FRONT OF THE URINAL.
- WHERE URINALS ARE PROVIDED AT LEAST ONE WITH A SEAT PROTECTING A MINIMUM OF 18 INCHES FROM THE WALL AND A MINIMUM OF 18 INCHES ABOVE THE FLOOR SHALL BE PROVIDED.
- A CLEAR FLOOR SPACE 60-INCHES WIDE X 48-INCHES LONG SHALL BE PROVIDED IN FRONT OF A LAVATORY TO ALLOW A FORWARD APPROACH. EACH CLEAR FLOOR SPACE SHALL BE OPEN ON ONE SIDE TO AN ACCESSIBLE ROUTE AND SHALL EXTEND INTO THE AISLE AND TO THE SPACE UNDERNEATH THE LAVATORY.

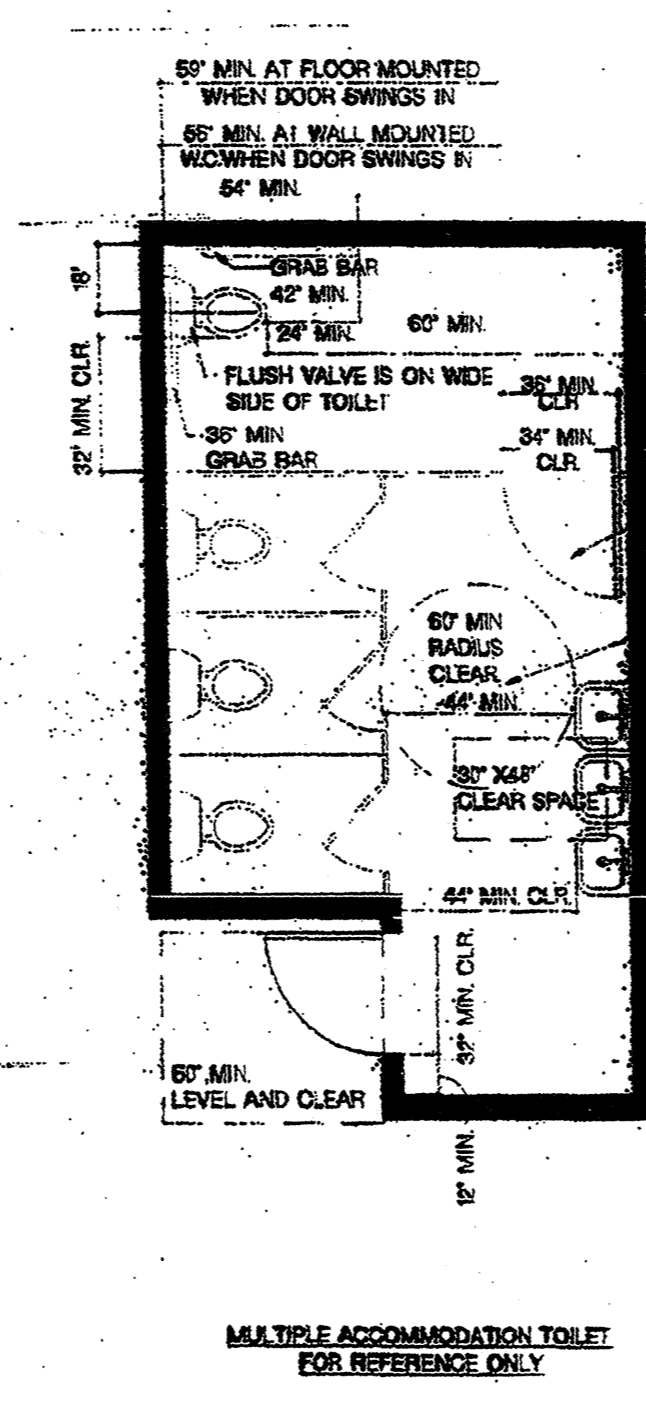
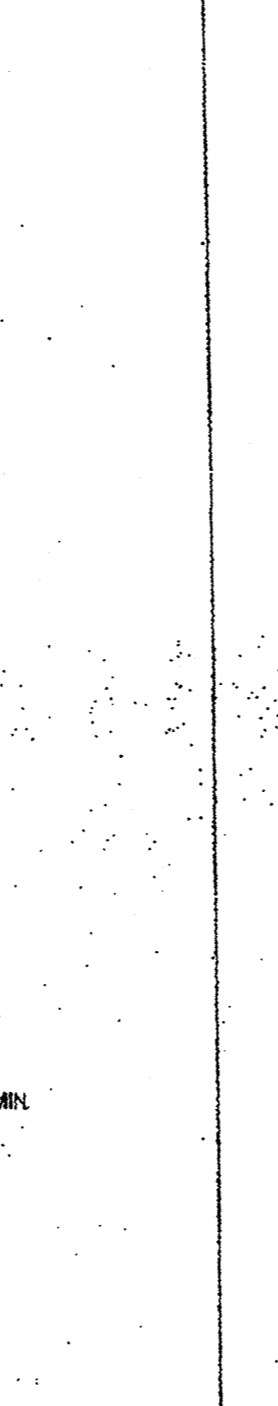
BANITARY FACILITIES CONT.

- LAVATORIES SHALL BE MOUNTED WITH A CLEARANCE OF AT LEAST 36 INCHES FROM THE FLOOR TO THE BOTTOM OF THE FRONT WITH A MINIMUM CLEARANCE UNDER THE FRONT OF LAVATORY A MINIMUM OF 36 INCHES. THE FRONT OF LAVATORY SHALL BE A MINIMUM OF 36 INCHES FROM THE FLOOR AND A MINIMUM OF 36 INCHES FROM THE FRONT OF LAVATORY.
- A PROJECTION OF LAVATORY BOWL INTO THE BENCH CLEAR SPACE SHALL BE PROHIBITED. THE CLEARANCE FROM THE LAVATORY TO THE BENCH SHALL BE 36 INCHES FROM THE FRONT OF LAVATORY TO THE BENCH. THE CLEARANCE FROM THE LAVATORY TO THE BENCH SHALL BE 36 INCHES FROM THE FRONT OF LAVATORY TO THE BENCH.
- WATER AND DRAIN PIPES UNDER LAVATORIES SHALL BE INSULATED OR OTHERWISE COVERED. THERE SHALL BE NO SWAMP OR SEWERAGE UNDER LAVATORIES.
- FAUCET CONTROLS AND OPERATING MECHANISMS SHALL BE OPERABLE WITH ONE HAND AND SHALL NOT REQUIRE TWIST OR GRASPING. FAUCET CONTROLS SHALL BE NO GREATER THAN 18 INCHES ABOVE THE FLOOR AND ELECTRICALLY CONTROLLED MECHANISMS ARE ACCEPTABLE. SIGNAL, SELF-CLOSING VALVES ARE ALLOWED IF THE FAUCET REMAINS OPEN FOR AT LEAST 5 SECONDS.
- URINALS SHALL BE MOUNTED WITH THE BOTTOM EDGE NOT MORE THAN 48 INCHES FROM THE FLOOR.
- LOCATE TOWEL, BANITARY WIPER, WASTE DISPOSALS AND ANY OTHER EQUIPMENT WITH ALL OPERABLE PARTS NOT MORE THAN 48 INCHES FROM THE FLOOR.
- LOCATE TOWEL, BANITARY WIPER, WASTE DISPOSALS AND ANY OTHER EQUIPMENT WITH ALL OPERABLE PARTS NOT MORE THAN 48 INCHES FROM THE FLOOR.
- LOCATE TOWEL, BANITARY WIPER, WASTE DISPOSALS AND ANY OTHER EQUIPMENT WITH ALL OPERABLE PARTS NOT MORE THAN 48 INCHES FROM THE FLOOR.
- TOILET ROOMS SHALL BE EQUIPPED WITH A MECHANICAL VENTILATION SYSTEM PROVIDING A MINIMUM OF FOUR AIR CHANGES PER HOUR AND TO COMPLY WITH RESPECTIVE CODES.

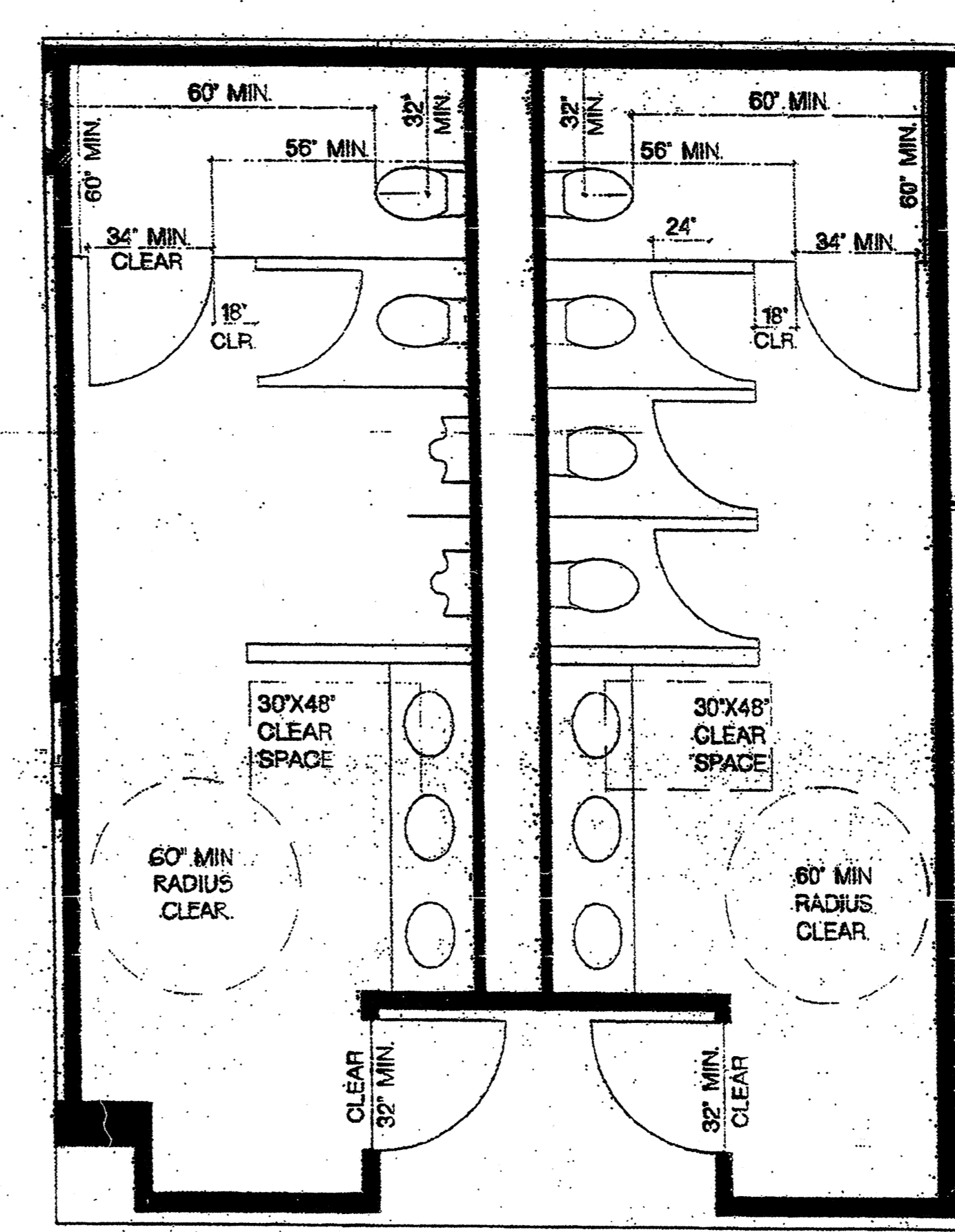


GRAB BARS

- GRAB BARS FASTENERS AND MOUNTING DEVICES SHALL BE DESIGNED FOR 200 LBS. LOAD.
- GRAB BARS SHALL BE LOCATED ON EACH SIDE ON ONE SIDE AND THE BACK OF THE PHYSICALLY DISABLED TOILET BOWL OF COMPARTMENT AND SHALL BE SECURELY ATTACHED 36-INCHES ABOVE AND PARALLEL TO THE FLOOR.
- GRAB BARS AT THE SIDE SHALL BE AT LEAST 40-INCHES LONG WITH THE FRONT END FINISHED IN FRONT OF THE WATER CLOSET BOWL AND GRAB BARS AT THE BACK SHALL BE NOT LESS THAN 36-INCHES LONG.
- THE DIAMETER OR WIDTH OF THE GRIPPING SURFACE OF A GRAB BAR SHALL BE 1 1/4 INCHES TO 1 3/4 INCHES ON THE GRAB BAR. IF THE GRAB BAR IS MOUNTED ADJACENT TO A WALL THE SPACE BETWEEN THE WALL AND THE GRAB BAR SHALL BE 1/2 INCHES.
- A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT SHALL BE FREE OF ANY GRAB OR HANGING ELEMENTS.
- GRAB BARS SHALL NOT ROTATE WITH THEIR FITTINGS.
- EDGES SHALL HAVE MINIMUM RADIUS OF 1/8-INCH.
- WHERE LOCKERS ARE PROVIDED, AT LEAST ONE AND NOT LESS THAN ONE PERCENT OF ALL LOCKERS SHALL BE MADE ACCESSIBLE TO THE PHYSICALLY DISABLED. A PATH OF TRAVEL NOT LESS THAN 36 INCHES IN CLEAR WIDTH SHALL BE PROVIDED TO THESE LOCKERS AND A CLEAR SPACE FOR A CIRCLE WITH DIAMETER OF 60 INCHES.



SCALE: N.T.S.



FOR REFERENCE ONLY

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ACCESSIBILITY, EGRESS AND TRAVEL DISTANCE

DATE: 02/20/09
DRAWN BY: SAA
DESIGNED BY: SAA
PROJECT NUMBER: 00000007
SCALE: 3/8"=1'-0"
SHEET NO: A-01

2 MINIMUM RESTROOM REQUIREMENTS

N.T.S. REFERENCE ONLY

3 RESTROOM FLOOR PLAN-FOR REFERENCE ONLY

SCALE: 3/8"=1'-0"

REFERENCE ONLY

Project Name
MICHAEL F MORAN
4,185 R.S.F.

Project Number
07-6222-018

CAD File Name
0144-018-GRFFINTOWERS/HUTTONCENTER/MICHELMORAN/CA0/SHEETS.A00.45

Description
ENLARGED TOILET CORE & ELEVATION

Scale

DOOR, FRAME AND HARDWARE GROUP SCHEDULE

ASSEMBLY NO.	LOCATION	TYPE	DOOR			FRAME			FIRE RATING (MIN)	HDWR GROUP	REMARKS		
			DIMENSIONS			MAT.	FIN.	MAT.				FIN.	DETAILS SEE A12.00 U.O.N.
			WIDTH	HEIGHT	TH.								
1050.1	RECEPTION	C	PR-3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9B	20	2	BLDG. STD. CORRIDOR SUITE ENTRANCE DOOR ASSEMBLY. SEE KEY NOTE 12.
1051.1	COFFE/COPY	B	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9A	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY.
1052.1	STORAGE	B	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY.
1053.1	WAR ROOM	A	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1054.1	OFFICE	A	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1055.1	OPEN OFFICE	B	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9A	20	3	BLDG. STD. CORRIDOR SUITE ENTRANCE DOOR ASSEMBLY.
1056.1	OFFICE	A	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY.
1057.1	OFFICE	A	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1058.1	OFFICE	A	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1059.1	OFFICE	A	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1060.1	OFFICE	A	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1061.1	CONFERENCE	D	3'-0"	8'-8"	5/8"	GL	CLR	-	-	-	-	4	FRAMLESS GLASS DOOR AND HARDWARE ASSEMBLY.
1061.2	CONFERENCE	D	3'-0"	8'-8"	5/8"	GL	CLR	-	-	-	-	4	FRAMLESS GLASS DOOR AND HARDWARE ASSEMBLY.
1062.1	OFFICE	A	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1063.1	CONFERENCE	D	3'-0"	8'-8"	5/8"	GL	CLR	-	-	-	-	4	FRAMLESS GLASS DOOR AND HARDWARE ASSEMBLY.
1064.1	CONFERENCE	B	3'-0"	8'-8"	1-3/4"	SC	ST	AL	FF	3 4 9A	20	3	BLDG. STD. CORRIDOR SUITE ENTRANCE DOOR ASSEMBLY.

GRAPHIC SYMBOLS

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW INTERIOR PARTITION
- NEW INSULATED INTERIOR DEMISING PARTITION REF: 1A/12.00
- NEW FULL HEIGHT 5/8" THICK FRAMELESS GLASS, AND DOOR NON-STANDARD. REF: 2A/12.00
- 1 HR. RATED CONSTRUCTION. REF: 15A/12.00
- 2 HR. RATED PARTITION
- 3 HR. RATED PARTITION
- FRAMED GLASS
- NEW BLDG STD 1-HR TUNNEL CORRIDOR PARTITION
- EXISTING LOW WALL
- NEW LOW WALL
- EXISTING PARTITION FURRED WITH 5/8" GYP BD OVER METAL STUD FRAMING
- DOOR NUMBER
- NEW MILLWORK
- MILLWORK SCHEDULE TAG (IF USED)
- FIRE EXTINGUISHER WITHOUT CABINET
- FIRE EXTINGUISHER CABINET - REF: 6A/11.00
- COLD WATER STUB OUT WITH CONTROL VALVE

HARDWARE SETS

- HDWR-1. SINGLE INTERIOR LATCHSET**
4 HINGES
1 LATCHSET
1 FLOOR STOP
- HDWR-2. PAIR ENTRY LOCKSET**
8 HINGES, NRP
1 LOCKSET, LS453 OR EQUAL
2 SURFACE CLOSERS
2 FLOOR STOPS
1 COORDINATOR WITH REQUIRED BRACKETS & FILLERS, PAINTED TO MATCH FRAME
1 ASTRAGAL, 3/4" OR EQUAL
1 AUTO FLUSH BOLT, HEADER AND THRESHOLD, 1 1/2" EMBEDMENT
- HDWR-3. ENTRY LOCKSET**
4 HINGES, NRP
1 LOCKSET, LS453 OR EQUAL
1 SURFACE CLOSER
1 FLOOR STOP
- HDWR-4. SINGLE GLASS DOOR**
1 BACK-TO-BACK PULLS
1 CONCEALED CLOSER PIVOT W/ TOP & BOTTOM PATCH RAILS W/ HOLD OPEN FUNCTION & WALKING BEAM PIVOT
1 FLOOR STOP

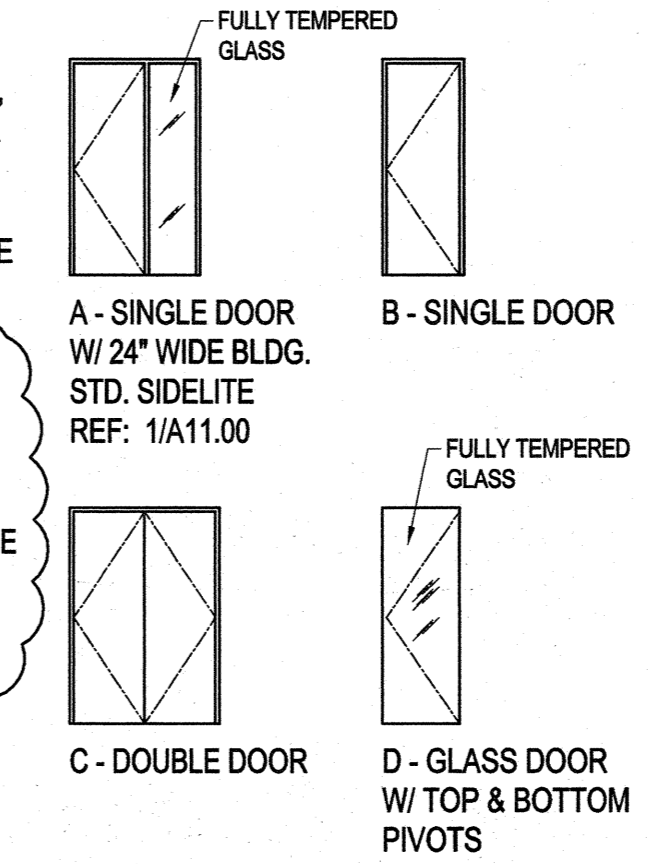
DOOR ASSEMBLY NOTES

- ALL DOORS, FRAME AND HARDWARE SHALL BE BUILDING STANDARD, U.O.N. (MATCH EXISTING)
- ALL HINGES AT RATED ASSEMBLIES SHALL BE BALL BEARING.
- ALL LOCK CYLINDERS AND KEYS SHALL BE COORDINATED WITH LANDLORD.
- ALL NEW DOOR HARDWARE SHALL BE ADA COMPLIANT LEVER TYPE.
- HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE INSTALLED BETWEEN 34" AND 48" AFF. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION. CBC SECTION 1133B.2.5.1.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS FOR EXTERIOR AND INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS. CBC SECTION 1133B.2.5.
- DOORS, WHEN FULLY OPEN, SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 7". DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN ONE-HALF. OTHER NON STRUCTURAL PROJECTIONS SUCH AS TRIM AND SIMILAR DECORATIVE FEATURES ARE PERMITTED TO PROJECT INTO THE REQUIRED WIDTH. CBC SECTION 1024.5.1
- PROVIDE TIGHT FIT CLEARANCES AND GASKET INSTALLED AS TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES AND ACROSS THE TOP. CLEARANCES FOR A PAIR OF SWINGING DOORS SHALL BE AS FOLLOWS: WITH A MINUS 1/8" TOLERANCE 3/4" ALONG THE TOP, 1/2" ALONG THE HINGE AND LATCH JAMBS, 1/4" ALONG THE MEETING EDGE OF THE DOORS, AND 1/4" AT THE BOTTOM OF THE DOORS.
- SOLE CLOSER OR AUTOMATIC CLOSER ACTIVATED BY A SHAKE DETECTOR.

ABBREVIATIONS

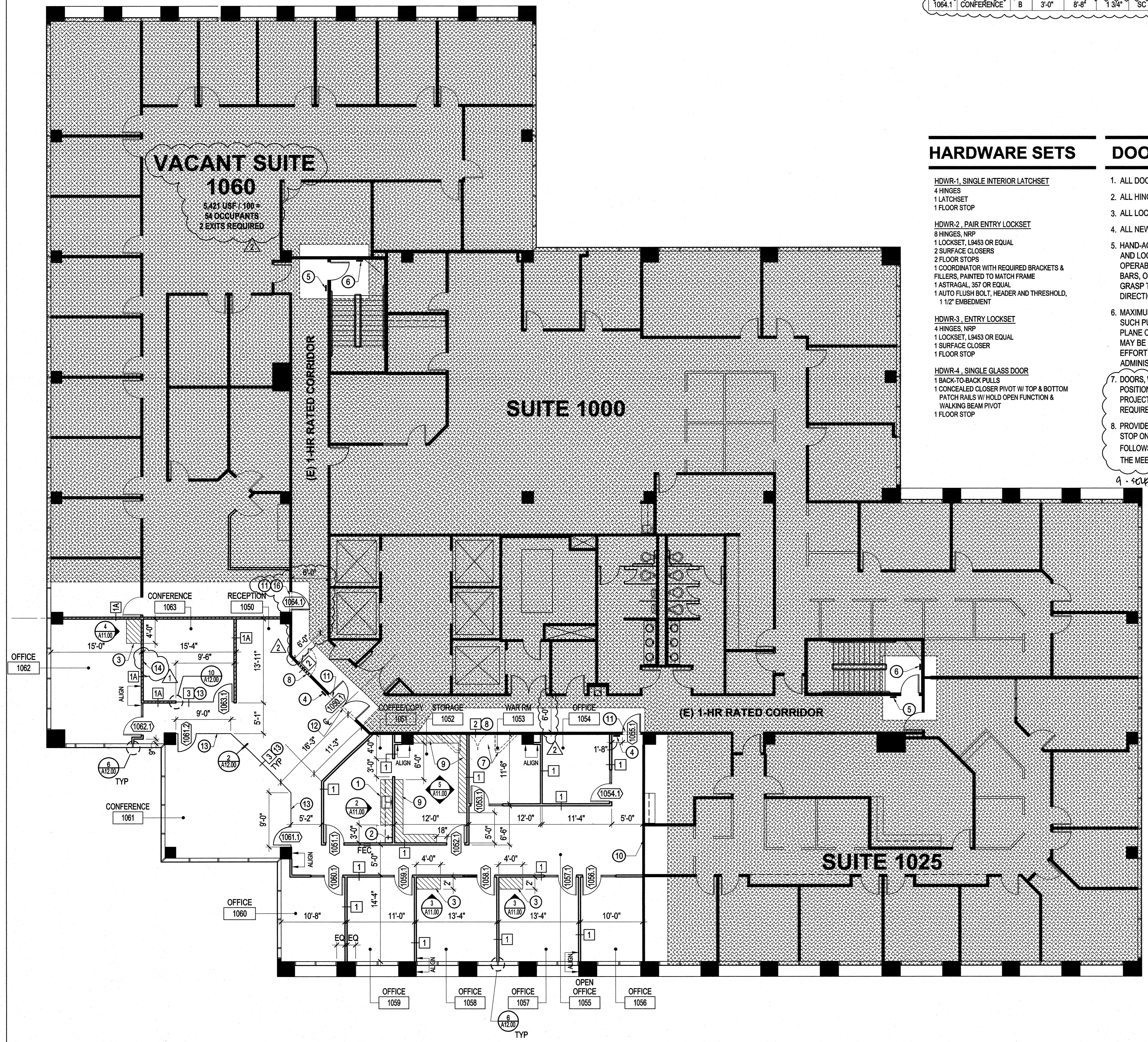
- AL ALUMINUM
FF FACTORY FINISH
PL PLASTIC LAMINATE
SC SOLID CORE
ST STAINED
GL GLASS

DOOR TYPES



KEY NOTES

- PROVIDE NEW BUILDING STANDARD UPPER AND LOWER PLASTIC LAMINATE MILLWORK WITH SINK, FAUCET, INSTA HOT AND GARBAGE DISPOSER. NEW MILLWORK TO COMPLY WITH ALL ADA REQUIREMENTS.
- PROVIDE NEW COLD WATER STUB OUT WITH CONTROL VALVE AND COPPER WATER LINE CONNECTION FOR REFRIGERATOR'S ICEMAKER.
- PROVIDE NEW BUILDING STANDARD PLASTIC LAMINATE LOWER CABINET.
- GC TO VERIFY AND PROVIDE TACTILE SIGN WITH THE WORD, "EXIT ROUTE", IF NOT EXISTING ALREADY. REF: 7A/12.00
- GC TO VERIFY AND PROVIDE TACTILE SIGN WITH THE WORD, "EXIT STAIR DOWN", IF NOT EXISTING ALREADY. REF: 7A/12.00
- GC TO VERIFY AND PROVIDE STAIR LEVEL IDENTIFICATION SIGNAGE, IF NOT EXISTING ALREADY. REF: 8A/12.00
- REMOVE EXISTING ENTRY DOOR ASSEMBLY AND FRAME. STOCKPILE PER BUILDING MANAGEMENT'S DIRECTION. PATCH/REPAIR AFFECTED SURFACES. PREP TO RECEIVE NEW FINISHES.
- IN-FILL OPENING WITH 3/8" TYPE "X" GYP. BD. ON EACH SIDE OVER METAL STUD FRAMING. MATCH AND ALIGN WITH EXISTING TO MAINTAIN FIRE RATED CONSTRUCTION. PREP TO RECEIVE NEW FINISHES. SEE DETAIL 15A/12.00 SM.
- PROVIDE NEW FLOOR TO CEILING WHITE PLASTIC LAMINATE OPEN FACE MILLWORK WITH WHITE MELAMINE ADJUSTABLE SHELVES. SEE ELEVATIONS ON SHEET A11.00
- EXISTING DEMISING WALL TO REMAIN, PROVIDE INSULATION PER PARTITION TYPE 1A. SEE DETAIL 1A/12.00
- REMOVE PORTION OF EXISTING FIRE RATED CORRIDOR PARTITION FOR NEW RATED DOOR ASSEMBLY. SEE SCHEDULE. PART/REPAIR AFFECTED SURFACES. PREP TO RECEIVE NEW CONSTRUCTION AND FINISHES.
- CENTER OF NEW TENANT ENTRY DOORS TO ALIGN WITH EXISTING ELEVATOR LOBBY DOORS AS SHOWN ON PLAN. VERIFY IN FIELD.
- PROVIDE AND INSTALL NEW FULL HEIGHT 5/8" THICK GLASS WALL WITH (2) EQUAL PANELS AND GLASS DOOR WITH TOP AND BOTTOM PIVOTS. SEE DOOR SCHEDULE. (PROVIDE 4 EQUAL PANELS AT 45° CONFERENCE 1061 GLASS WALL)
- PROVIDE BACKING SUPPORT AS REQUIRED FOR FLAT SCREEN MONITOR. GC TO COORDINATE LOCATION WITH TENANT'S FURNITURE VENDOR.
- PROVIDE FIRE BLOCKS AND DRAFT STOPS IN COMBUSTIBLE CONSTRUCTION IN ACCORDANCE WITH CBC SECTION 717. FIRE SMOKE DAMPER LOCATIONS, INSTALLATION REQUIREMENTS, AND REQUIRED ACCESS DOORS PER CBC SECTION 716 AND MECHANICAL CODE SECTION 606.
- PROVIDE ADDITIONAL DOOR FOR EGRESS. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.



SHEET NOTES

- ALL PARTITIONS TO BE TYPE 1 U.O.N.
- PARTITIONS AT BUILDING PERIMETER SHALL BE CENTERED ON CENTERLINE OF WINDOW MULLION U.O.N.
- INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES. INSTALL CASING BEADS WHEREVER WALLBOARD, PLASTER, ETC. ABUTS A DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.
- PROVIDE A MINIMUM OF 20 GA. BACKING STUDS AND/OR 18 GA. BY 6" WIDE BACK PLATES IN WALLS & CEILINGS WHEN REQUIRED FOR SUPPORT U.O.N.
- PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB, CRIMP OR SCREW ATTACH TO RUNNERS AS REQUIRED.
- REMOVE ALL PINS, NAILS, COAT HOOKS ETC. FROM WALLS. REPAIR ALL EXISTING DRYWALL DAMAGES AND BLEMSHES AND FINISH AS NOTED ON FINISH PLAN.
- ALL GLASS SHALL BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- PREPARE SLAB AS REQUIRED FOR SPECIFIED FINISH. SEE FINISH PLAN.
- DOOR JAMB LOCATIONS SHALL BE TYPICAL 4" FROM ADJACENT WALL U.O.N.
- NEW BUILDING STANDARD INTERIOR DOOR AND FRAMES SHALL BE FACTORY FINISHED. EXISTING REUSED DOORS AND FRAMES SHALL BE REFINISHED TO LIKE NEW.
- PATCH AND REPAIR ALL SURFACES DAMAGED AS A RESULT OF ANY WORK PERFORMED ON THIS PROJECT.
- WHERE EXISTING WALLS ARE INDICATED TO BE DEMOLISHED, REMOVE ALL DEVICES, CONDUIT, AND ASSOCIATED WIRING. TERMINATE TO SOURCE. PATCH AND REPAIR SURFACES AS REQUIRED TO RECEIVE NEW FINISH.
- REPAIR OR REWORK BLDG STD WINDOW TREATMENT AT ALL PERIMETER GLASS AS REQUIRED FOR NEW LAYOUT. REPLACE ALL DAMAGED NON-REPAIRABLE AND/OR MISSING WINDOW TREATMENT AT ALL PERIMETER GLASS.

Issue	Date	Issue Description	By	Check
01	01/06/12	ISSUE FOR PERMIT / CITY SUBMITTAL / BID	CD	SBPM
02	01/24/12	BULLETIN #1. TENANT CLARIFICATIONS	CD	SB
03	02/27/12	PLAN CHECK CORRECTIONS	CD	SB

Seal/Signature

Project Name
MICHAEL F MORAN
4,185 R.S.F.

Project Number
07.6222.018

CAD File Name
C:\MAGUIRE\GPR\FIGMENTS\HUTTONCENTER\10\MICHELMORAN\CA02SHEETS\A02.10

Description
10TH FLOOR
CONSTRUCTION PLAN & DOOR SCHEDULE

Scale
0 2 4 8 16

Ref. North

A02.10

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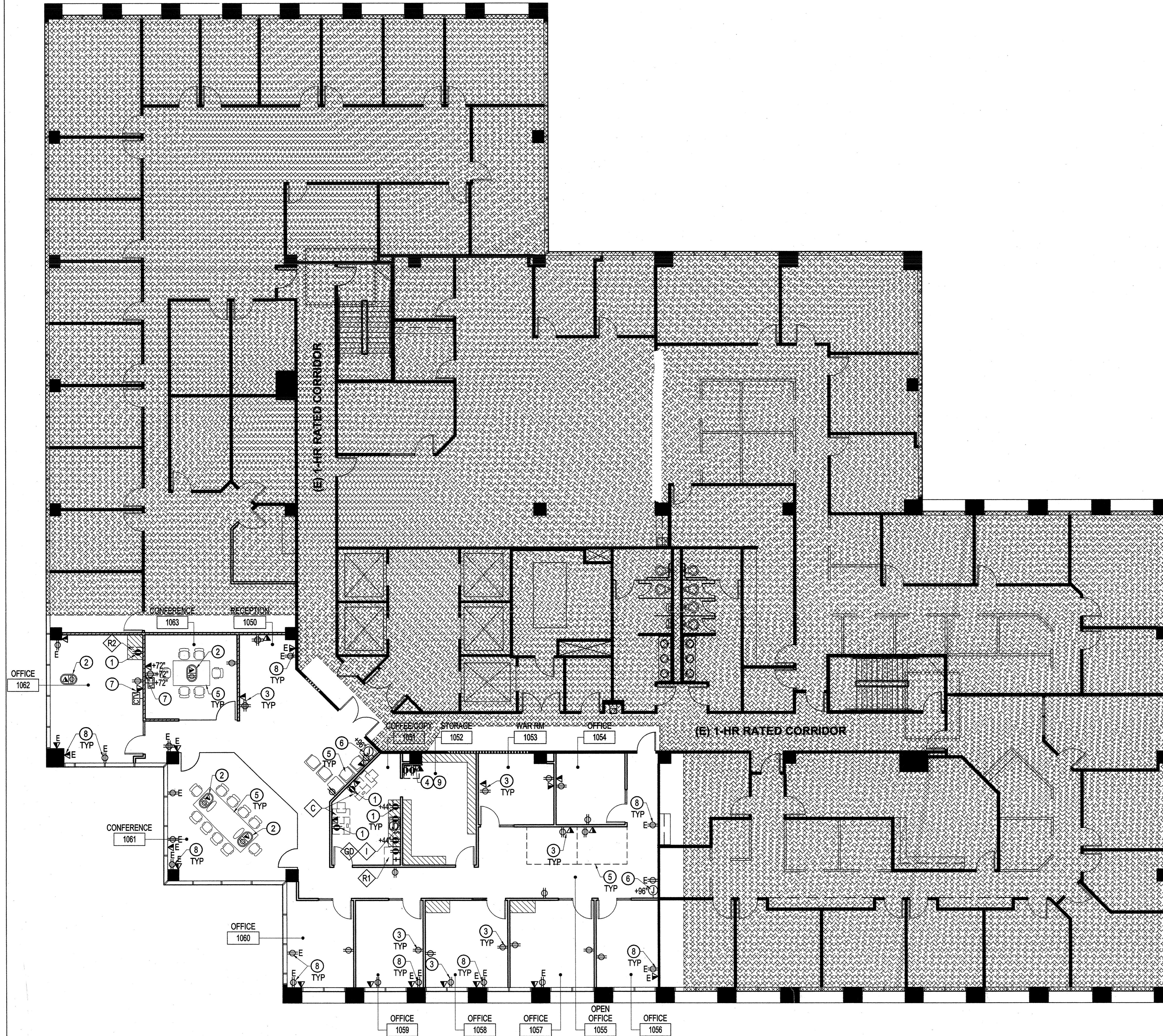
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GRAPHIC SYMBOLS

- NOTE: DEDICATED SHALL MEAN SOLE USE.
- ⊕ FLUSH WALL MOUNTED DUPLEX
 - ⊕ FLUSH WALL MOUNTED FOURPLEX
 - ⊕ FLUSH WALL MOUNTED DEDICATED DUPLEX
 - ⊕ FLUSH WALL MOUNTED SEPARATE DUPLEX
 - ⊕ FLUSH WALL MOUNTED DEDICATED FOURPLEX
 - ⊕ FLUSH WALL MOUNTED HALF DEDICATED FOURPLEX
 - ⊕ FLUSH WALL MOUNTED SPECIAL OUTLET
 - ▼ FLUSH WALL MOUNTED TELEPHONE RECEPTACLE
 - ▼ FLUSH WALL MOUNTED TELE/DATA RECEPTACLE
 - ▼ FLUSH WALL MOUNTED DATA RECEPTACLE
 - ⊕ WALL MOUNTED A/V RECEPTACLE
 - ⊕ WALL MOUNTED CABLE TV RECEPTACLE (COAX DROP)
 - ⊕ FLUSH FLOOR MOUNTED TELEPHONE RECEPTACLE
 - ⊕ FLUSH FLOOR MOUNTED TELE/DATA RECEPTACLE
 - ⊕ FLUSH FLOOR MOUNTED DATA RECEPTACLE
 - ⊕ FLUSH FLOOR MOUNTED DUPLEX
 - ⊕ FLUSH FLOOR MOUNTED FOURPLEX
 - ⊕ FLUSH FLOOR MOUNTED DEDICATED DUPLEX
 - ⊕ FLUSH FLOOR MOUNTED DEDICATED FOURPLEX
 - ⊕ FLUSH FLOOR MOUNTED SEPARATE DUPLEX
 - ⊕ FLUSH FLOOR MOUNTED SEPARATE FOURPLEX
 - ⊕ FLUSH FLOOR MOUNTED DUPLEX WITH TELE/DATA RECEPTACLE
 - ⊕ FLUSH FLOOR MOUNTED DEDICATED DUPLEX WITH TELE/DATA RECEPTACLE
 - ⊕ FLUSH FLOOR MOUNTED SEPARATE DUPLEX WITH TELE/DATA RECEPTACLE
 - ⊕ FLUSH FLOOR MOUNTED A/V RECEPTACLE
 - ⊕ FLUSH FLOOR MOUNTED TV RECEPTACLE
 - ▼ POKE-THRU TEL. MONUMENT
 - ▼ POKE-THRU TELE/DATA MONUMENT
 - ▼ POKE-THRU DATA POWER MONUMENT
 - ▼ POKE-THRU DUPLEX POWER MONUMENT
 - ▼ POKE-THRU FOURPLEX POWER MONUMENT
 - ▼ POKE-THRU DEDICATED DUPLEX POWER MONUMENT
 - ▼ POKE-THRU SEPARATE DUPLEX POWER MONUMENT
 - ▼ POKE-THRU SEPARATE FOURPLEX POWER MONUMENT
 - ▼ POKE-THRU A/V MONUMENT
 - ▼ POKE-THRU TV MONUMENT
 - ⊕ FLOOR POKE-THRU JUNCTION BOX WITH HARDWARE CONNECTION
 - ⊕ COMBINATION FLOOR POKE-THRU JUNCTION BOX WITH HARDWARE CONNECTION
 - ⊕ COMBINATION FLUSH FLOOR JUNCTION BOX WITH HARDWARE CONNECTION
 - ⊕ FLUSH WALL-MOUNTED VOICE/DATA IN-FEED FOR CONNECTION
 - ⊕ FLUSH WALL MOUNTED POWER JUNCTION BOX WITH HARDWARE CONNECTION
 - ⊕ CARD READER
 - ⊕ ELECTROMAGNETIC DOOR HOLDER WITH RELAY TO FIRE/LIFE SAFETY ALARM SYSTEM
 - ⊕ POWER POLE
 - +XX* DENOTES SPECIAL HEIGHT
 - △ REMOVE EXISTING TELE/DATA OUTLET; PATCH WALL
 - ⊕ REMOVE EXISTING POWER OUTLET, SAFE-OFF AT SOURCE. PATCH WALL.

Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SB/PM

ISSUE FOR PERMIT / CITY SUBMITTAL / BID



KEY NOTES

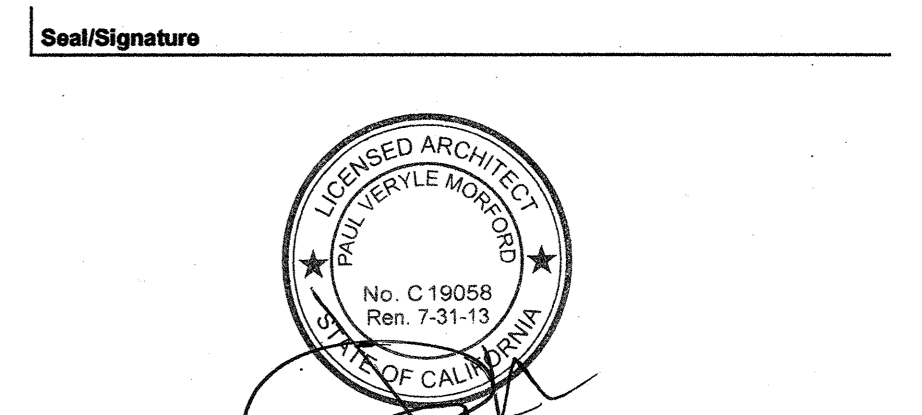
- 1 PROVIDE DEDICATED OUTLET AT COPIER, ALL BREAK ROOM RECEPTACLES AND UNDERCOUNTER REFRIGERATOR. SEE ELECTRICAL DWGS.
- 2 PROVIDE NEW FLUSH FLOOR MOUNTED POWER & TELE/DATA FEED. G.C. TO COORDINATE LOCATION WITH TENANT AND TENANT'S FURNITURE VENDOR.
- 3 ALL POWER AND TELE/DATA SHOWN ON PLAN SHALL BE NEW BLDG. STD., UNLESS NOTED WITH AN "E", INDICATING EXISTING TO REMAIN. SEE ELECTRICAL DRAWINGS.
- 4 PROVIDE NEW BLDG. STD. 4"x8"x3/4" FIRE RETARDANT TREATED PLYWOOD TELEPHONE BACKBOARD WITH (1) 2" DIAMETER HOME-RUN CONDUIT TO BLDG TELEPHONE CLOSET AND (1) 1/2-1/2" CONDUIT SLEEVE AT CEILING FOR SERVER CABLING. GC TO COORDINATE SLEEVE LOCATION(S) WITH TENANT'S IT VENDOR OR REPRESENTATIVE. MOUNT TOP OF BOARD AT UNDERSIDE OF CEILING. PAINT TO MATCH INTERIOR FINISH. PROVIDE (1) 20 AMP SEPARATE CIRCUIT OUTLET, MOUNTED AT BOTTOM OF BOARD.
- 5 FURNITURE SHOWN FOR REFERENCE ONLY (PROVIDED BY TENANT).
- 6 PROVIDE J-BOX AS SHOWN FOR WALL MOUNTED CAMERA. GC TO COORDINATE EXACT LOCATION WITH TENANT.
- 7 PROVIDE (1) CABLE OUTLET, (1) ELECTRICAL CLOCK OUTLET AND (1) TELE/DATA OUTLET AT +72" AFF. GC TO COORDINATE EXACT LOCATION WITH TENANT'S FURNITURE VENDOR.
- 8 EXISTING POWER AND TELE/DATA RECEPTACLES TO REMAIN, TYP UNO.
- 9 PROVIDE DEDICATED OUTLET FOR SERVER RACK/PHONE SYSTEM. GC TO COORDINATE WITH TENANT'S IT VENDOR.

EQUIPMENT SCHEDULE

- ⊕ REFRIGERATOR BY TENANT
- ⊕ UNDERCOUNTER REFRIGERATOR BY TENANT
- ⊕ GARBAGE DISPOSER BY G.C.
- ⊕ INSTA-HOT WATER HEATER BY G.C.
- ⊕ COPIER BY TENANT

SHEET NOTES

1. ALL ADJACENT RECEPTACLES AND OUTLETS TO BE AT 6" ON CENTER, U.O.N.
2. ALL CONDUIT RUN ABOVE CEILING TO BE STEEL CONDUIT.
3. OUTLETS TO BE INSTALLED AT LOCATION SHOWN BY DIMENSIONS ON POWER AND COMMUNICATIONS PLAN.
4. DEDICATED RECEPTACLES TO RECEIVE WHITE RECEPTACLES AND ISOLATED GROUND RECEPTACLES TO RECEIVE ORANGE RECEPTACLES.
5. ALL CIRCUITING TO BE AS SPECIFIED ON ELECTRICAL DRAWINGS.
6. ALL WALL RECEPTACLES, PLATES, AND HEIGHTS SHALL BE BUILDING STANDARD 18" A.F.F. TO CENTER LINE OF BOX VERTICALLY MOUNTED, U.O.N.
7. THE BUILDING STANDARD WALL MOUNTED TELEPHONE/DATA OUTLETS SHALL BE A SINGLE GANG OUTLET BOX VERTICALLY MOUNTED IN WALL WITH 3/4" METAL CONDUIT STUBBED UP 6" ABOVE CEILING GRID WITH PULL STRING, INSTALLED BY THE GENERAL CONTRACTOR. COVER PLATE BY TELEPHONE INSTALLER AND MOUNTED VERTICALLY AT 18" A.F.F. TO CENTERLINE OF BOX.
8. WHERE ELECTRICAL WORK IS SPECIFIED IN CONJUNCTION WITH CABINET WORK, LAMPS AND FIXTURES ARE TO BE PROVIDED BY THE GENERAL CONTRACTOR. CUT OUTS FOR SWITCHES, OUTLETS, ETC., AS REQUIRED BY THE CABINET CONTRACTOR, ARE TO BE COORDINATED WITH THE ELECTRICAL CONTRACTOR.
9. ALL SWITCH PLATES, RECEPTACLE PLATES AND OTHER ELECTRICAL PLATES TO MATCH EXISTING BUILDING STANDARD COLOR.
10. ALL FURNITURE AND EQUIPMENT SHOWN ARE FOR REFERENCE ONLY, N.I.C.
11. ALL OUTLETS SHOWN ARE EXISTING UNLESS INDICATED WITH AN "N" FOR NEW.
12. G.C. TO LABEL ELECTRICAL PANEL UPON COMPLETION OF WORK.
13. ALL OUTLETS SHALL BE FLUSH U.O.N.
14. REMOVE ALL EXISTING ABANDONED SURFACE MOUNTED CABLING AND TEL/DATA JACKS.



Project Name
 MICHAEL F MORAN
 4,185 R.S.F.

Project Number
 07.6222.016

CAD File Name
 03MAGUREGRIFFINOWERSHUTTONCENTER/10MICHELMORAN/CD/SHEETS A03.10

Description
 10TH FLOOR
 POWER & COMMUNICATION PLAN

Scale
 0 2 4 8 16

Ref. North

A03.10



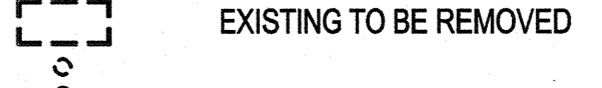
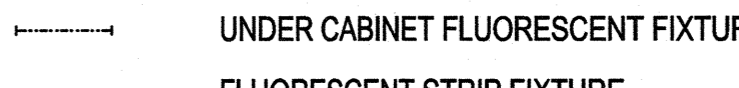
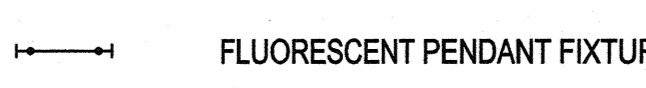

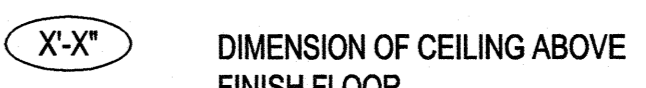

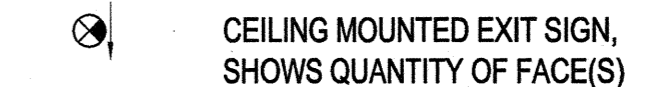
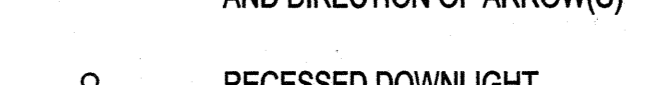
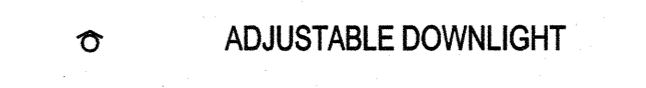
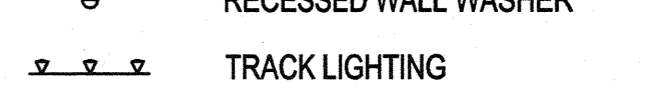

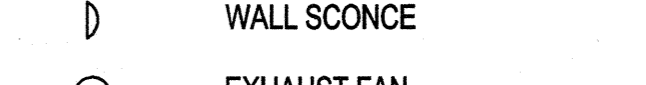

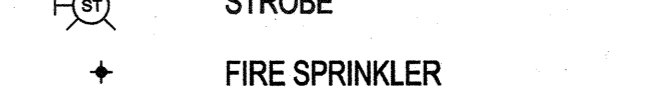


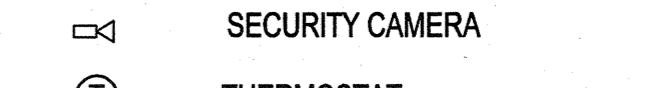
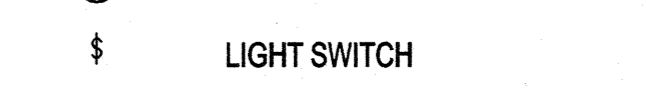
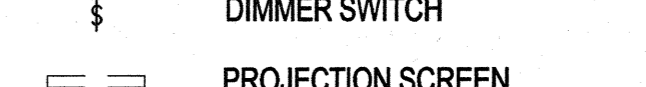

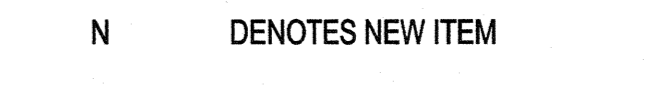
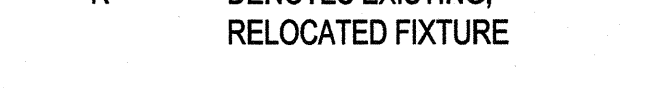






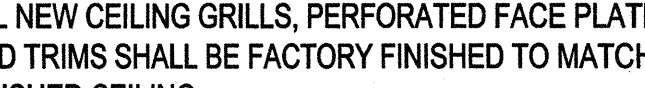
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GRAPHIC SYMBOLS

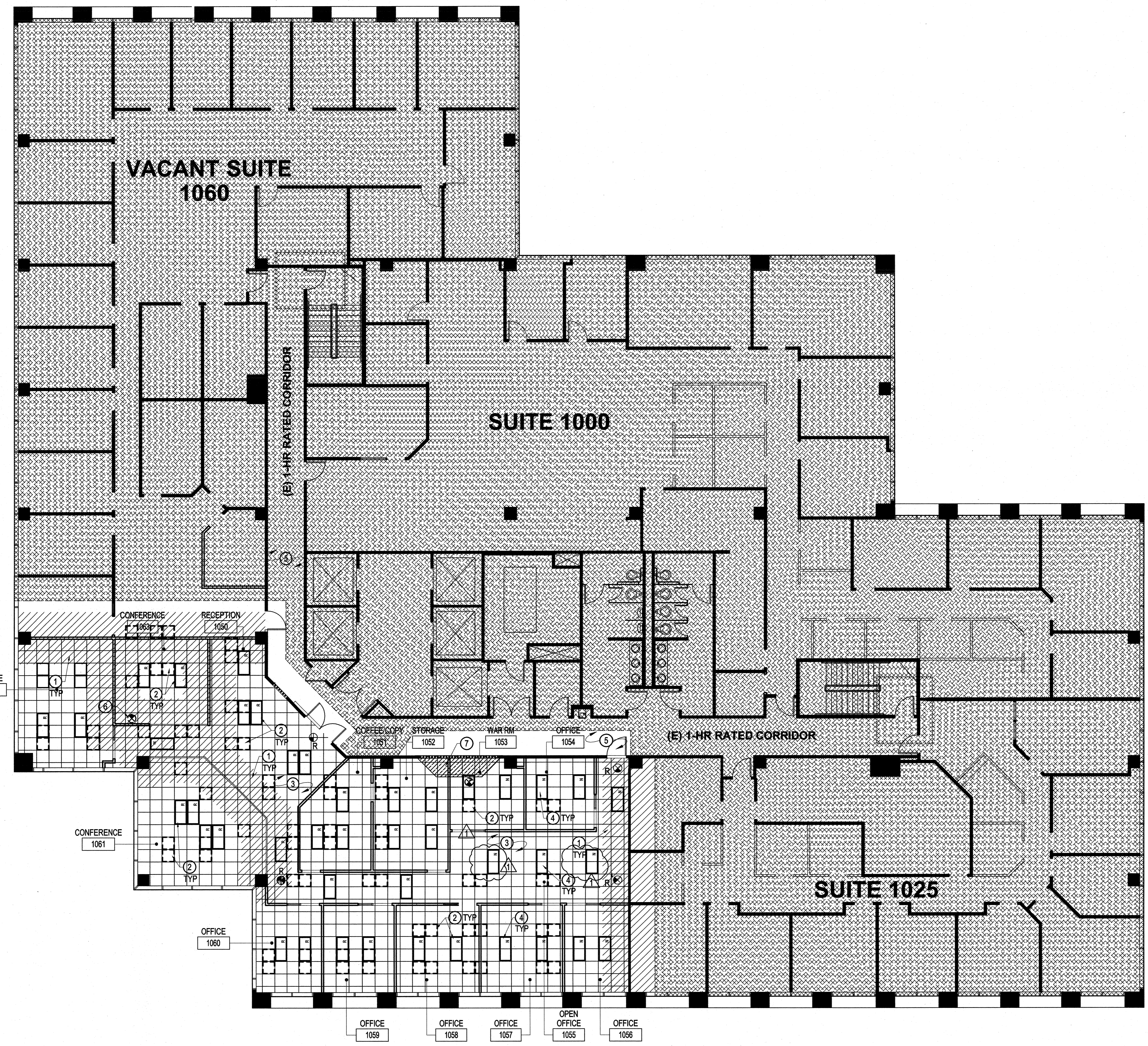
-  EXISTING ACOUSTICAL CEILING SYSTEM AND GRID TO REMAIN
MAIN RUNNER
-  FLUORESCENT LIGHT FIXTURE
-  EXISTING TO BE REMOVED
-  UNDER CABINET FLUORESCENT FIXTURE
-  FLUORESCENT STRIP FIXTURE
-  FLUORESCENT PENDANT FIXTURE
-  CEILING HEIGHT CHANGE
-  DIMENSION OF CEILING ABOVE FINISH FLOOR
-  CEILING FINISH
-  CEILING MOUNTED EXIT SIGN, SHOWS QUANTITY OF FACE(S) AND DIRECTION OF ARROW(S)
-  RECESSED DOWNLIGHT
-  ADJUSTABLE DOWNLIGHT
-  RECESSED WALL WASHER
-  TRACK LIGHTING
-  SURFACE MOUNTED LIGHT FIXTURE
-  WALL SCONCE
-  EXHAUST FAN
-  SMOKE DETECTOR
-  STROBE
-  FIRE SPRINKLER
-  SPEAKER
-  MOTION SENSOR
-  ACCESS DOOR
-  SECURITY CAMERA
-  THERMOSTAT
-  LIGHT SWITCH
-  DIMMER SWITCH
-  PROJECTION SCREEN SLOT
-  LINEAR DIFFUSER
-  N DENOTES NEW ITEM
-  R DENOTES EXISTING, RELOCATED FIXTURE

KEY NOTES

- ① HATCHING INDICATES NEW BATT INSULATION ABOVE GRID, 4'-0" FROM PARTITION ON BOTH SIDES. PROVIDE SOUND BOOTS AT RETURN GILLES ON EACH SIDE OF THIS WALL. SEE MECHANICAL DRAWINGS.
- ② REMOVE AND RELOCATE EXISTING LIGHT FIXTURES, WHERE SHOWN ON PLAN. SEE ELECTRICAL DRAWINGS.
- ③ PROVIDE NEW BLDG STD ARMSTRONG 2'X2' "DUNE" CEILING TILES THROUGHOUT TENANT SUITE.
- ④ PROVIDE NEW LIGHT FIXTURES TO MATCH EXISTING, WHERE SHOWN ON PLAN WITH "N". REFER TO ELECTRICAL DRAWINGS AND LIGHT FIXTURE SCHEDULE.
- ⑤ EXISTING CORRIDOR LIGHT FIXTURES, HVAC AND FINISHES TO REMAIN. NO PROPOSED MODIFICATIONS.
- ⑥ REMOVE & RELOCATE (4) EXISTING EXIT LIGHT FIXTURES IN TENANT SUITE. SAFE OFF BACK TO SOURCE. GC TO STOCKPILE PER BLDG. MANAGEMENT'S DIRECTION.
- ⑦ HATCHING INDICATES MODIFICATION TO EXISTING CORRIDOR CEILING PER NEW FLOOR LAYOUT. EXTEND SUITE CEILING GRID SYSTEM AS REQUIRED. MATCH EXISTING. SEE DETAIL 18, 19 AND 20 ON SHEET A12.00 FOR INSTALLATION PER CBC SEC. 711.3.1, 803.9 AND 1705.

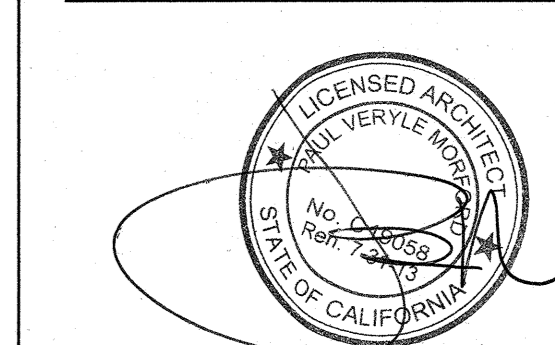
SHEET NOTES

1. NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN ARCHITECTURAL AND ELECTRICAL OR MECHANICAL DRAWINGS. OBTAIN CLARIFICATION FROM ARCHITECT IN WRITING BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
2. LOCATIONS OF CEILING PENETRATIONS, SUCH AS AIR DIFFUSERS, GRILLS, LIGHT FIXTURES, ETC., SHALL BE AS SHOWN ON THE ARCHITECTURAL REFLECTED CEILING PLAN. WHERE DISCREPANCIES LOCATION OCCUR, THE ARCHITECTURAL PLANS GOVERN.
3. WHEN CEILING INTERRUPTIONS OCCUR, SUCH AS PARTITIONS, FURR DOWNS, ETC., CONTRACTOR SHALL CHECK AND VERIFY THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. SHOULD THERE BE ANY QUESTIONS, CONTRACTOR IS RESPONSIBLE FOR OBTAINING A CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH THE WORK IN QUESTION OR RELATED WORK.
4. ALL NEW CEILING FIXTURES AND SWITCHES AND MOTION SENSORS SHALL MATCH BUILDING STANDARD U.O.N.
5. LOCATE ALL LIGHT FIXTURES, SPEAKERS, ACCESS PANELS, SPRINKLERS, LIFE-SAFETY FIXTURES, ETC., IN STRAIGHT LINES AND IN CENTER OF CEILING TILES U.O.N.
6. THERE SHALL BE NO COMBUSTIBLE MATERIALS IN THE PLENUM SPACE.
7. BEFORE STARTING ANY WORK, CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS. IF THERE ARE EXISTING BUILDING OBSTRUCTIONS AND CEILING FIXTURES CANNOT BE INSTALLED WHERE INDICATED, CONTRACTOR SHALL NOTIFY THE ARCHITECT AND SHALL OBTAIN CLARIFICATION FROM THE ARCHITECT IN WRITING BEFORE PROCEEDING WITH ANY PART OF THE CEILING WORK OR RELATED WORK. IF WORK IS PERFORMED PRIOR TO OBTAINING CLARIFICATION, CONTRACTOR SHALL CORRECT CONFLICTING WORK AT HIS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER/TENANT OR THE ARCHITECT.
8. ALL NEW CONDUITS, BOXES, DUCTS, HVAC UNITS, PIPES, ETC., SHALL BE INSTALLED AS HIGH AS POSSIBLE, NOT LOWER THAN 8" ABOVE LINE OF FINISH CEILING.
9. ALL NEW CEILING GRILLS, PERFORATED FACE PLATES, ACCESS PANELS, AIR BARS AND TRIMS SHALL BE FACTORY FINISHED TO MATCH THE COLOR OF ADJACENT FINISHED CEILING.
10. BUILDING STANDARD SUSPENDED CEILING GRID AND ACOUSTICAL TILE SYSTEM TO REMAIN THROUGHOUT.
11. WHEN FIXTURES INTERRUPT MAIN RUNNERS, CUT AND REINFORCE AS REQUIRED.
12. REPLACE ALL BURNED OUT, MISSING AND/OR NON-CONFORMING LAMPS. ALL LAMPS SHALL BE IDENTICAL FROM ONE MANUFACTURER IN SAME TYPE FIXTURES.
13. REWORK SPRINKLER HEAD LAYOUT AS REQUIRED FOR NEW ROOM CONFIGURATION. ADD BUILDING STANDARD NEW HEADS AS REQUIRED. RELOCATE ALL EXISTING HEADS REMAINING IN THE PROJECT TO CENTER OF TILE. PROVIDE CONCEALED HEAD ASSEMBLIES AT GYPSUM BOARD CEILINGS. TRIM AND COVER COLOR TO BE BUILDING STD CHROME U.O.N.
14. PROVIDE HVAC AIR GRILLES AND DIFFUSERS AS REQUIRED FOR NEW ROOM CONFIGURATION. CLEAN/REPAINT ALL EXISTING GRILLS AND DIFFUSERS IF PERMANENTLY STAINED. REPLACE ALL DAMAGED GRILLES WITH NEW.
15. REWORK EXISTING FIRE LIFE SAFETY ALARM SYSTEM AS REQUIRED FOR NEW ROOM CONFIGURATIONS.
16. REMOVE ALL EXISTING ABANDONED CABLING AND CONDUITS IN PLENUM SPACE.
17. REWORK LIGHT FIXTURES & SWITCHES AS REQUIRED FOR NEW ROOM LAYOUT.
18. PATCH & REPLACE EXISTING CEILING WHERE GRID IS DAMAGED OR TILES ARE DAMAGED OR DISCOLORED. PROVIDE BUILDING STANDARD CEILING TO MATCH EXISTING.
19. RETURN ALL SURPLUS FIXTURES TO BLDG. OWNER FOR FUTURE REUSE.
20. ALL LIGHT FIXTURES SHOWN ARE EXISTING TO REMAIN UNLESS INDICATED WITH AN "R" FOR RELOCATED.



Issue	Date & Issue Description	By	Check
01	01/08/12	CD	SBPM
02	01/24/12	CD	SB
03	02/27/12	CD	SB

BULLETIN #1, TENANT CLARIFICATIONS
PLAN CHECK CORRECTIONS

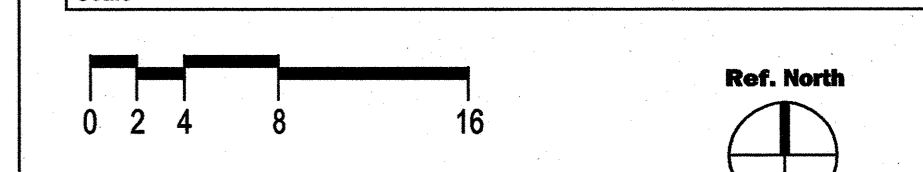


Project Name
MICHAEL F MORAN
4,185 R.S.F.

Project Number
07.5222.018

CAD File Name
D:\MAGUIRE\PROJECTS\HUTTONCENTRE\10MICHELMORAN\CAD\SHEETS\A04.10

Description
10TH FLOOR
REFLECTED CEILING PLAN



A04.10

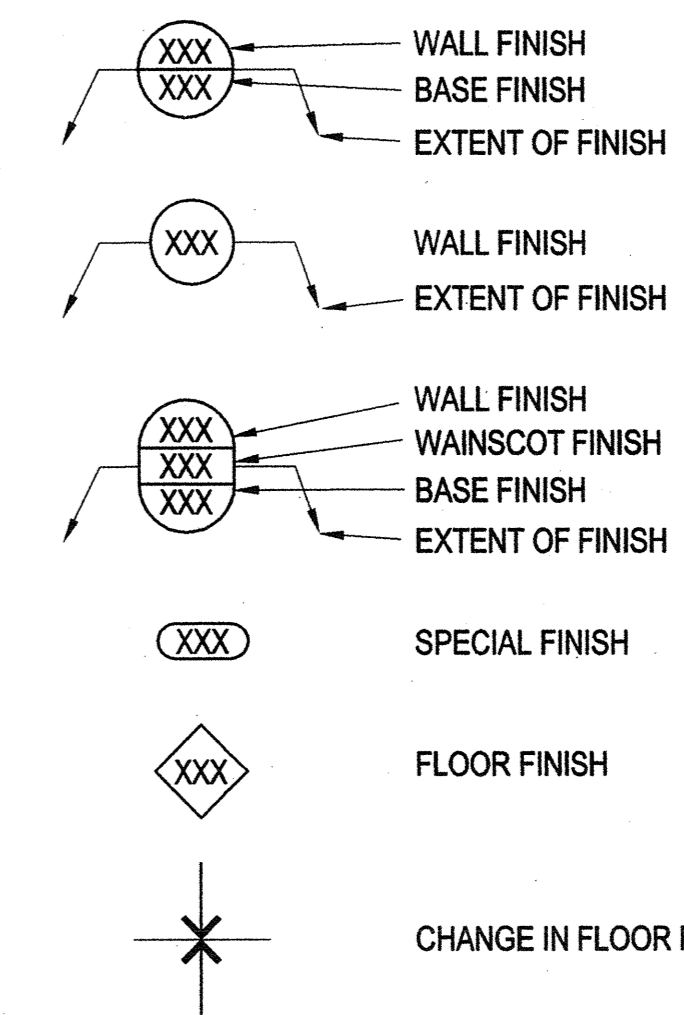
MICHAEL F MORAN

5 HUTTON CENTRE DRIVE
SUITE 1050
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Gensler

GRAPHIC SYMBOLS



16" X 16" TILES OVER CRACK SUPPRESSION MEMBRANE, PROVIDE STAINLESS STEEL SCHLUTER STRIP AT TRANSITION & FLOOR SEALER

FINISH SCHEDULE

NO.	DESCRIPTION	MANUFACTURER	STYLE/PATTERN	COLOR	REMARKS
FF1	CARPET	SHAW	# 5A164 "ELECTIC"	# 64755 "GRAPHIC LOOP"	OVER BLDG. STD. PAD
FF2	STONE	TO BE DETERMINED			NOTE - PROVIDE ALLOWANCE FOR \$ 16.00 PER SQ. FT. FOR MATERIAL. STONE TILES RECTANGULAR 12" X 16" OR 12" X 24" WITH SEALER AND 1/16" JOINT TO BE SEALED. OVER A CRACK SUPPRESSION MEMBRANE. PROVIDE SCHLUTER STRIP TRANSITIONS AT CARPET.
GR1	GROUT	TO BE DETERMINED			PROVIDE GROUT AT FF2
FF3	VINYL COMPOSITION TILE	MANNINGTON COMMERCIAL		# 55129 "PUTTY"	12" X 12" TILES
P1	GENERAL PAINT	GLIDDEN PROFESSIONEL		# A1790 "SCROLL BEIGE" # 201Y 43083	2 COATS OVER 1 COAT PRIMER, LATEX EGGSHELL FINISH LOW LUSTRE OVER PRIMER, THROUGHOUT U.N.O.
B1	RUBBER BASE	JOHNSONITE		# 31 "ZEPHYR"	2-1/2" HIGH AT P-1 LOCATIONS COVED AT VCT, STRAIGHT AT CARPET
P2	ACCENT PAINT	FRAZEE		# CL 2884D "STONECROP"	2 COATS OVER 1 COAT PRIMER, LATEX EGGSHELL FINISH LOW LUSTRE OVER PRIMER, THROUGHOUT U.N.O.
B2	RUBBER BASE	JOHNSONITE		# 80 "FAWN"	2-1/2" HIGH AT P-1 LOCATIONS COVED AT VCT, STRAIGHT AT CARPET
B3	STONE BASE	TO BE DETERMINED			2-1/2" HIGH STONE BASE, SAME AS FF2. EXPOSED EDGES TO BE POLISHED. SEE KEY NOTES 3 AND 4.
PL1	PLASTIC LAMINATE	PIONITE		# SG210 SUEDE COLOR "GREIGE"	CABINET FACES
PL2	LAMINATE	PIONITE		# AT371 SUEDE COLOR "CRESSIDA"	COUNTERTOPS AND BACKSPLASH

KEY NOTES

- IN ALL AREAS, FLOOR FINISH AND FLOOR COVERING MATERIALS SHALL NOT BE LESS THAN CLASS 'C' CRITICAL RADIANT FLUX, SHALL COMPLY WITH NFPA 286, AND HAVING A SMOKE DENSITY RATING PER ASTM E 84
- PROVIDE NEW BLDG. STD. CORRIDOR FINISHES TO MATCH EXISTING, PER NEW FLOOR LAYOUT.
- ALIGN BASE JOINTS WITH FLOOR, 24" LENGTHS
- ALIGN STONE BASE HEIGHT WITH RUBBER BASE. PROVIDE MITER CUT AT ALL CORNERS, INCLUDING FACE EDGE OF STONE AT CORNER OF PARTITION AND WHERE STONE TERMINATES AGAINST FRAMELESS GLASS. EXPOSED EDGES TO BE POLISHED.

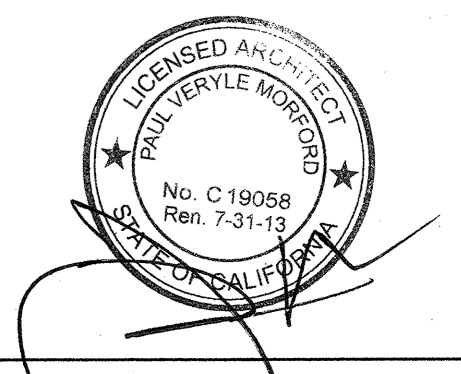
SHEET NOTES

- REPAIR AND PREPARE EXISTING SURFACES SHOWN TO REMAIN AS REQUIRED FOR APPLICATION OF NEW FINISHES.
- G.C. TO REPAIR ANY FINISHES AND/OR SURFACES DAMAGED DURING NEW CONSTRUCTION.
- CONTRACTOR TO SUBMIT TO ARCHITECT FOR REVIEW THREE (3) SETS OF SAMPLES OF ALL WALL AND FLOOR FINISH MATERIALS.
- WHERE FLOOR MOUNTED OUTLETS ARE CARPETED AREA, CUT THE CARPET IN AN "X" OVER REQUIRED ON THE HOLE AND CARPET UNDER. THIS ALLOWS FOR FUTURE CARPET PATCHING WHERE OUTLETS ARE LATER CAPPED. DO NOT TRIM THE CARPET.
- PREPARE EXISTING CONCRETE SLAB AS REQUIRED FOR SPECIFIED FINISH.
- PROVIDE POLISHED WAXED FINISH AT ALL VCT FLOORING PER MANUFACTURER'S INSTRUCTIONS PRIOR TO OCCUPANCY.
- PROVIDE TRANSITION STRIPS AT VCT FLOORING. TRANSITION TO OCCUR AT CENTER LINE OF PARTITION, TYP.
- PROVIDE STRAIGHT BASE AT CARPET. COVE BASE 2 1/2" HIGH AT VCT TYP. PROVIDE MFR. PRE-FORMED CORNERS AT ALL OUTSIDE CORNER LOCATIONS. DO NOT WRAP BASE AROUND CORNERS.
- ALL PAINT FINISH LOCATIONS TO BE THREE COAT SYSTEMS. (1) COAT PRIMER, (2) COATS FINISH.
- BAG EXISTING WINDOW BLINDS FOR PROTECTION DURING CONSTRUCTION.
- REWORK EXISTING WINDOW COVERING AND CONTROLS AS REQUIRED FOR NEW ROOM CONFIGURATION. REPAIR AND CLEAN ANY DAMAGED BLINDS. G.C. TO MATCH, PREP AND PAINT WALLS WHERE DEMO OCCURS.
- REPAIR AND/OR REPLACE ANY BUILDING STANDARD BLINDS AS REQUIRED.
- G.C. TO PAINT ALL EXISTING GRILLS, VENTS, ETC. TO MATCH CEILING FINISH.
- ALL NEW GRILLS, PERFORATED FACE PLATES, ACCESS PANELS, ETC. SHALL BE FACTORY FINISH TO MATCH EXISTING U.O.N.

Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SB/PM

ISSUE FOR PERMIT / CITY SUBMITTAL / BID

Seal/Signature



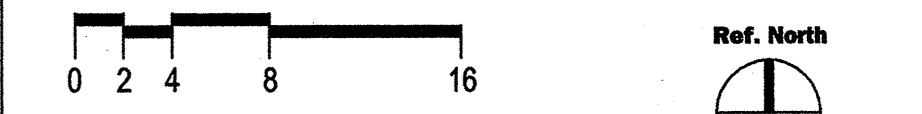
Project Name
MICHAEL F MORAN
4,185 R.S.F.

Project Number
07.6222.018

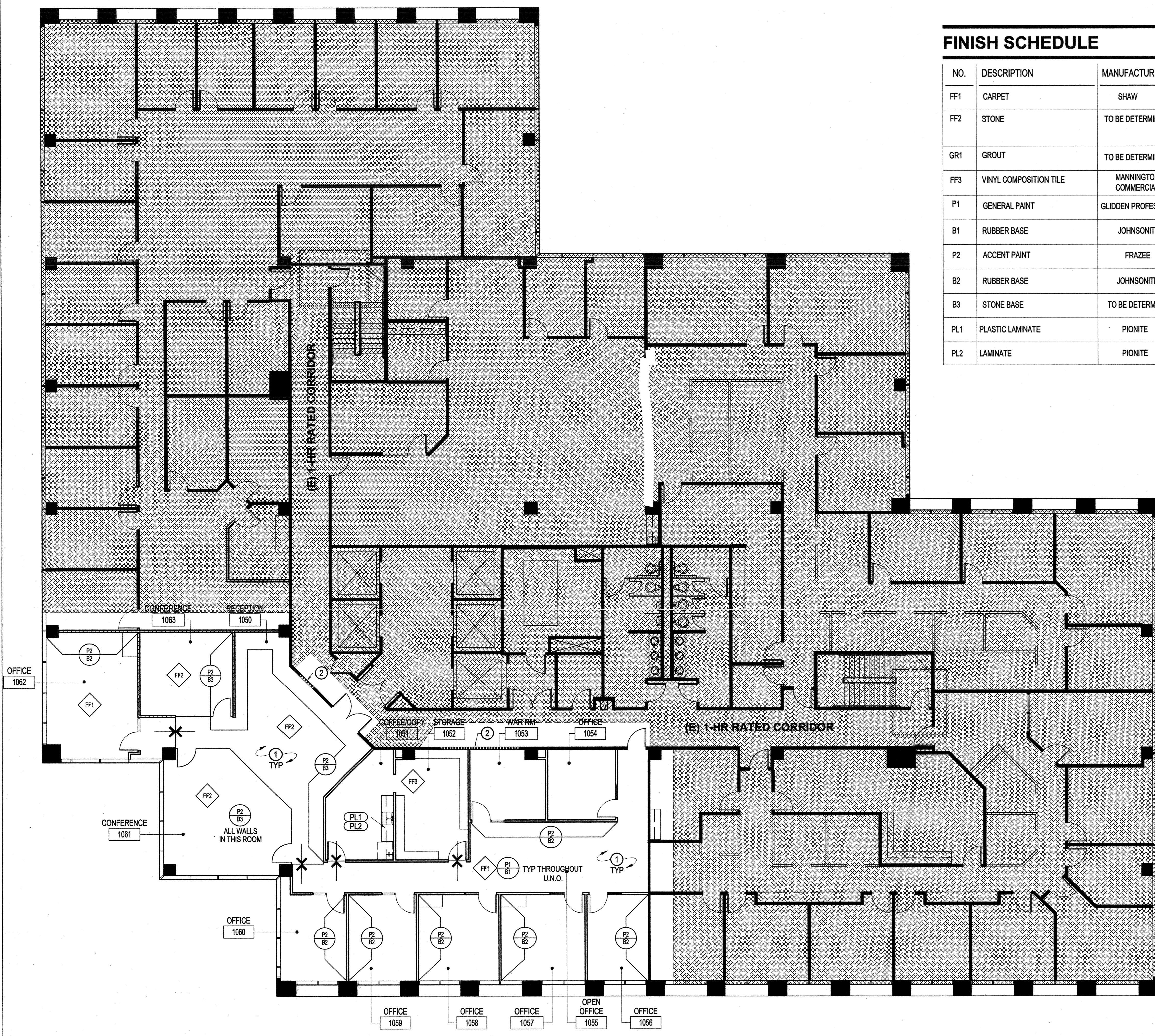
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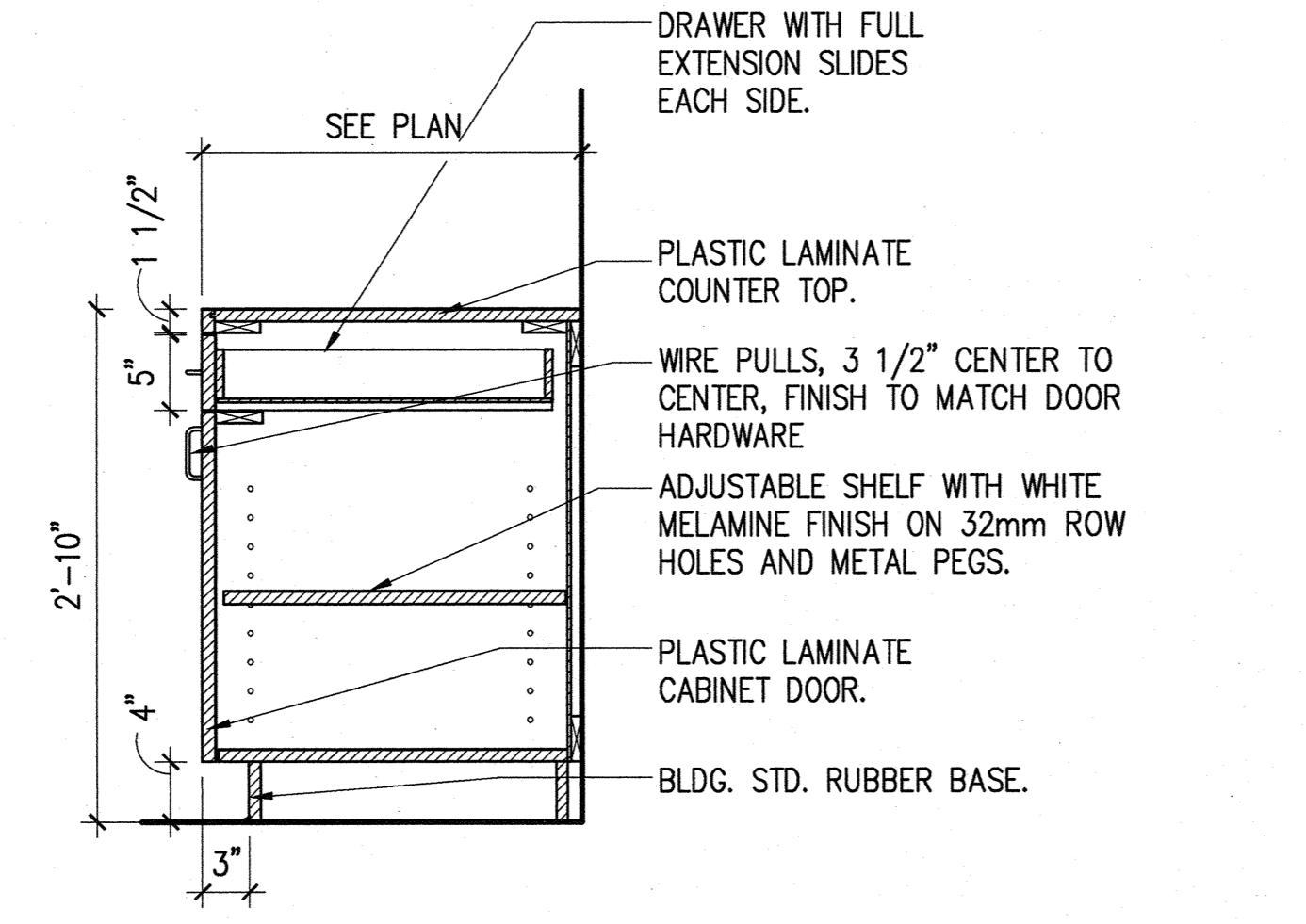
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10TH FLOOR
FINISH PLAN & SCHEDULE

Scale

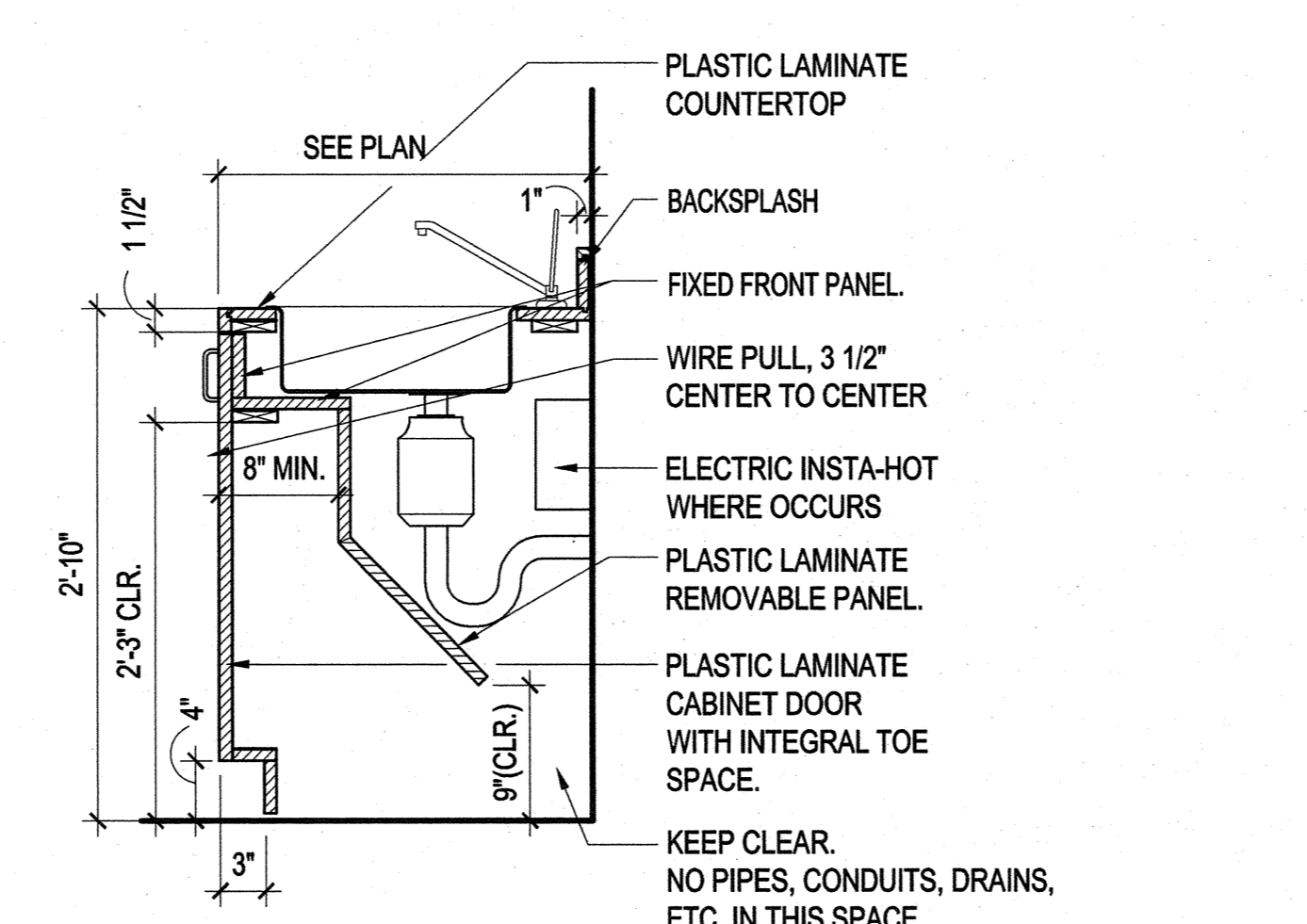


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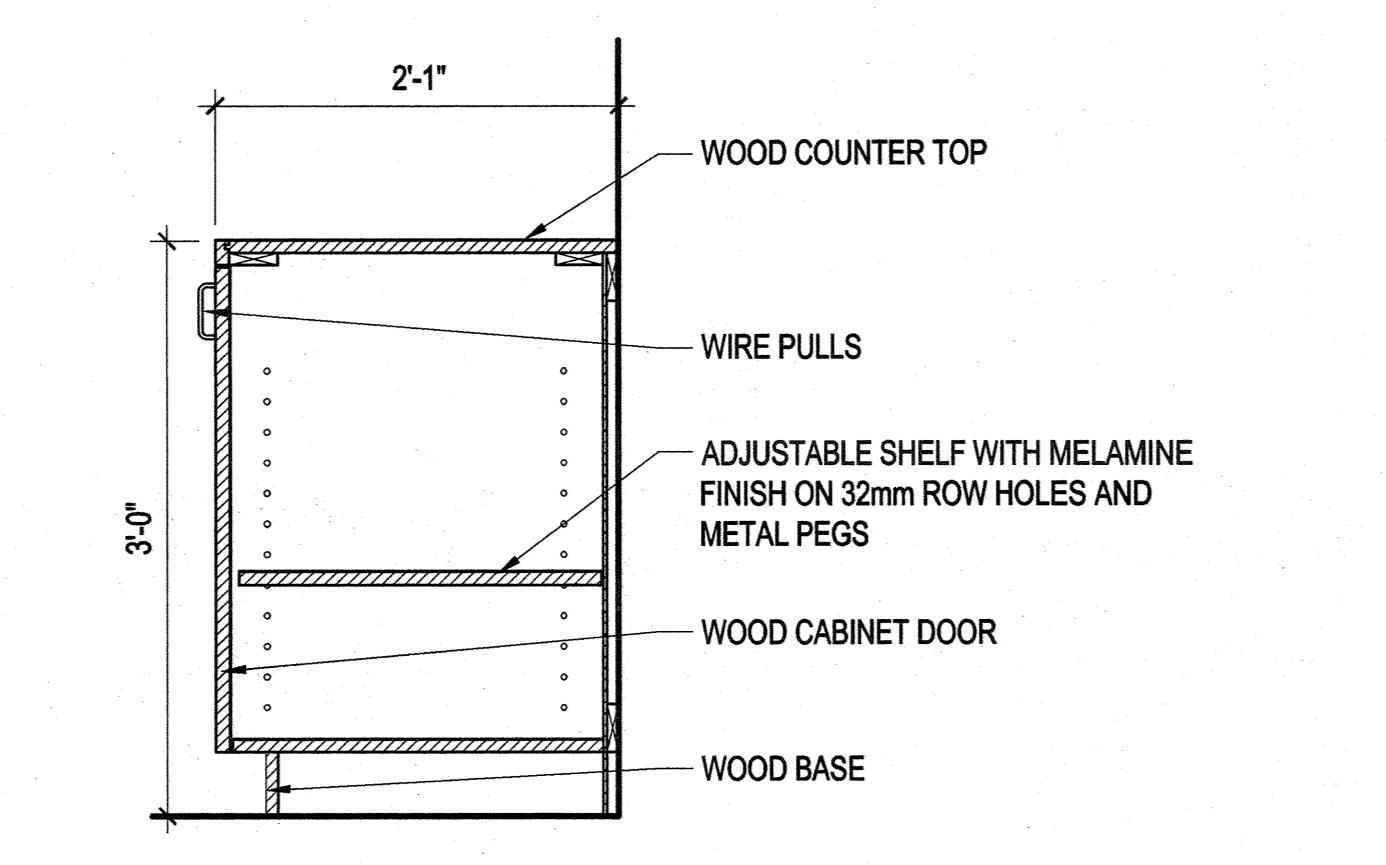




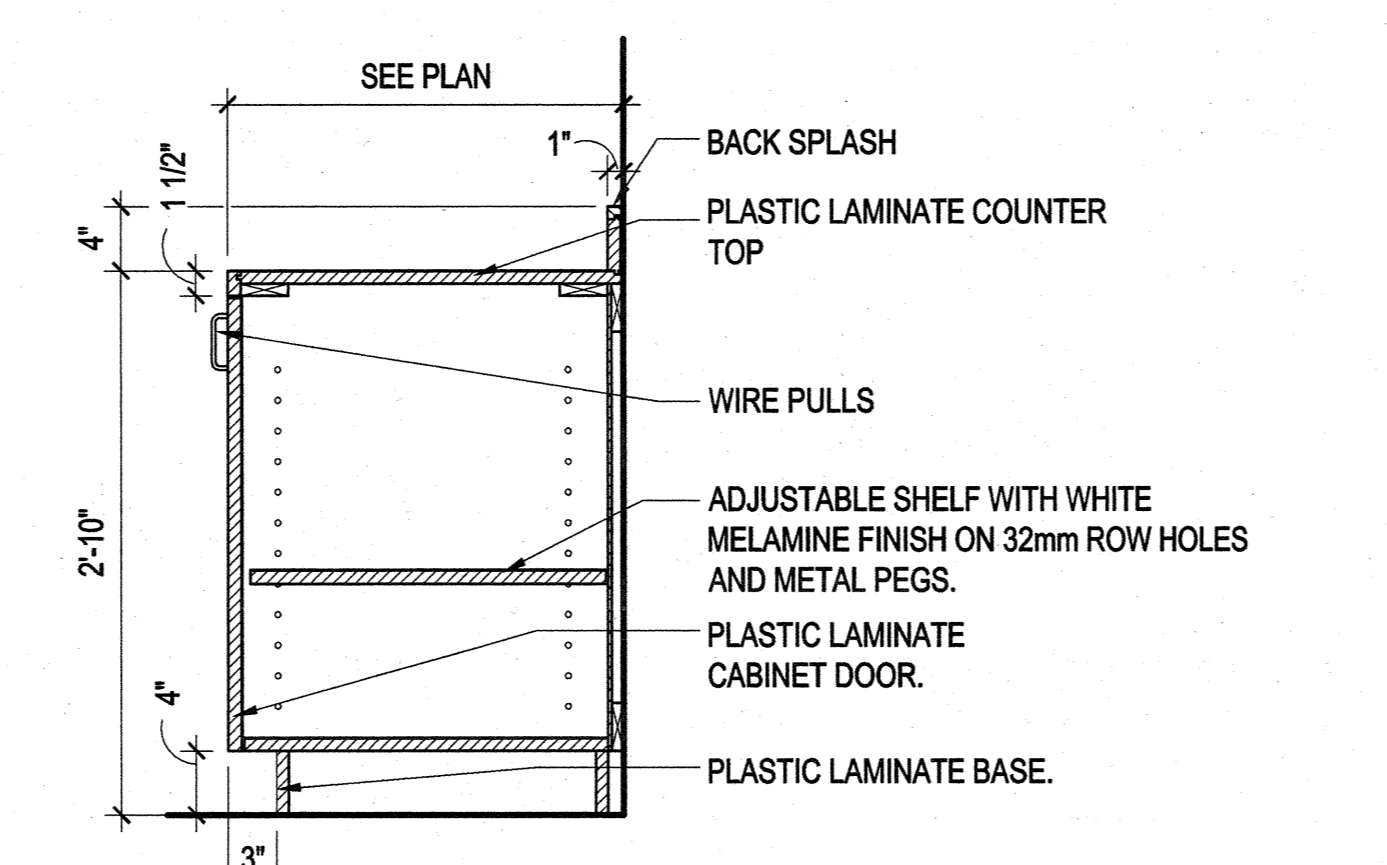
LOWER CABINET SECTION 16
SCALE: 1"=1'-0" MW03_2



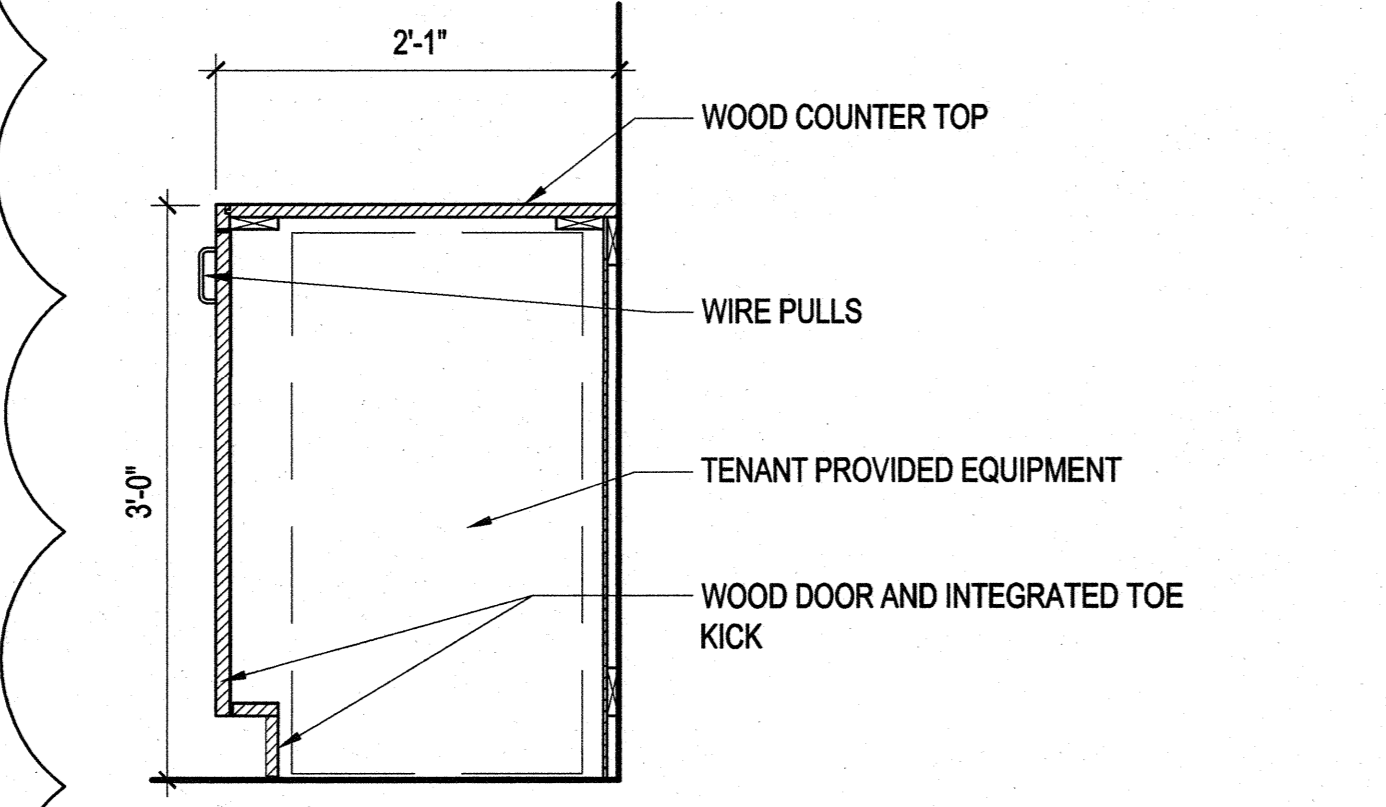
LOWER CABINET WITH SINK 12
SCALE: 1"=1'-0" MW02



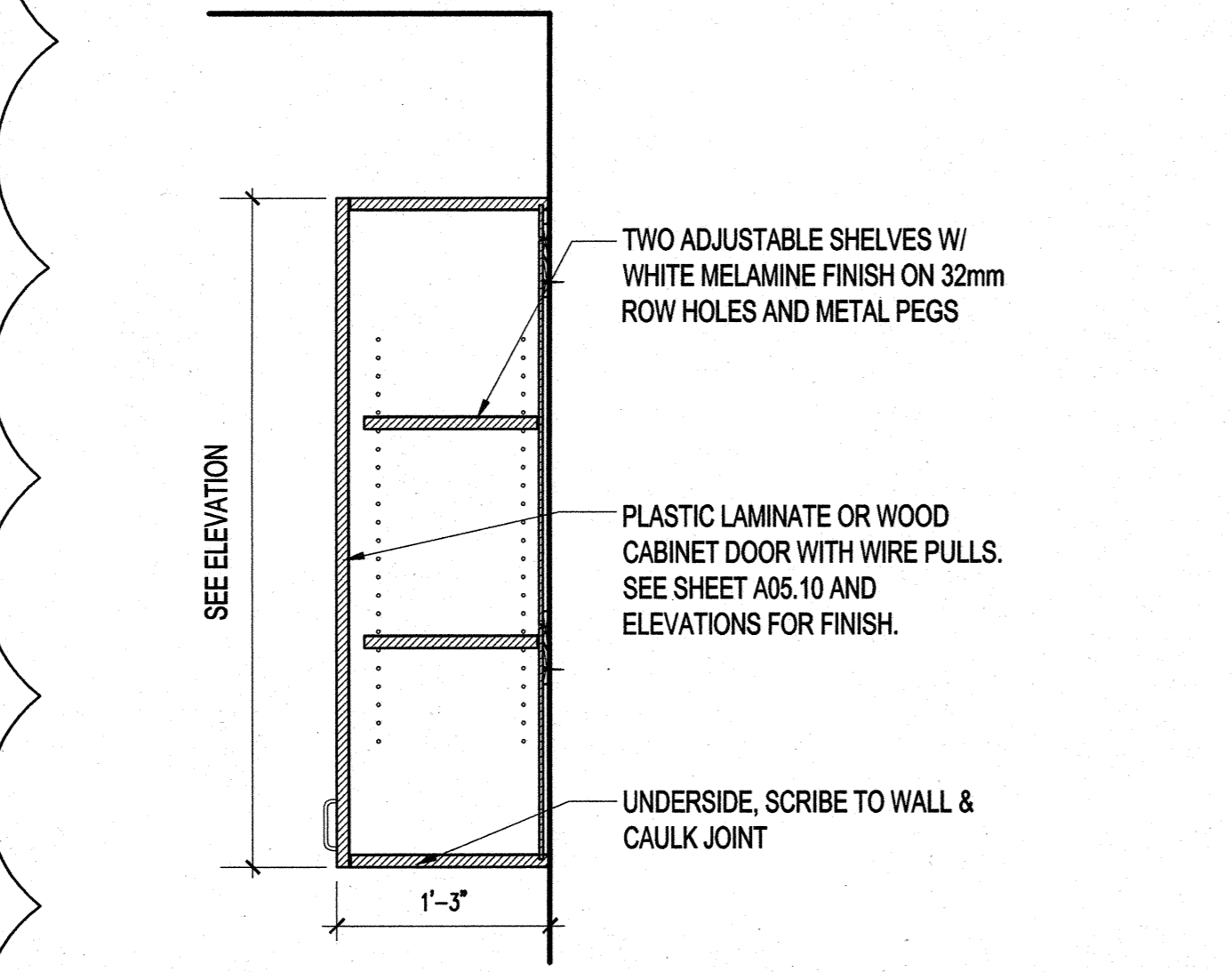
LOWER CABINET 15
SCALE: 1"=1'-0" MW04



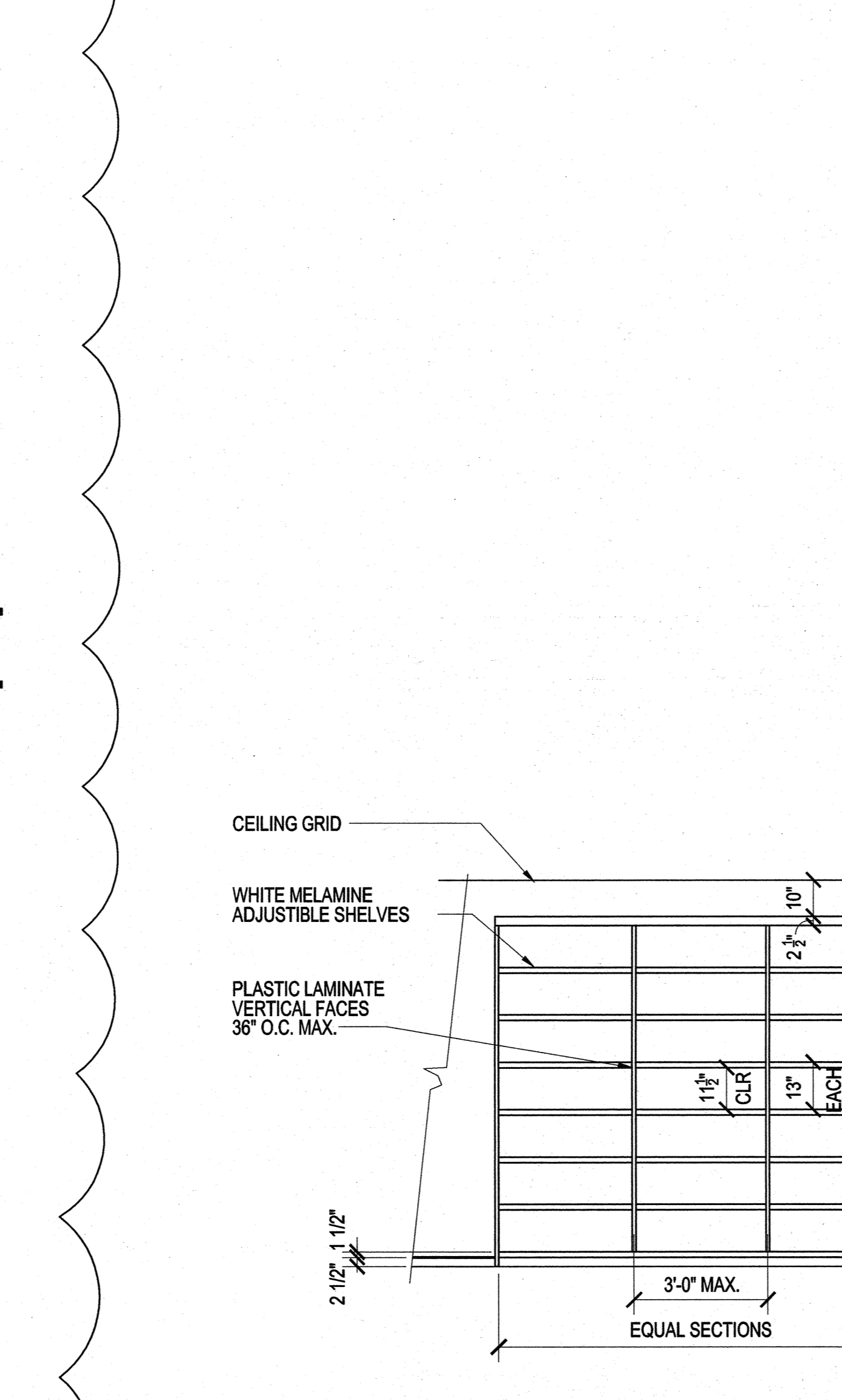
LOWER CABINET SECTION 11
SCALE: 1"=1'-0" MW03



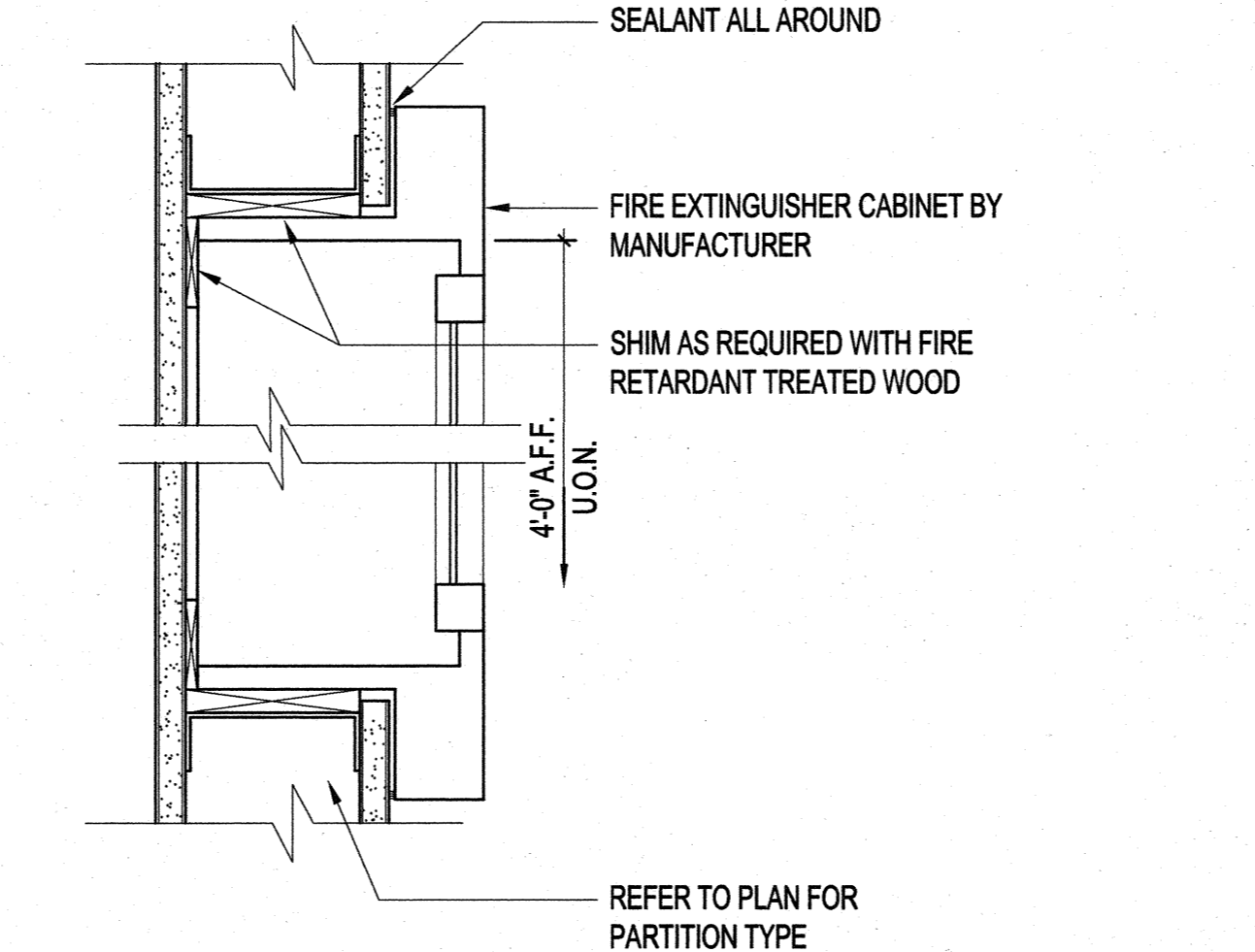
LOWER CABINET 14
SCALE: 1"=1'-0" MW04



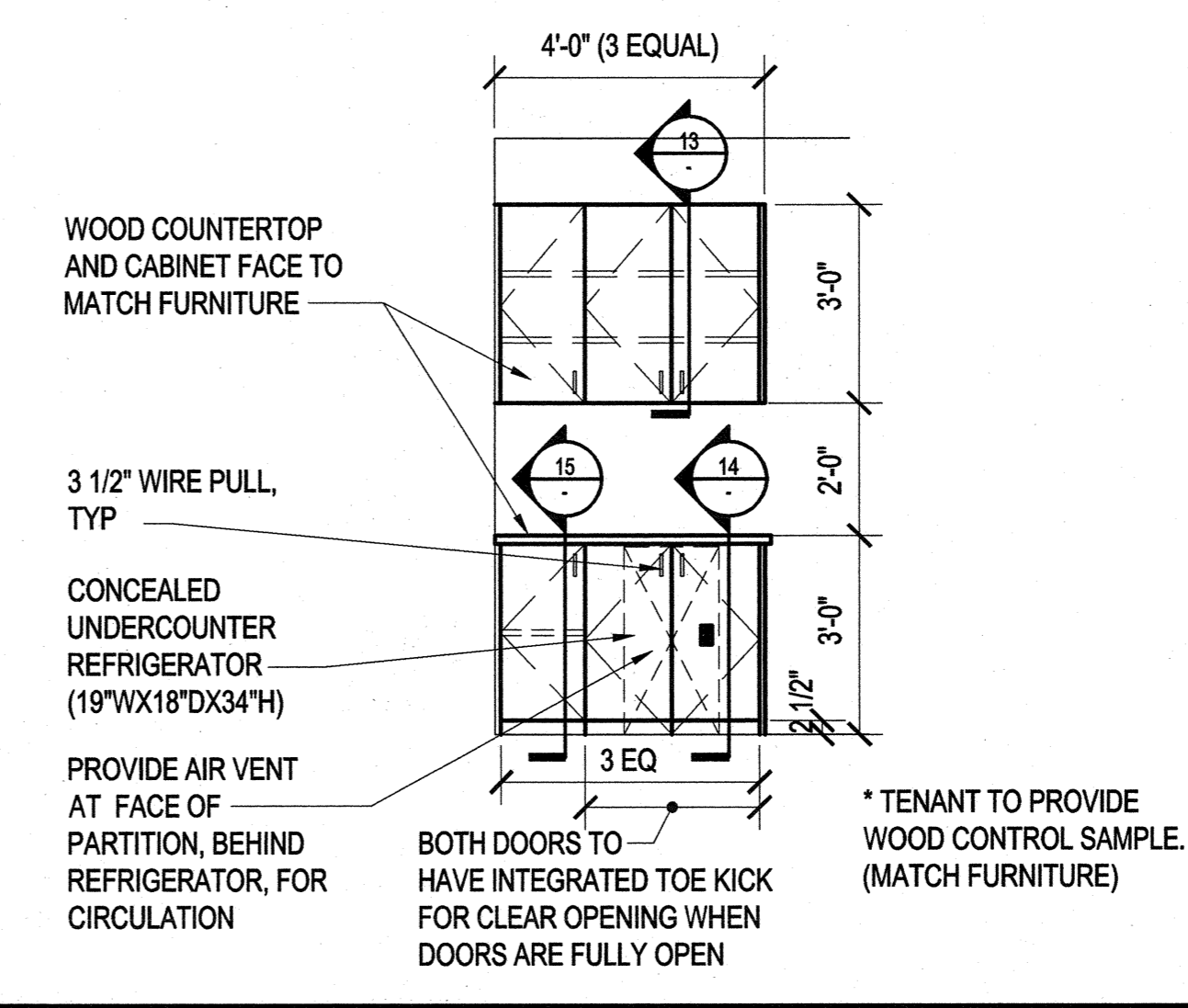
UPPER CABINET SECTION 13
SCALE: 1"=1'-0" MW11



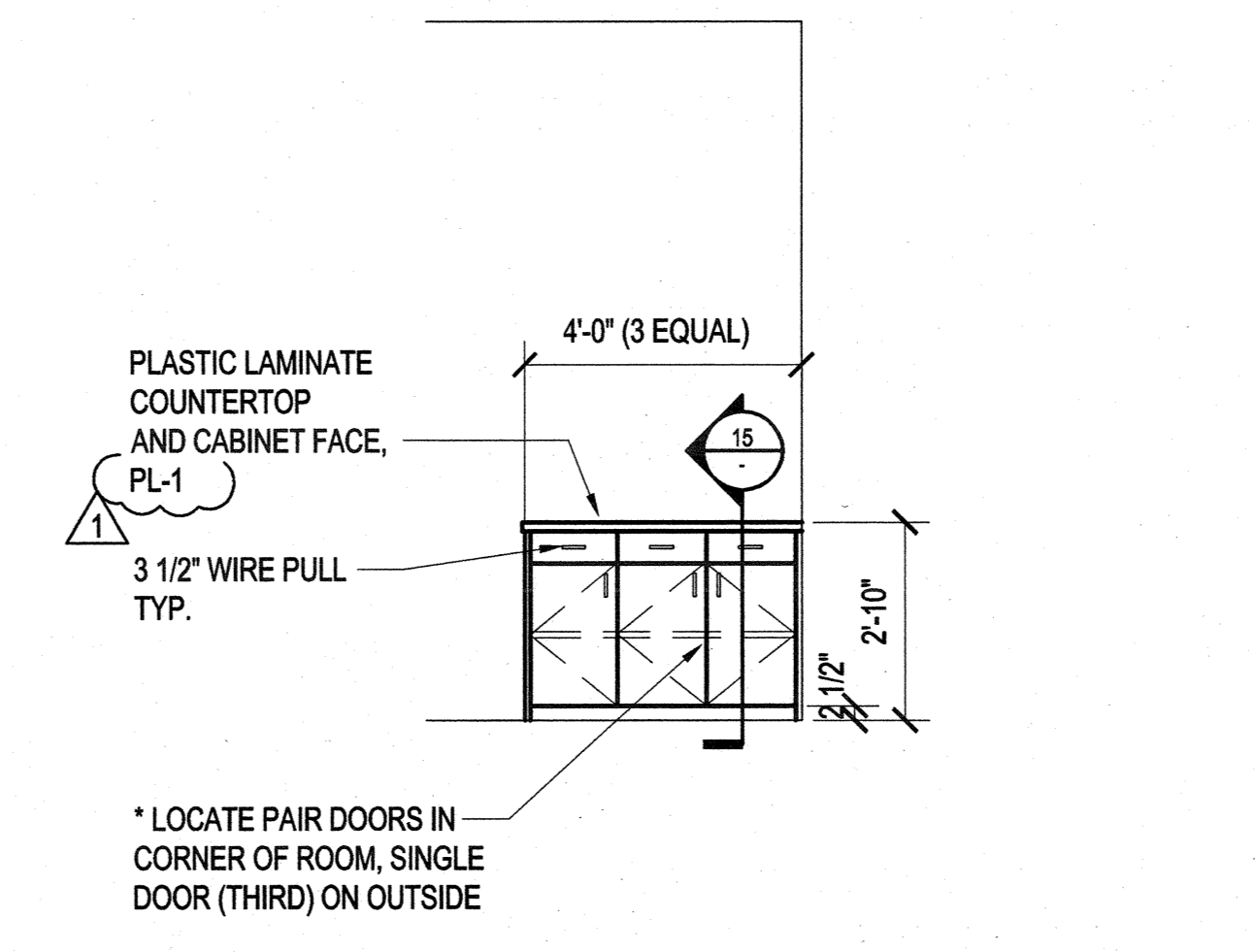
STORAGE ROOM 1052 ELEVATIONS 5
SCALE: 3/8"=1'-0"



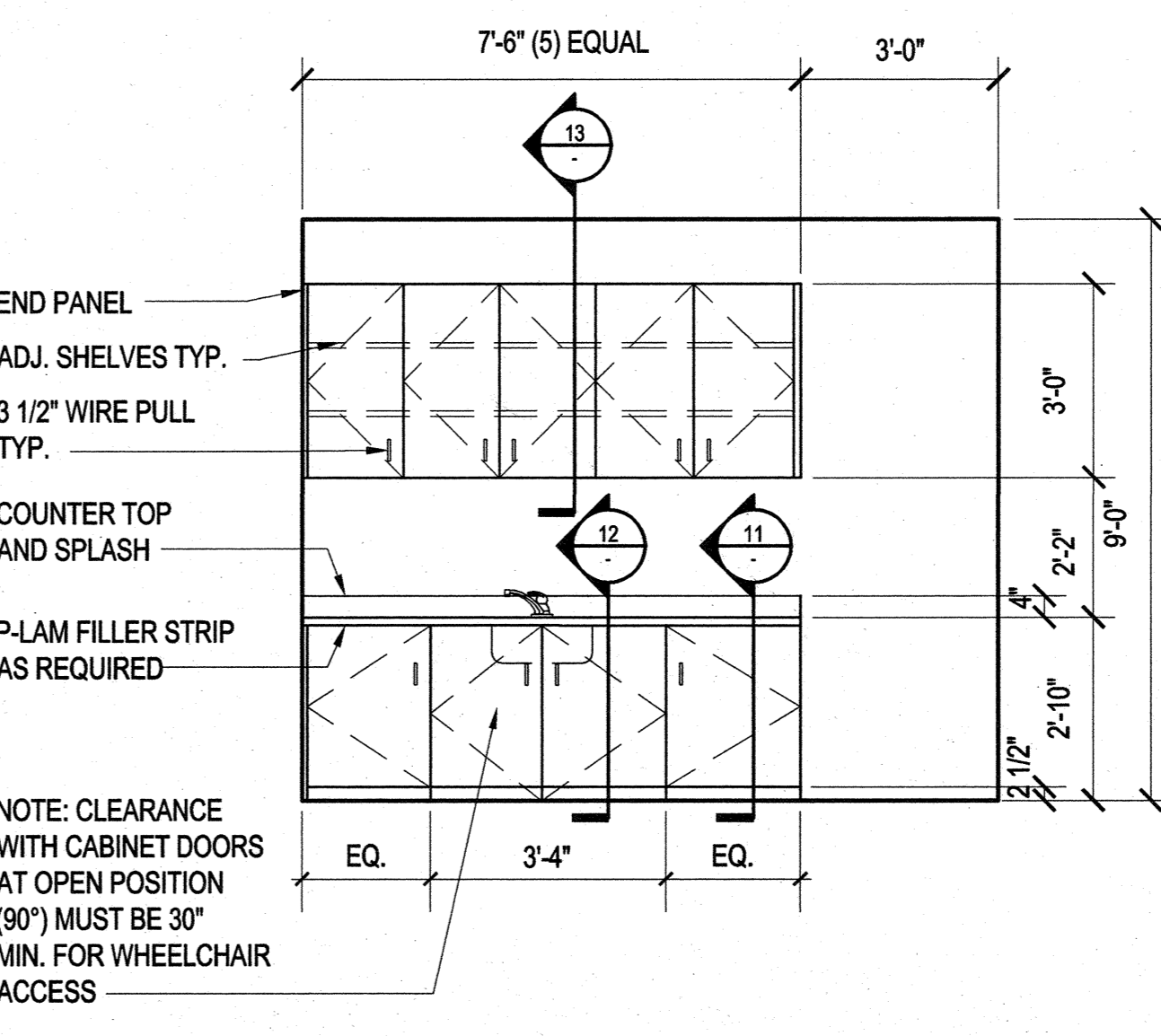
FIRE EXTINGUISHER CABINET 6
SCALE: 3"=1'-0" FE01



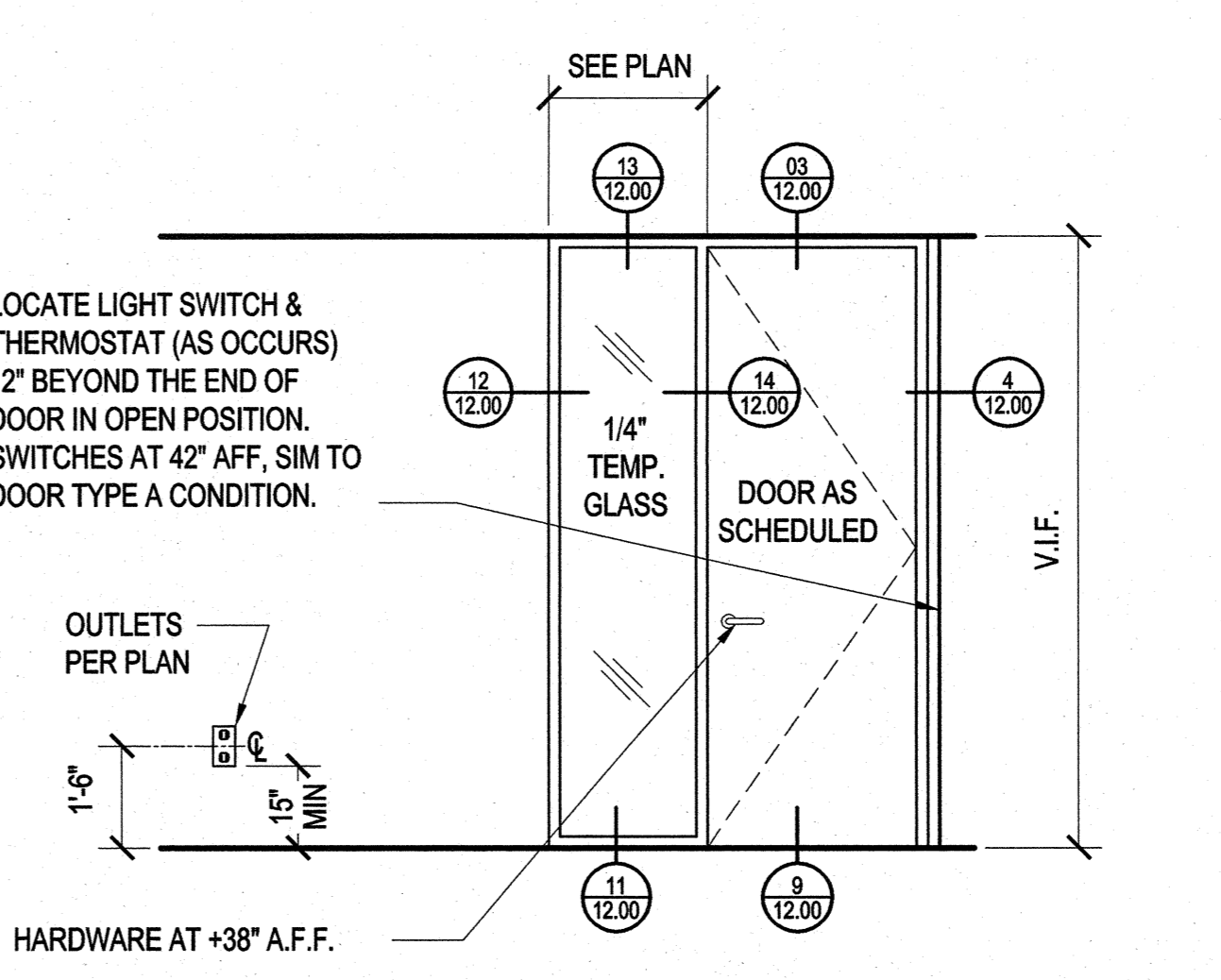
PRIVATE OFFICE 1062 4
SCALE: 3/8"=1'-0" EL12



PRIVATE OFFICE 1057 & 1058 3
SCALE: 3/8"=1'-0" EL10



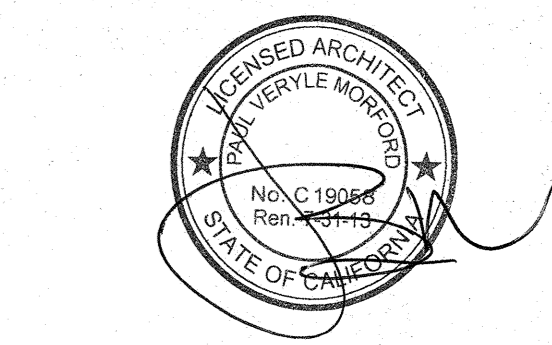
COPY/COFFEE ROOM ELEVATION 2
SCALE: 3/8"=1'-0" EL04



TYPICAL INTERIOR ELEVATION 1
SCALE: 3/8"=1'-0" EL03

Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SB/PM
02	01/24/12	CD	SB
03	02/27/12	CD	SB

BULLETIN #1, TENANT CLARIFICATIONS
PLAN CHECK CORRECTIONS

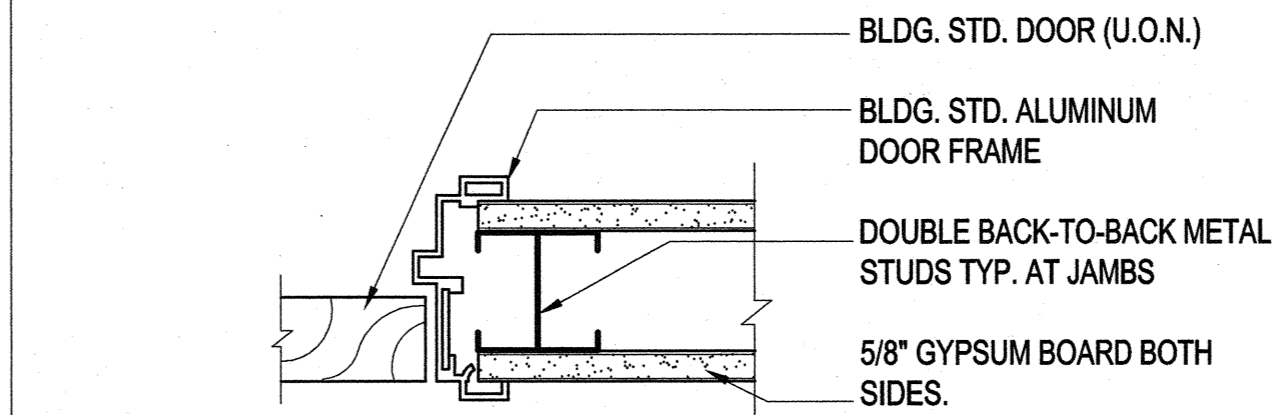
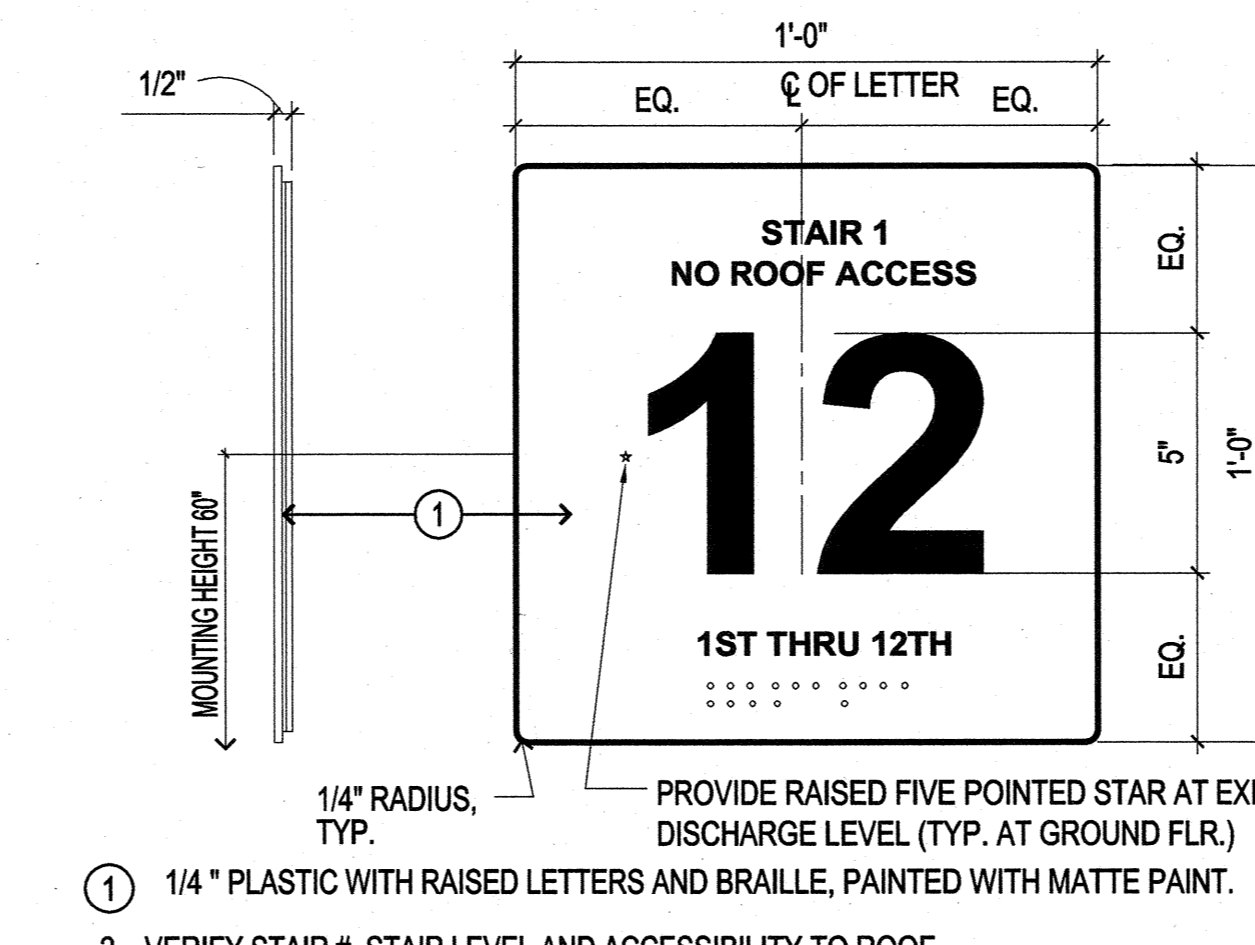
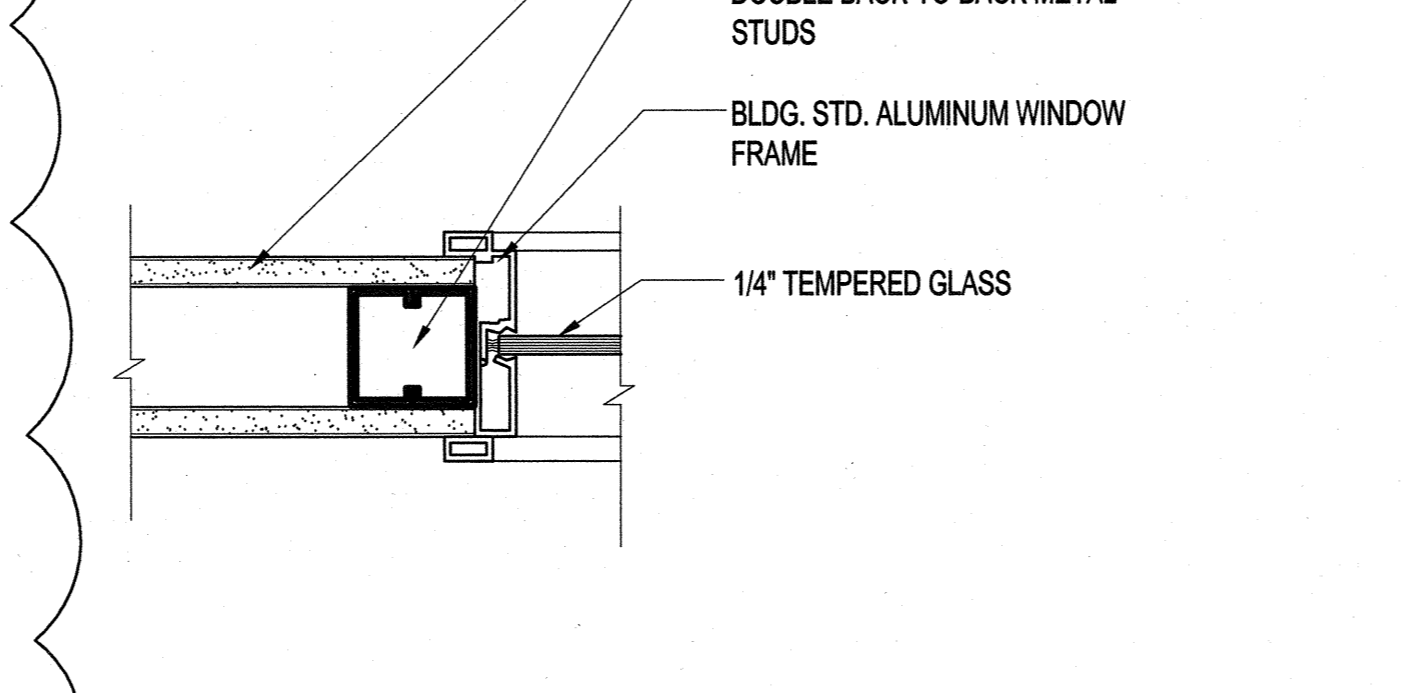
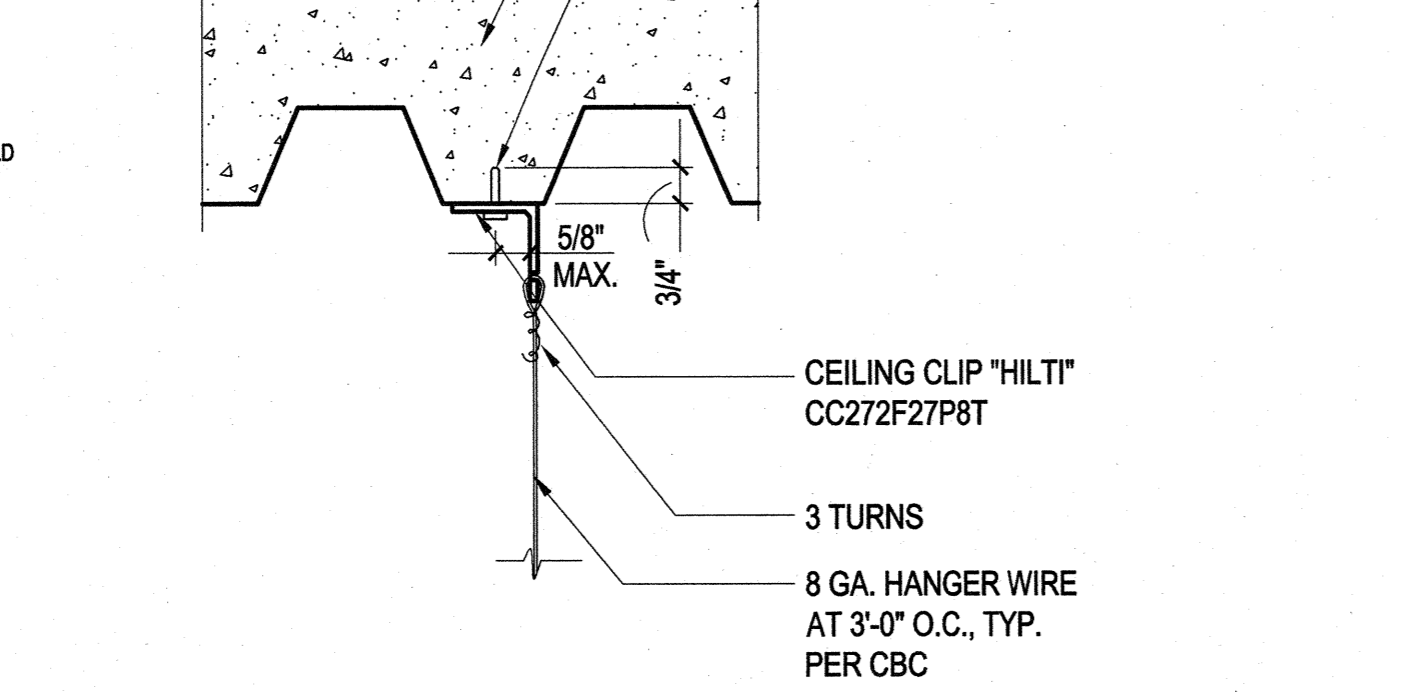
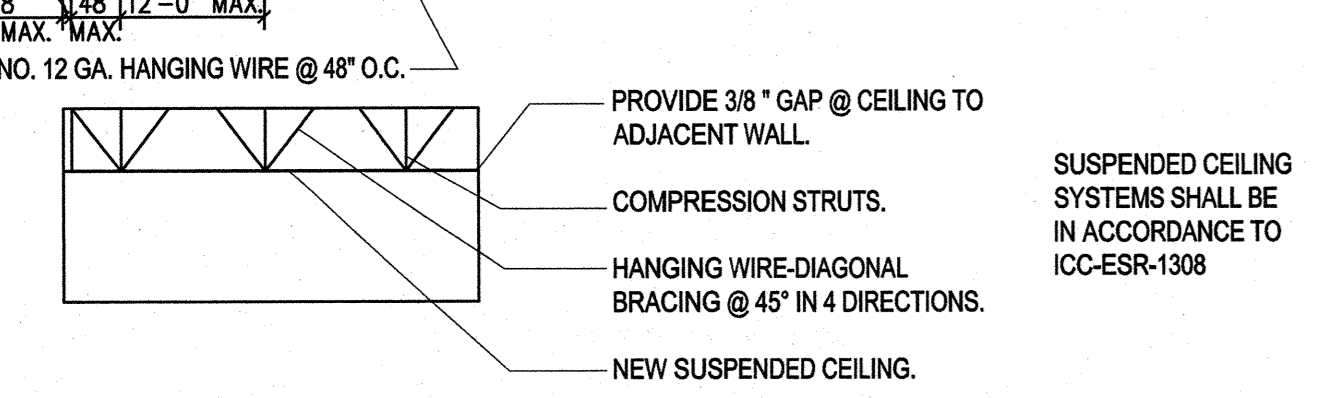
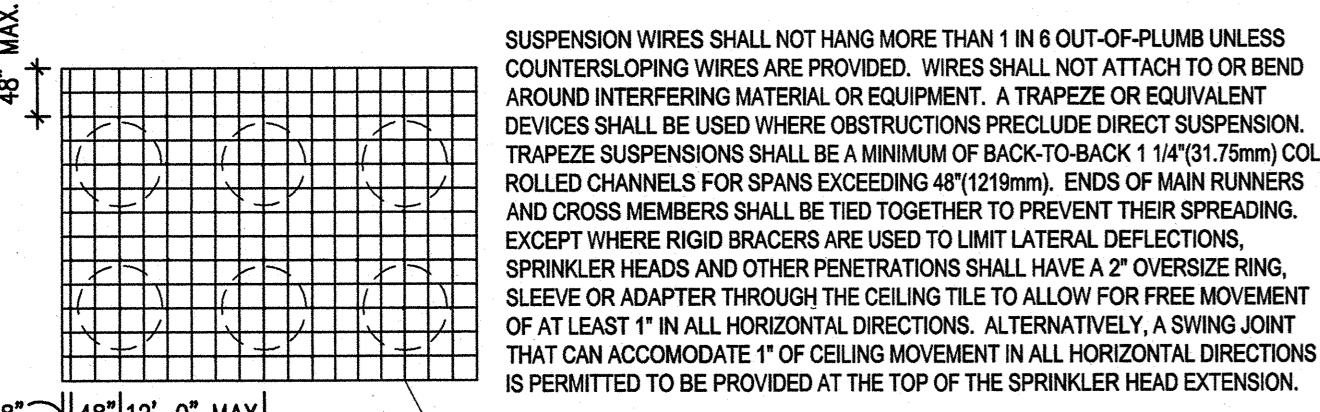


Project Name
MICHAEL F MORAN
4,185 R.S.F.
Project Number
07.622Z.018
CAD File Name
03MAGUREGRIPFINTOWERSHUTTONCENTER10MICHELMORANCA0/SHEETS/A11.00
Description
INTERIOR ELEVATIONS

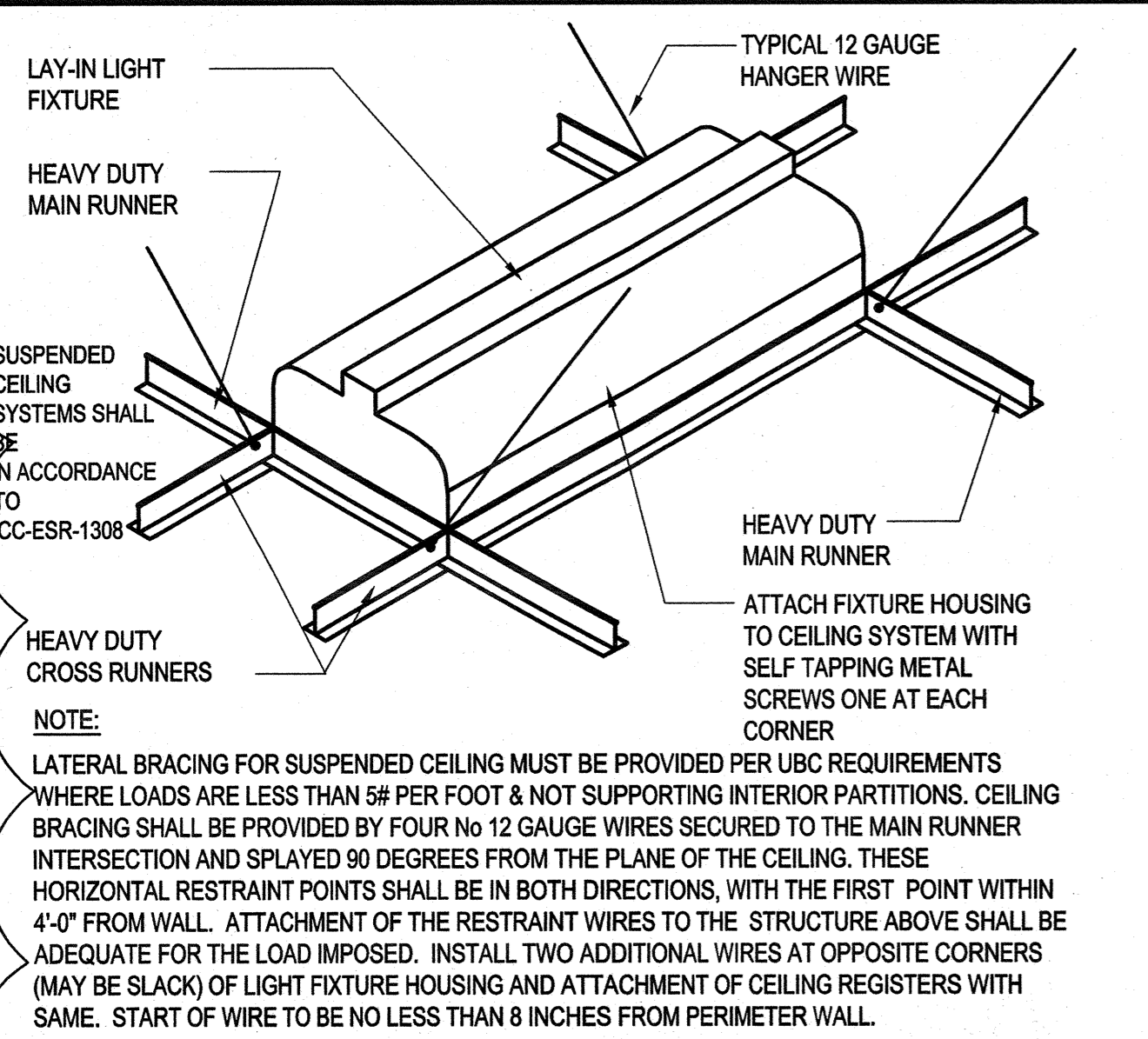
Scale
AS NOTED

A11.00

NOTE: INSTALL PER ASTM C 888 / ASTM C 898 & AISC 7.05 SECTION 13.5.6.2.2. HORIZONTAL RESTRAINTS SHALL BE EFFECTED BY 4 NO. 12 GA. WIRES SECURED TO THE MAIN RUNNERS WITHIN 2 INCHES OF THE CROSS RUNNER INTERSECTION AND SPACED 45 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLANE OF THE CEILING. A STRUT FASTENED TO THE MAIN RUNNER SHALL BE EXTENDED TO AND FASTENED TO THE STRUCTURAL MEMBERS SUPPORTING THE LOAD ABOVE THE STRUT. SHALL BE ADJUSTED TO RESIST THE VERTICAL COMPONENT INDUCED BY THE BRACING WIRES. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12 FEET ON CENTER IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 8 FEET FROM EACH WALL. ATTACHMENT OF THE RESTRAINT WIRES TO THE STRUCTURE ABOVE SHALL BE ADEQUATE FOR THE LOAD IMPOSED. LATERAL FORCE BRACING MEMBERS SHALL BE SPACED A MINIMUM OF 8 INCHES FROM ALL HORIZONTAL PIPING AND DUCT WORK THAT IS NOT PROVIDED WITH BRACING RESTRAINTS FOR HORIZONTAL FORCES. BRACING WIRES SHALL BE ATTACHED TO THE GRID AND TO THE STRUCTURE IN SUCH A MANNER THAT THEY CAN SUPPORT A DESIGN LOAD OF NOT LESS THAN 200 POUNDS OR THE ACTUAL DESIGN LOAD WHICHEVER IS GREATER, WITH A SAFETY FACTOR OF 2.



EXIST. SUSPENDED TILE CEILING
 SCALE: 1/16"=1'-0" CL01 20



LIGHT FIXTURE INSTALLATION
 SCALE: 3"=1'-0" DT_CL_09 19

USG - SA823 "DRY" WALL/STEEL FRAMED SYSTEM

TYPICAL LIMITING HEIGHTS - INTERIOR STUD FRAMING

Stud design	Stud width	Stud spacing	Allow. def.	Partition, one layer			Partition, two layers			Furring, one layer			
				U	L	S	U	L	S	U	L	S	
25 gauge (0.179 min.)													
1585T25	1 5/8"	16"	L/120 L/240 L/360	109"	109"	103"	98"	106"	83"	83"	83"	83"	
				89"	89"	89"	83"	89"	73"	73"	73"	73"	
				73"	73"	63"	63"	63"	63"	63"	63"	63"	
	2125T25	2 1/2"	16"	L/120 L/240 L/360	139"	139"	139"	126"	136"	110"	110"	110"	110"
					109"	109"	109"	109"	109"	99"	99"	99"	99"
					99"	99"	86"	86"	86"	86"	86"	86"	86"
3585T25		3 5/8"	16"	L/120 L/240 L/360	169"	169"	169"	160"	169"	149"	149"	149"	149"
					149"	149"	137"	137"	137"	129"	129"	129"	129"
					137"	137"	137"	137"	137"	129"	129"	129"	129"
	2125T20	2 1/2"	16"	L/120 L/240 L/360	179"	179"	169"	179"	179"	130"	130"	130"	130"
					159"	159"	159"	159"	159"	119"	119"	119"	119"
					119"	119"	107"	107"	107"	107"	107"	107"	107"
3585T20		3 5/8"	16"	L/120 L/240 L/360	230"	230"	219"	230"	230"	190"	190"	190"	190"
					190"	190"	180"	180"	180"	150"	150"	150"	150"
					180"	180"	168"	168"	168"	150"	150"	150"	150"

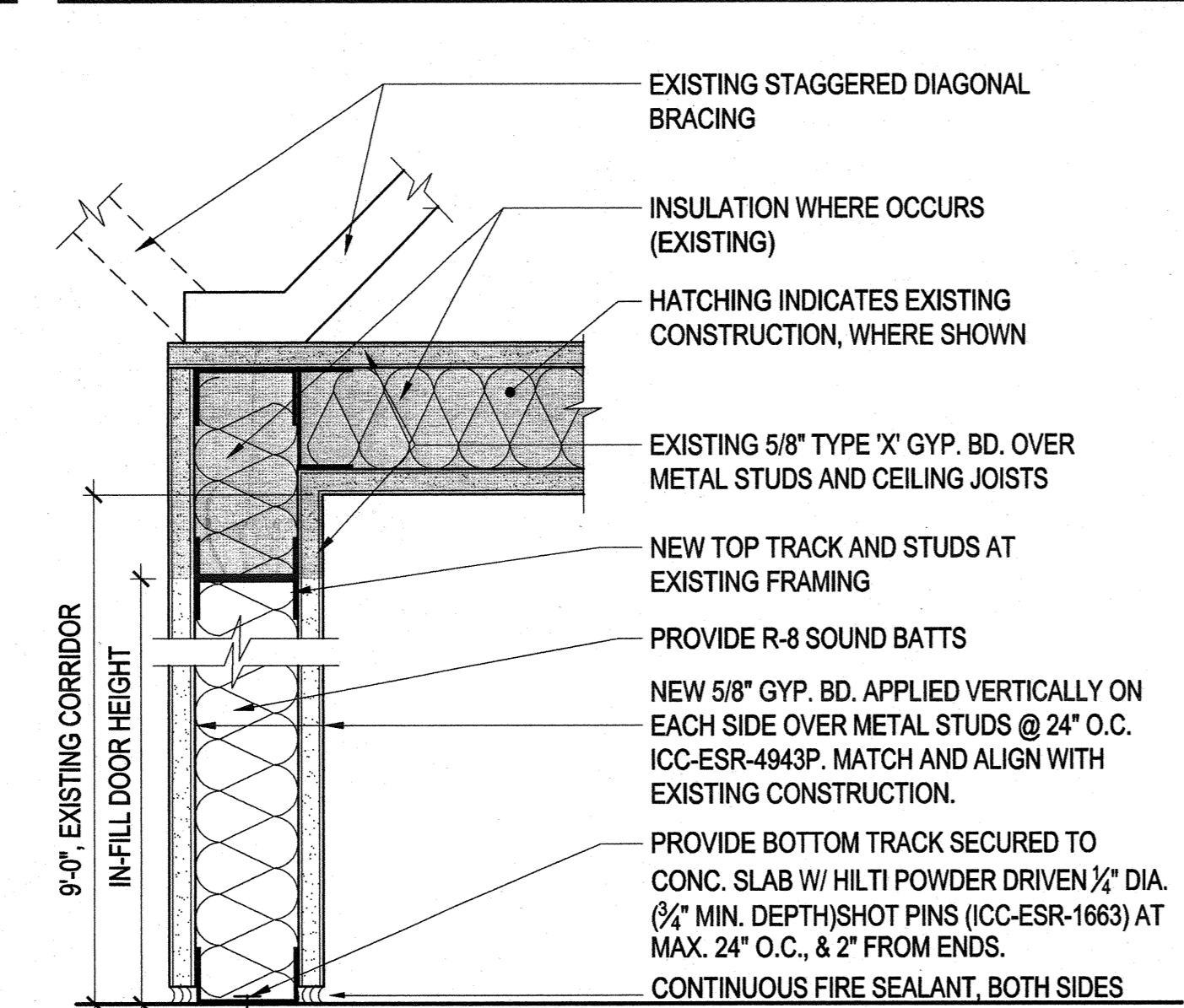
USG FOOTNOTE: LIMITING HEIGHT FOR 1/2" OR 5/8" THICK GYP. PANELS AND 5 PSF UNIFORM LOAD PERPENDICULAR TO PARTITION OR FURRING. USE ONE LAYER HEIGHTS FOR UNLINED ASSEMBLIES. USE TWO LAYER HEIGHTS FOR MULTI-LAYER ASSEMBLIES. FOR FURRING, STUD ATTACHED TO TOP AND BOTTOM RUNNERS AND FREE-STANDING UP TO 12 FT. HEIGHT. *STUDS EXCEEDING 12 FT. HEIGHT REQUIRE MID-HEIGHT ANCHOR TO EXTERIOR WALL. ASSEMBLIES WITHOUT FACE PANELS AND CHASE WALL PARTITIONS REQUIRE VERTICAL CROSS BRACES 4 FT. O.C. MAX. LIMITING CRITERIA: DEFLECTION, BENDING STRESS, END REACTION SHEAR. CONSULT LOCAL CODE AUTHORITY FOR LIMITING CRITERIA.

IMPORTANT: THE "TYPICAL" PHYSICAL AND STRUCTURAL PROPERTIES AND APPLICABLE TABLES PUBLISHED IN THIS FOLDER REPRESENT CHARACTERISTICS AND/OR STEEL STUDS CURRENTLY AVAILABLE FROM A GROUP OF STEEL STUD MANUFACTURERS. CONSULT STUD MANUFACTURERS' PHYSICAL AND STRUCTURAL PROPERTIES, STUD THICKNESSES AND LIMITING HEIGHT TABLES TO DETERMINE FINAL STUD SELECTION.

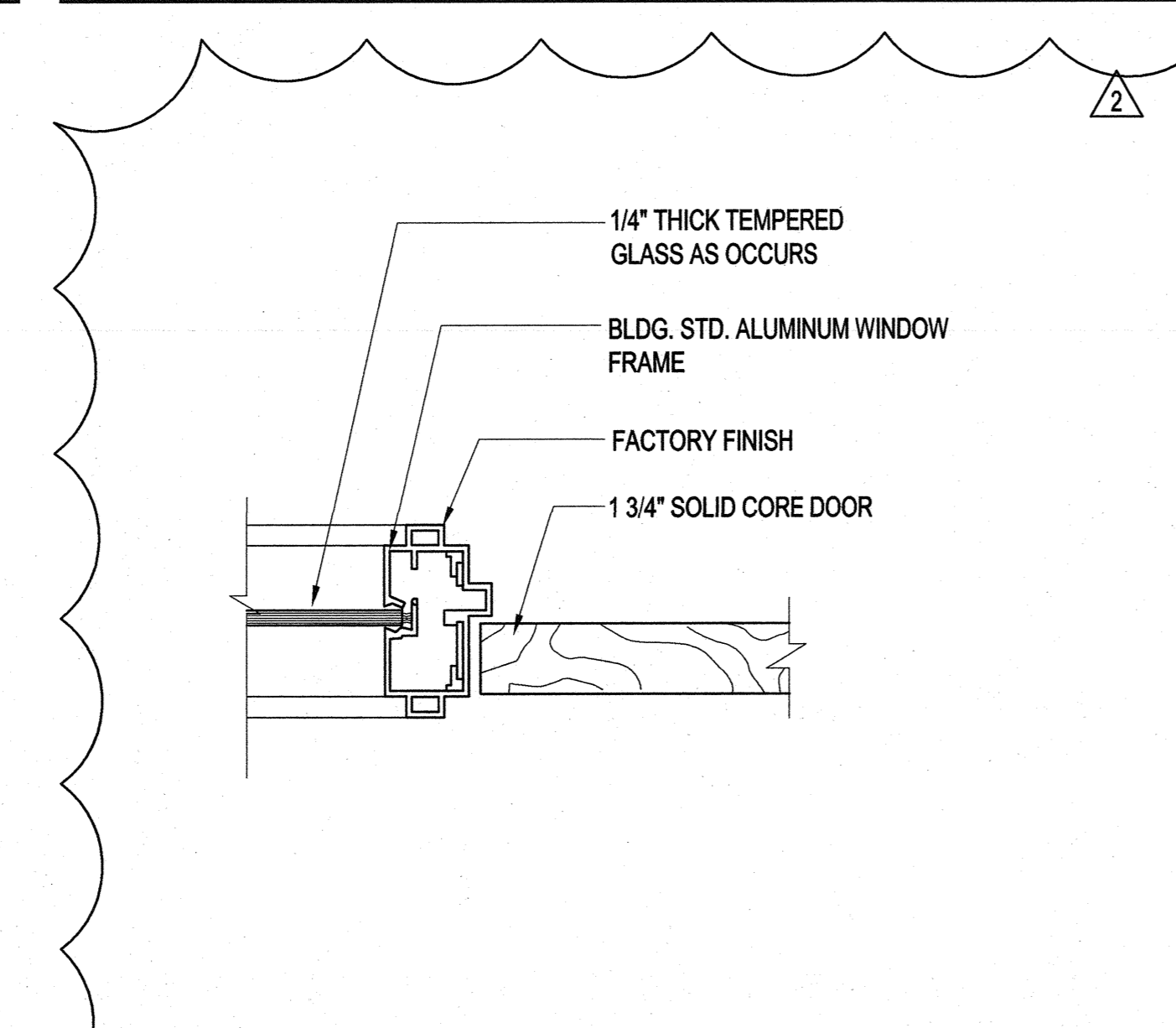
NOTE: GENERAL CONTRACTOR TO PROVIDE ALTERNATE OR EQUAL PRODUCT MATERIAL SPECIFICATION IF USG SA823 "DRY" WALL/STEEL FRAMED SYSTEM IS NOT UTILIZED FOR THIS PROJECT.

WALL FRAMING CHART
 SCALE: NONE DT_WA-STUDCHART 17

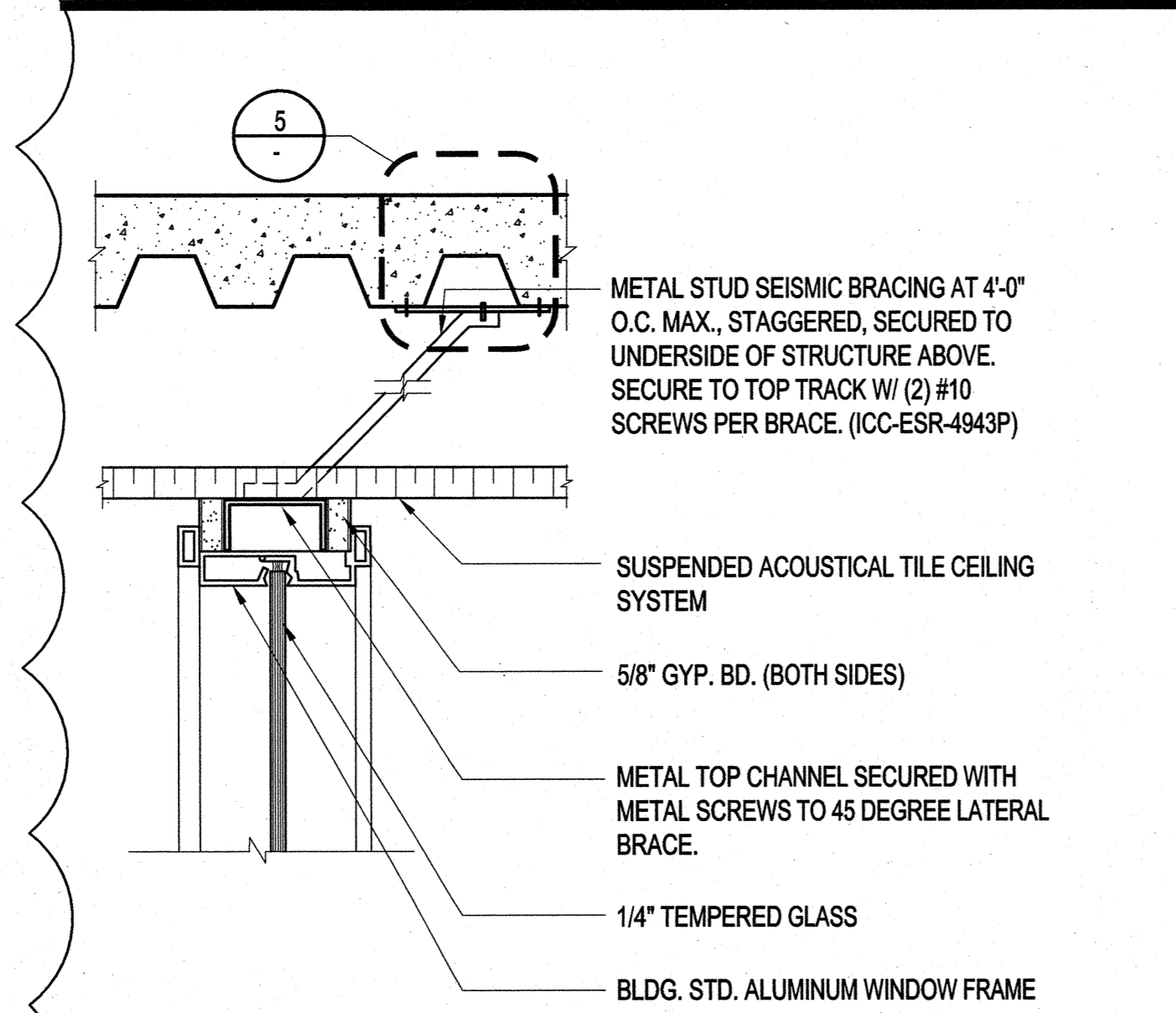
HANGER WIRE ATTACHMENT
 SCALE: 3"=1'-0" DK02 16



IN-FILL AT RATED CORRIDOR
 SCALE: 3"=1'-0" WA06_J2 4 15

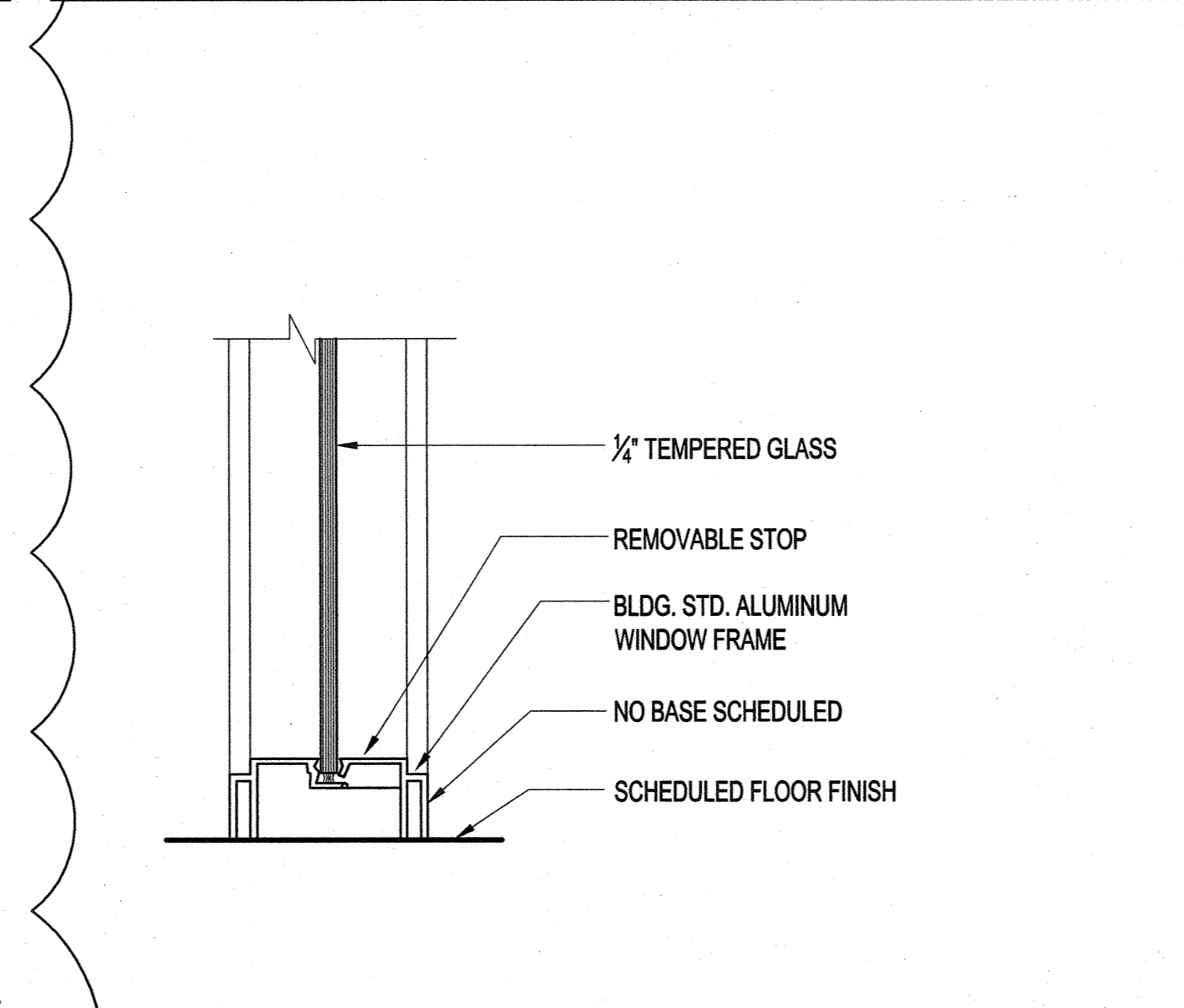


DOOR JAMB AT SIDELIGHT
 SCALE: 3"=1'-0" DR03 14

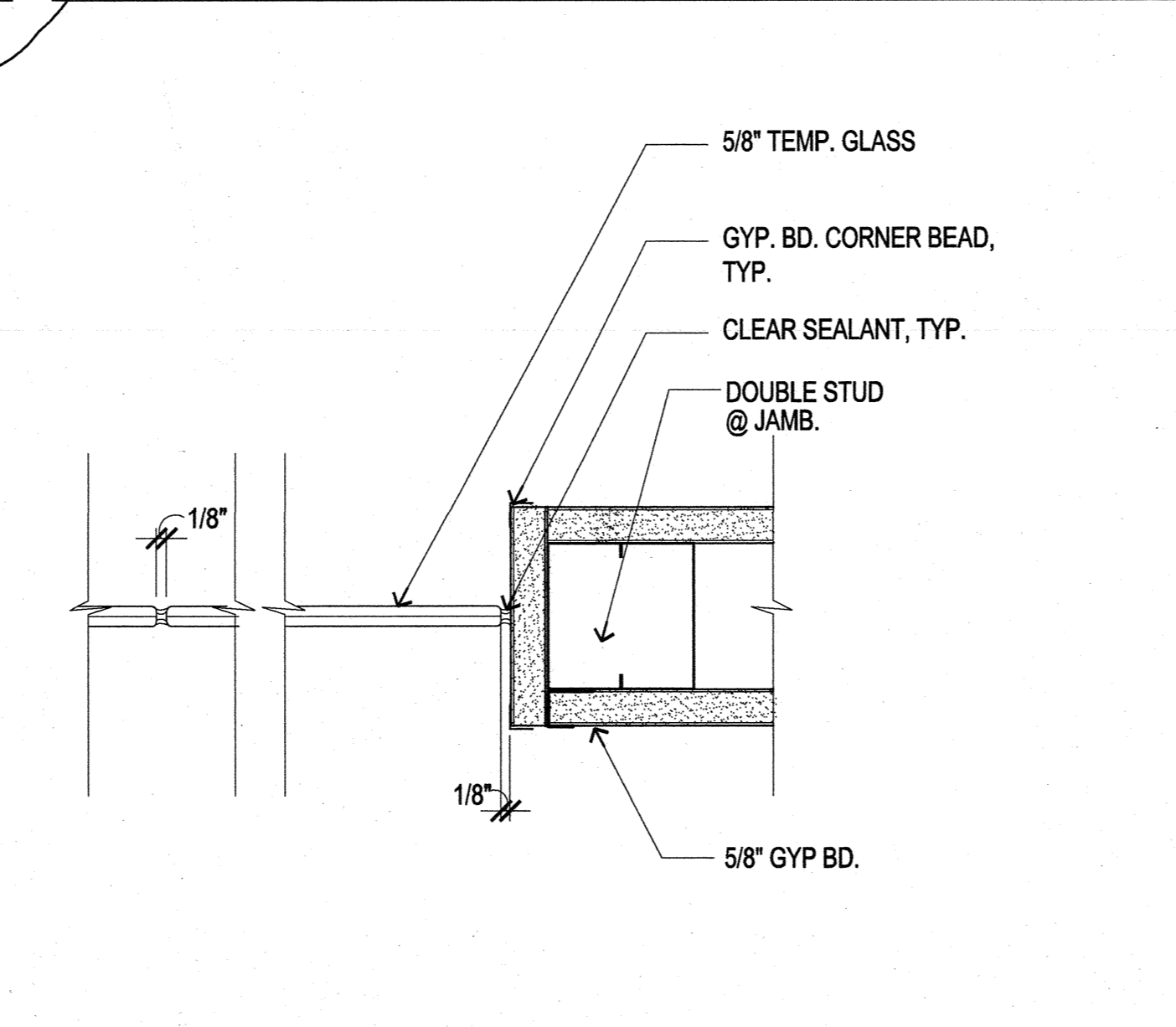


WINDOW HEAD
 SCALE: 3"=1'-0" WN03 13

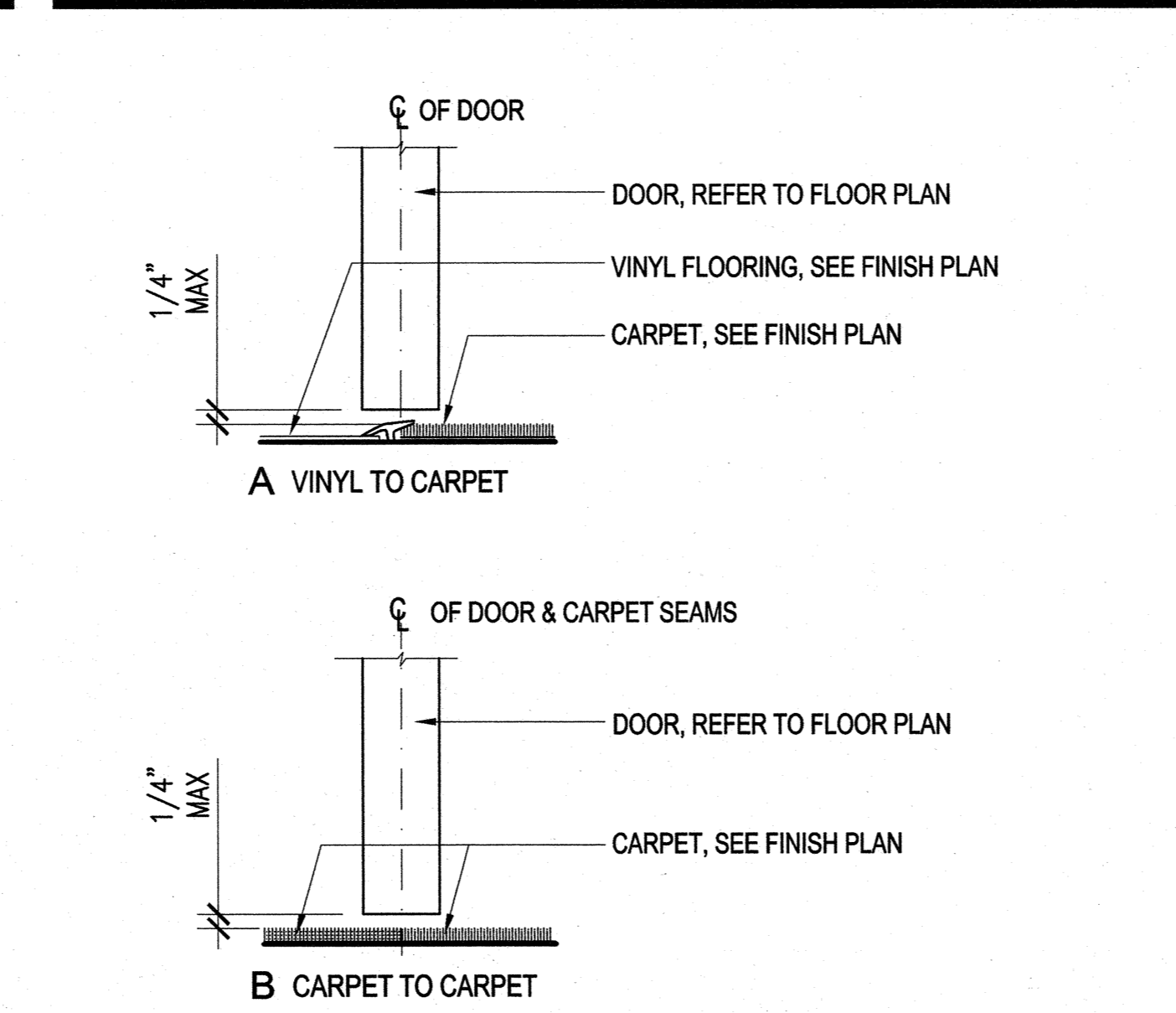
WINDOW JAMB
 SCALE: 3"=1'-0" WN02 12



WINDOW SILL
 SCALE: 3"=1'-0" WN01 11

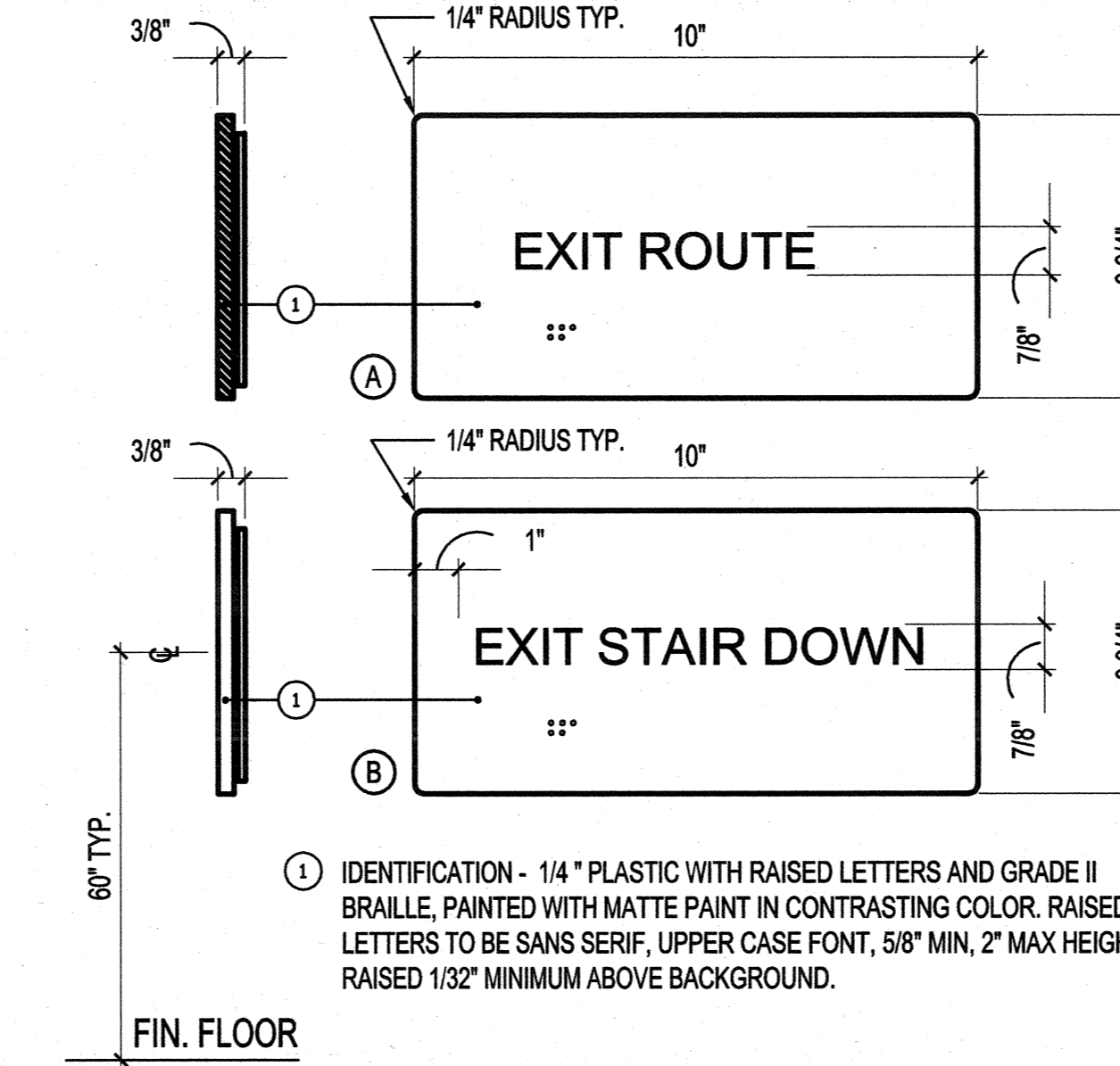


BUTT JOINT GLASS JAMB
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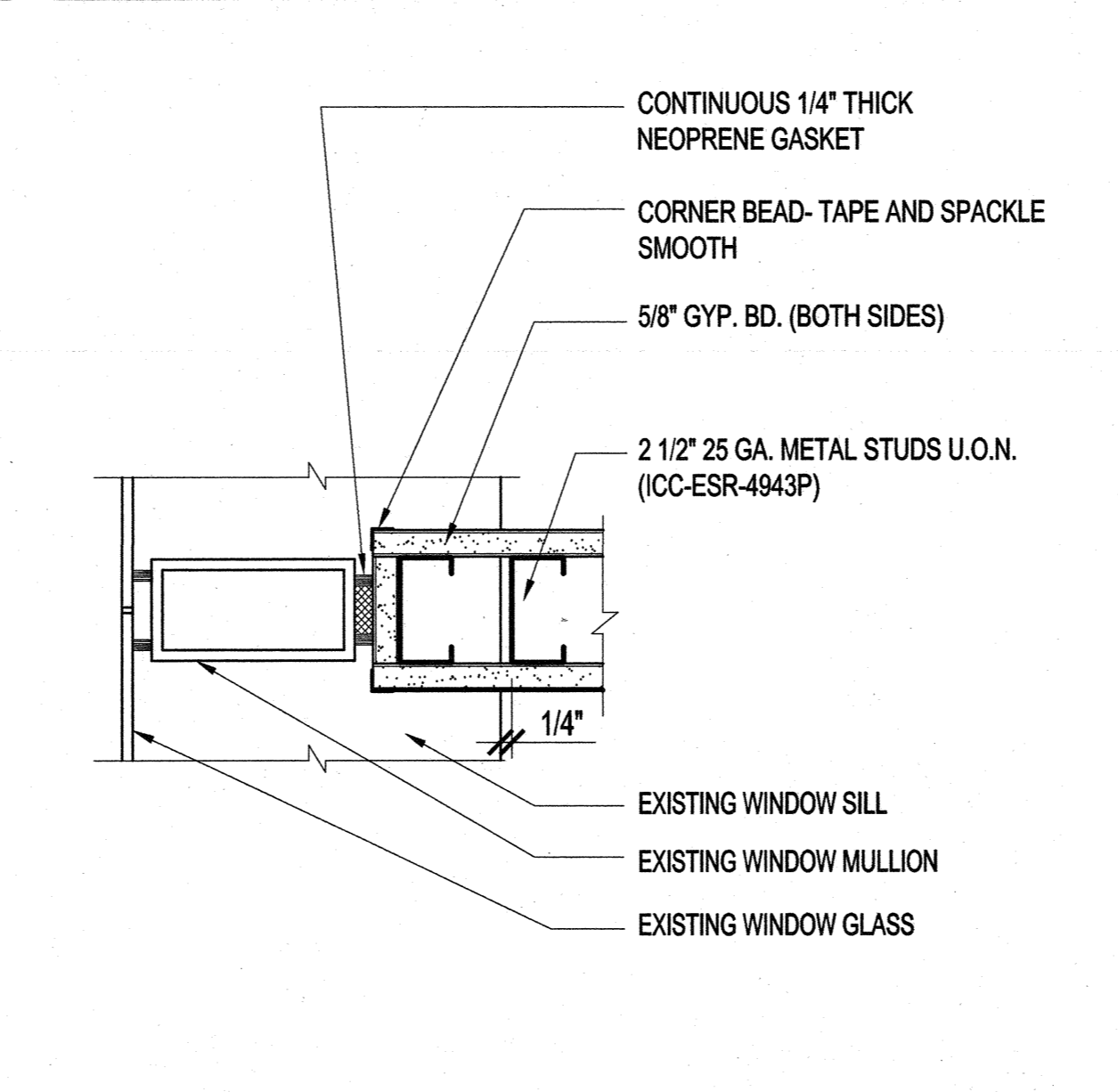


FLOOR TRANSITION
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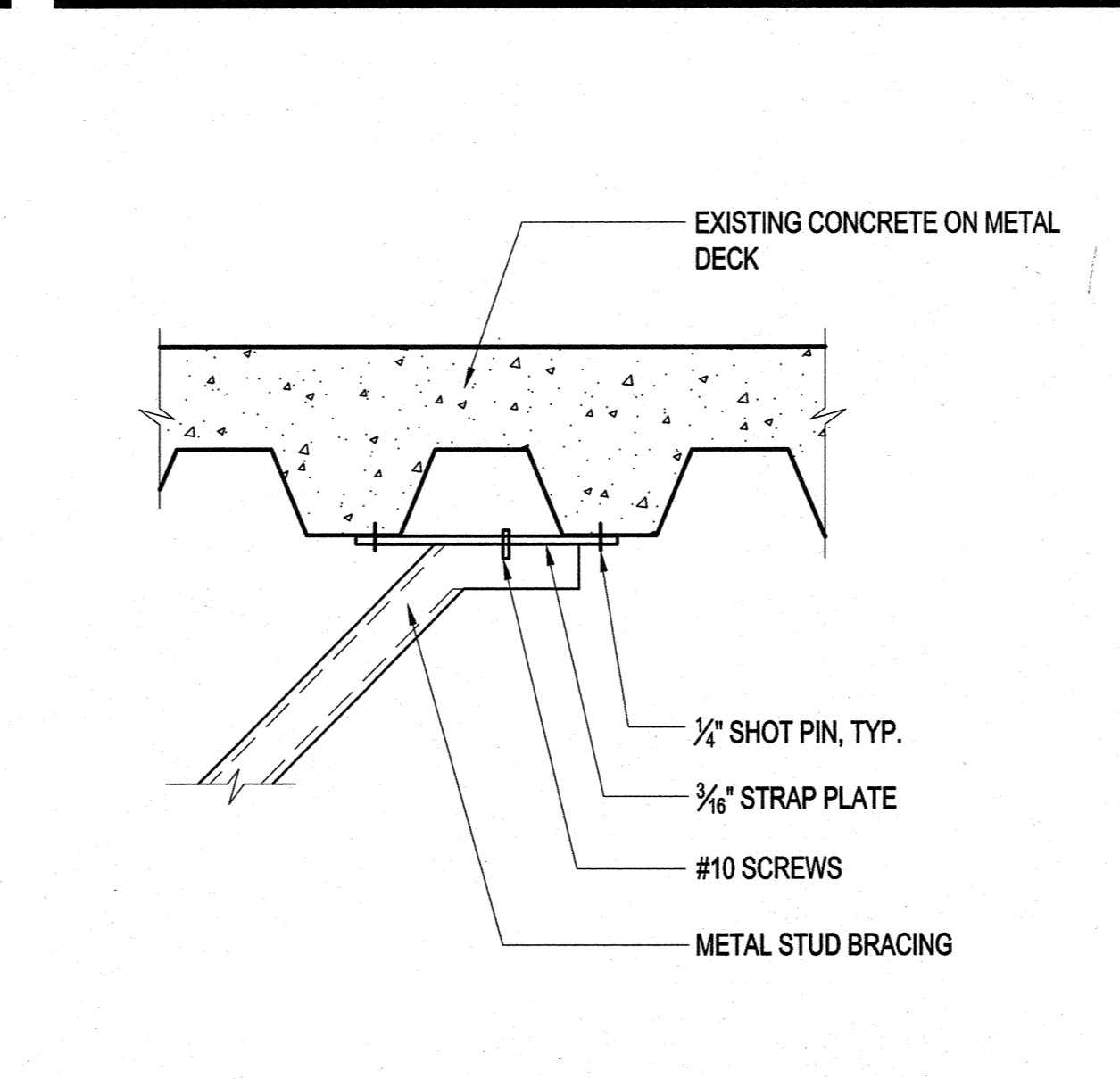
STAIR LEVEL IDENTIFICATION SIGN
 SCALE: 3"=1'-0" ADA12 8



EXIT SIGN
 SCALE: 3"=1'-0" EXIT SIGN 7

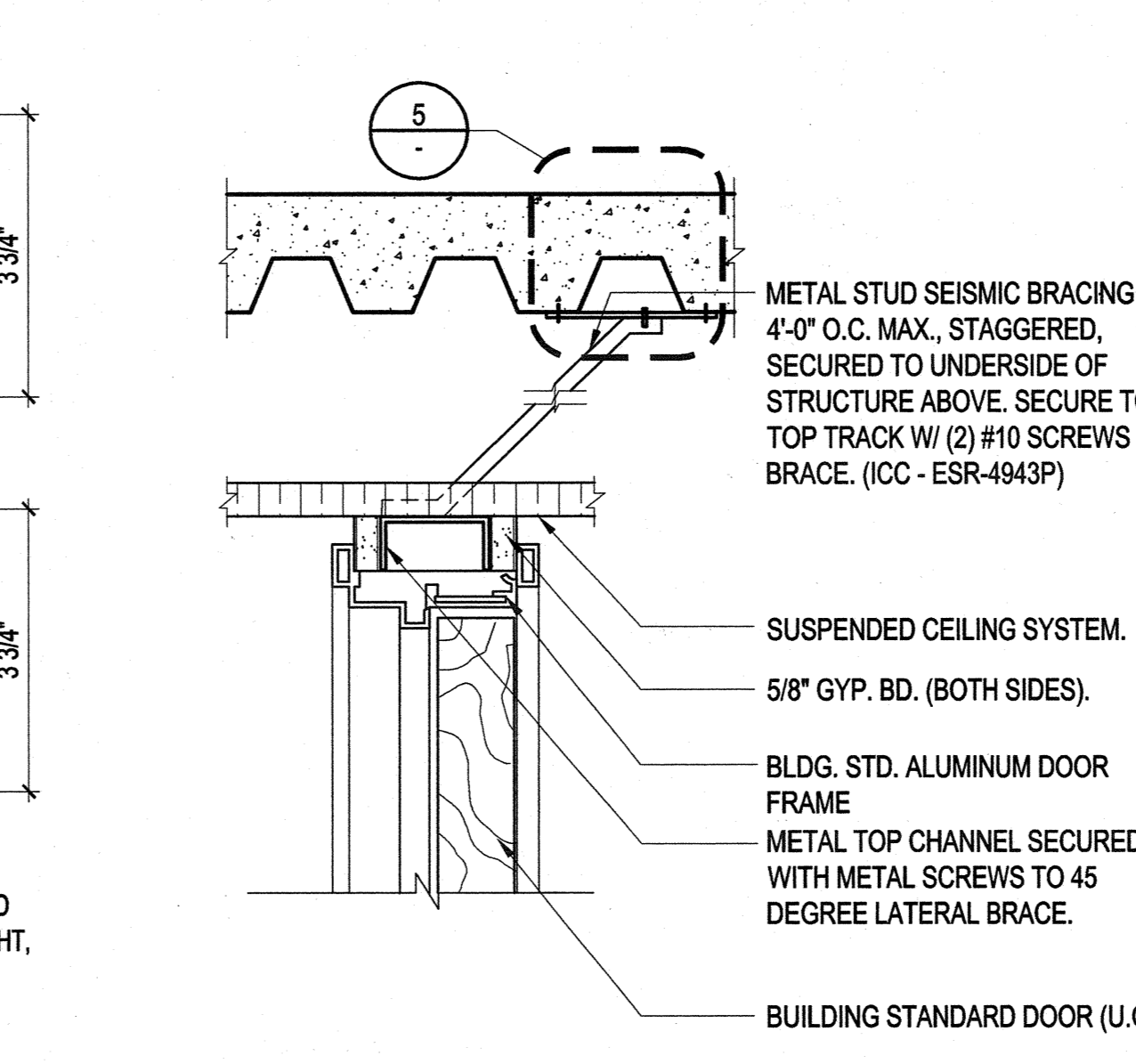


PARTITION TO MULLION
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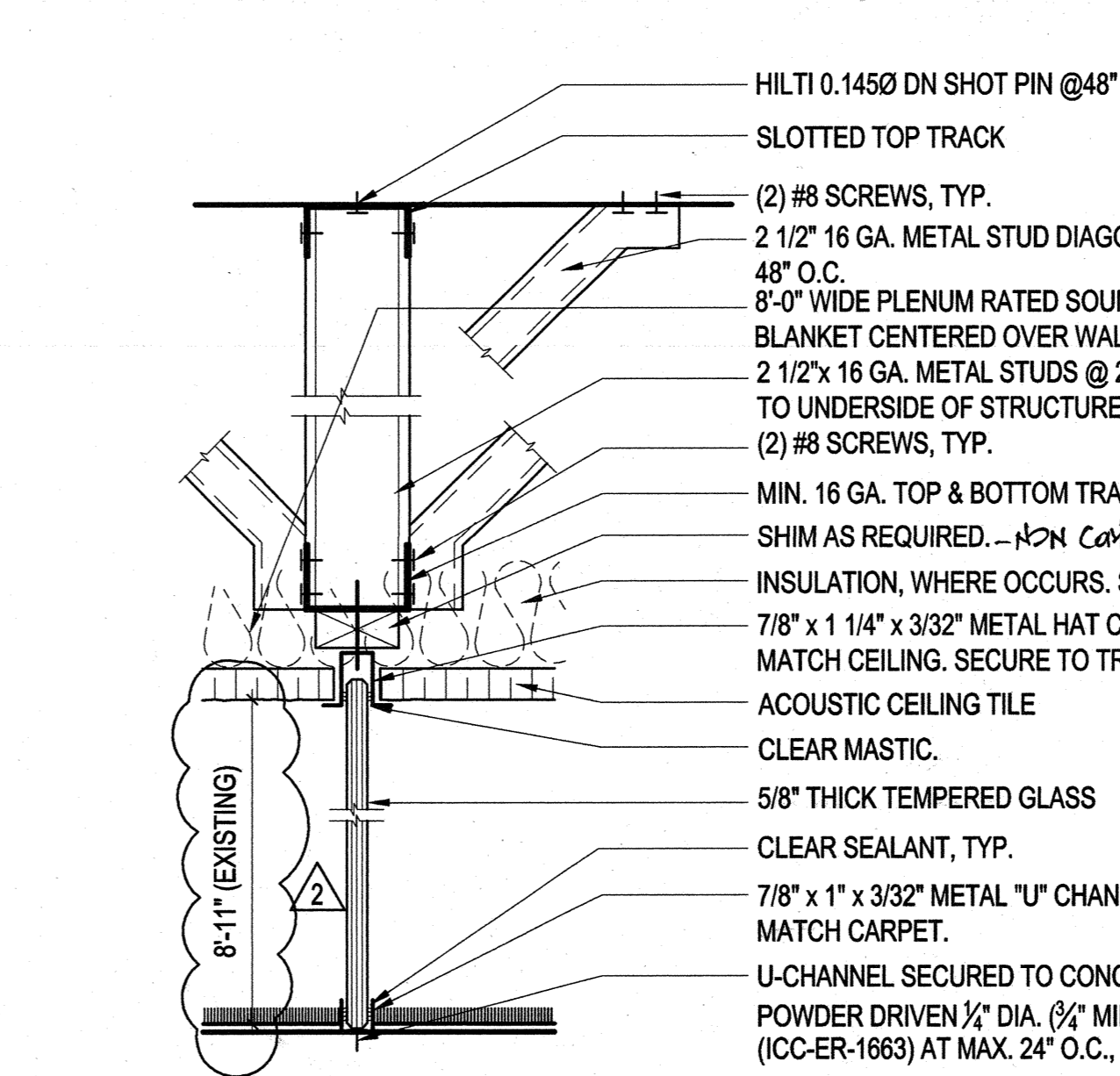


BRACING ATTACHMENT
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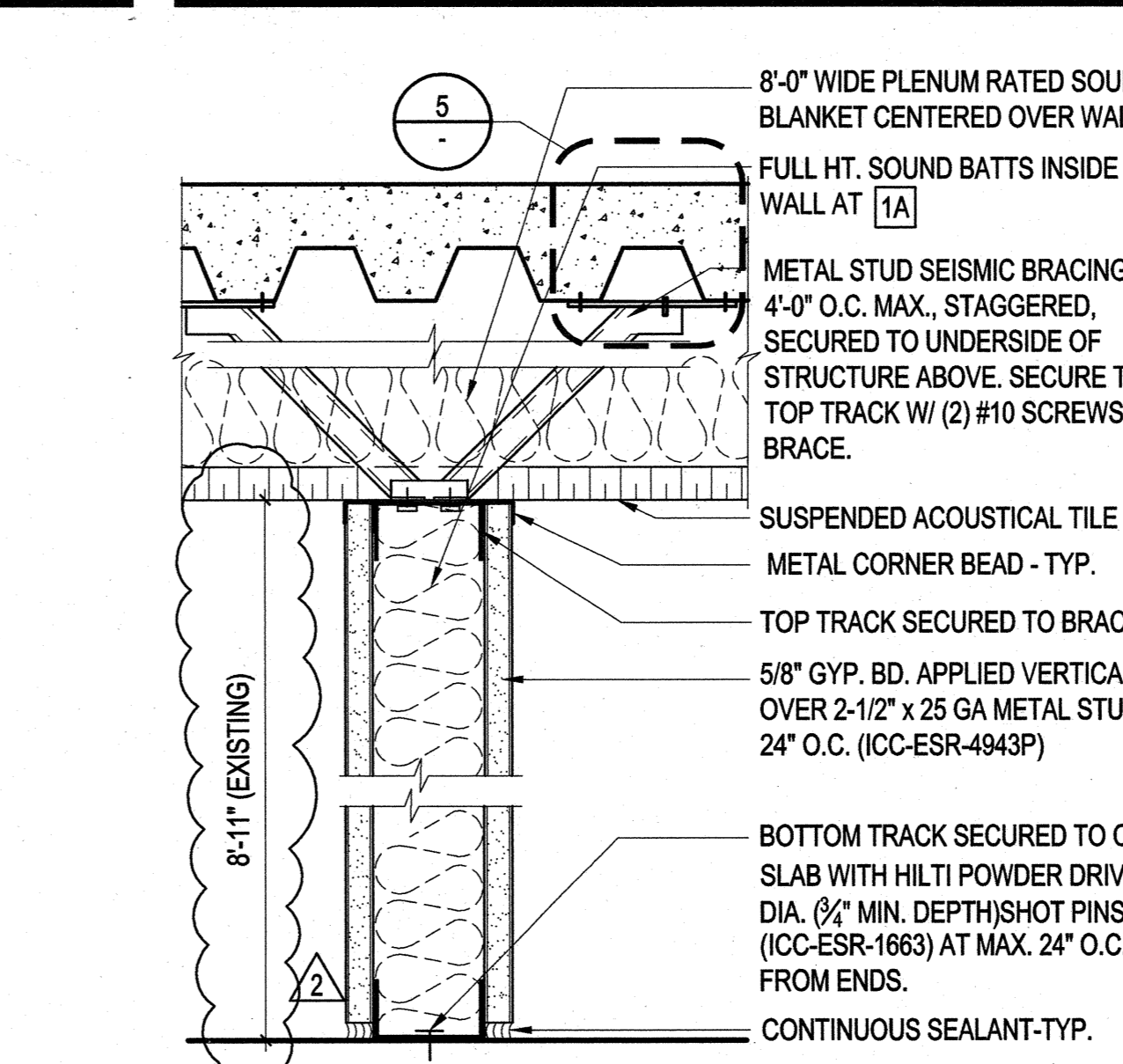
DOOR JAMB
 SCALE: 3"=1'-0" DR02 4



DOOR HEAD
 SCALE: 3"=1'-0" DR01 3



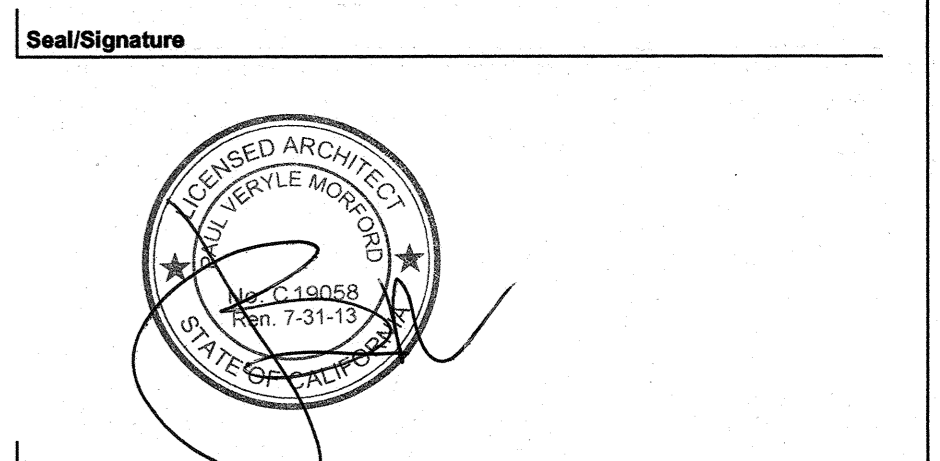
FRAMELESS GLASS WALL
 SCALE: 3"=1'-0" WA03 2 2



CEILING HEIGHT WALL
 SCALE: 3"=1'-0" WA01 1 1A 1



Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SBPM
ISSUE FOR PERMIT / CITY SUBMITTAL / BID			
02	02/27/12	CD	SB
PLAN CHECK CORRECTIONS			



Project Name: MICHAEL F MORAN 4,185 R.S.F.
 Project Number: 07.6222.018
 CAD File Name: C:\WORK\REG\FN\TOWERSHUTTONCENTER\10\MICHAEL\MORAN\CA\01\SHEETS\A12.00
 Description: ARCHITECTURAL DETAILS

Scale: AS NOTED

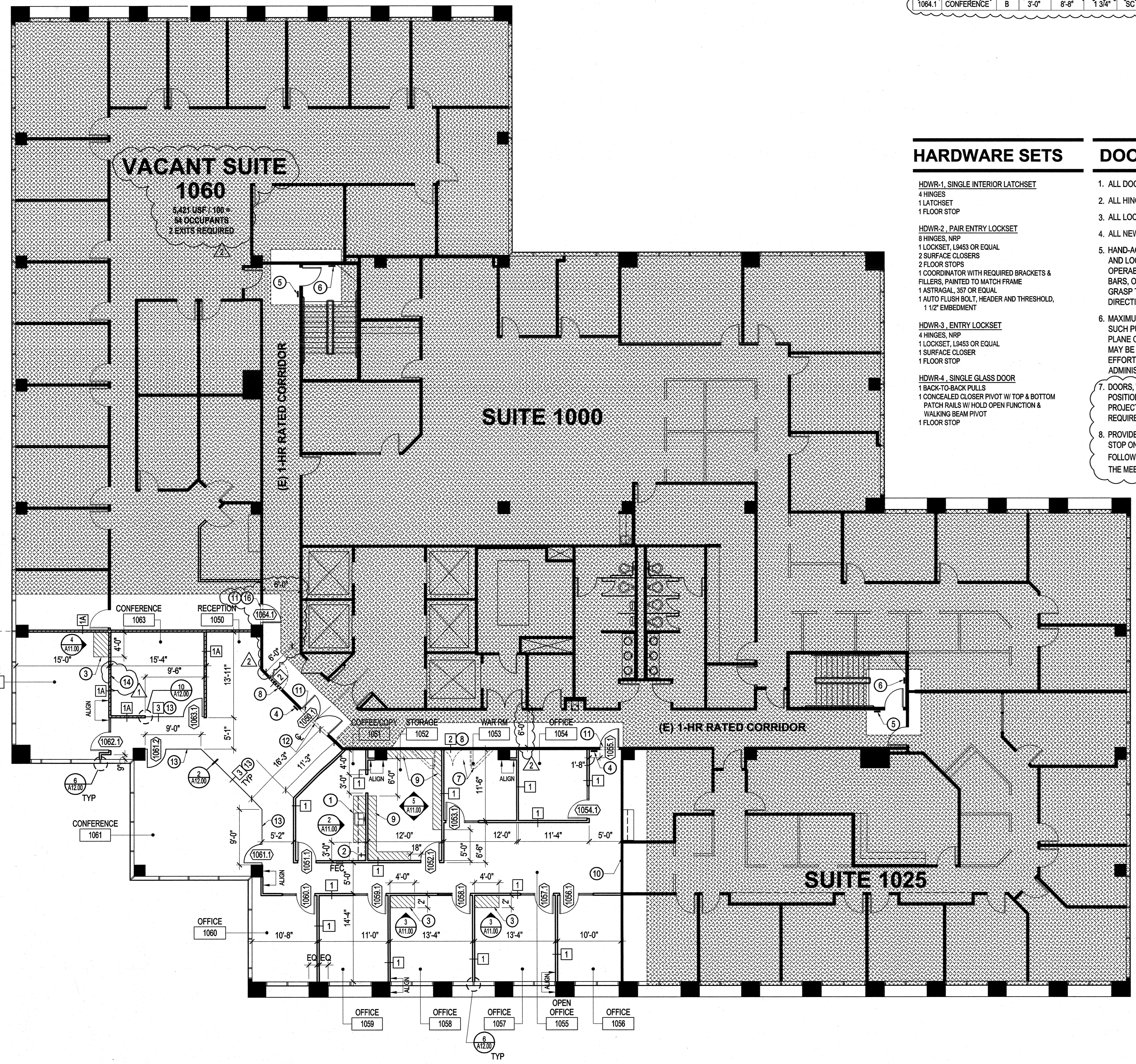
A12.00

DOOR, FRAME AND HARDWARE GROUP SCHEDULE

ASSEMBLY NO.	LOCATION	TYPE	DOOR			FRAME					FIRE RATING (MIN)	HWDWR GROUP	REMARKS		
			WIDTH	HEIGHT	TH.	MAT.	FIN.	MAT.	FIN.	DETAILS SEE A112.00 U.O.N.				HEAD	JAMB
1050.1	RECEPTION	C	PR.3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9A	20	2	BLDG. STD. CORRIDOR SUITE ENTRANCE DOOR ASSEMBLY. SEE KEY NOTE 12.
1051.1	COFFEE/COPY	B	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9A	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY.
1052.1	STORAGE	B	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY.
1053.1	WAR ROOM	A	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1054.1	OFFICE	A	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1055.1	OPEN OFFICE	B	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9A	20	3	BLDG. STD. CORRIDOR SUITE ENTRANCE DOOR ASSEMBLY.
1056.1	OFFICE	A	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1057.1	OFFICE	A	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1058.1	OFFICE	A	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1059.1	OFFICE	A	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1060.1	OFFICE	A	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1061.1	CONFERENCE	D	3'-0"	8'-8"	5/8"	GL	CLR	-	-	-	-	-	-	4	FRAMLESS GLASS DOOR AND HARDWARE ASSEMBLY.
1061.2	CONFERENCE	D	3'-0"	8'-8"	5/8"	GL	CLR	-	-	-	-	-	-	4	FRAMLESS GLASS DOOR AND HARDWARE ASSEMBLY.
1062.1	OFFICE	A	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9B	-	1	DOOR, FRAME AND HARDWARE ASSEMBLY W/ SIDELIGHT.
1063.1	CONFERENCE	D	3'-0"	8'-8"	5/8"	GL	CLR	-	-	-	-	-	-	4	FRAMLESS GLASS DOOR AND HARDWARE ASSEMBLY.
1064.1	CONFERENCE	B	3'-0"	8'-8"	1 3/4"	SC	ST	AL	FF	3	4	9A	20	3	BLDG. STD. CORRIDOR SUITE ENTRANCE DOOR ASSEMBLY.

GRAPHIC SYMBOLS

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE DEMOLISHED
- NEW INTERIOR PARTITION
- REFERENCE TO PARTITION TYPE, REF: 1/A12.00
- NEW INSULATED INTERIOR DEMISING PARTITION REF: 1/A12.00
- NEW FULL HEIGHT 5/8" THICK FRAMLESS GLASS, AND DOOR NON-STANDARD, REF: 2/A12.00
- 1 HR. RATED CONSTRUCTION, REF: 15/A12.00
- 2 HR. RATED PARTITION
- 3 HR. RATED PARTITION
- FRAMED GLASS
- NEW BLDG STD 1-HR TUNNEL CORRIDOR PARTITION
- EXISTING LOW WALL
- NEW LOW WALL
- EXISTING PARTITION FURRED WITH 5/8" GYP BD OVER METAL STUD FRAMING
- DOOR NUMBER
- NEW MILLWORK
- MILLWORK SCHEDULE TAG (IF USED)
- FIRE EXTINGUISHER WITHOUT CABINET
- FIRE EXTINGUISHER CABINET - REF: 8/A11.00
- COLD WATER STUB OUT WITH CONTROL VALVE



HARDWARE SETS

- HWDR-1. SINGLE INTERIOR LATCHSET**
4 HINGES
1 LATCHSET
1 FLOOR STOP
- HWDR-2. PAIR ENTRY LOCKSET**
8 HINGES, NRP
1 LOCKSET, L9453 OR EQUAL
2 SURFACE CLOSERS
2 FLOOR STOPS
1 COORDINATOR WITH REQUIRED BRACKETS & FILLERS, PAINTED TO MATCH FRAME
1 ASTRAGAL, 357 OR EQUAL
1 AUTO FLUSH BOLT, HEADER AND THRESHOLD, 1 1/2" EMBEDMENT
- HWDR-3. ENTRY LOCKSET**
4 HINGES, NRP
1 LOCKSET, L9453 OR EQUAL
1 SURFACE CLOSER
1 FLOOR STOP
- HWDR-4. SINGLE GLASS DOOR**
1 BACK-TO-BACK PULLS
1 CONCEALED CLOSER PIVOT W/ TOP & BOTTOM PATCH RAILS W/ HOLD OPEN FUNCTION & WALKING BEAM PIVOT
1 FLOOR STOP

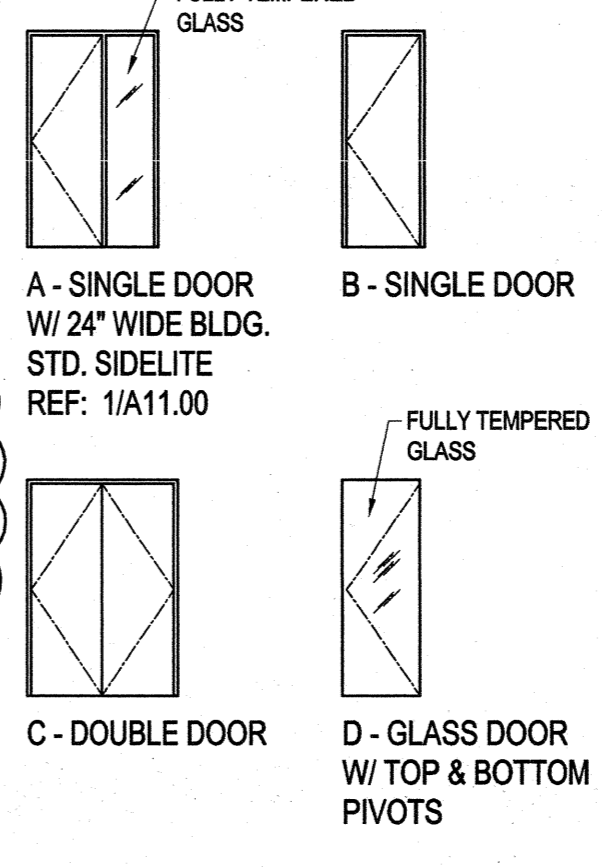
DOOR ASSEMBLY NOTES

- ALL DOORS, FRAME AND HARDWARE SHALL BE BUILDING STANDARD, U.O.N. (MATCH EXISTING)
- ALL HINGES AT RATED ASSEMBLIES SHALL BE BALL BEARING.
- ALL LOCK CYLINDERS AND KEYS SHALL BE COORDINATED WITH LANDLORD.
- ALL NEW DOOR HARDWARE SHALL BE ADA COMPLIANT LEVER TYPE.
- HAND-ACTIVATED DOOR OPENING HARDWARE SHALL BE INSTALLED BETWEEN 34" AND 48" AFF. LATCHING AND LOCKING DOORS THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE. LOCKED EXIT DOORS SHALL OPERATE AS ABOVE IN EGRESS DIRECTION. CBC SECTION 1133B.2.5.1.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS FOR EXTERIOR AND INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS. CBC SECTION 1133B.2.5.
- DOORS, WHEN FULLY OPEN, SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN 7". DOORS IN ANY POSITION SHALL NOT REDUCE THE REQUIRED WIDTH BY MORE THAN ONE-HALF. OTHER NON STRUCTURAL PROJECTIONS SUCH AS TRIM AND SIMILAR DECORATIVE FEATURES ARE PERMITTED TO PROJECT INTO THE REQUIRED WIDTH. CBC SECTION 1024.5.1
- PROVIDE TIGHT FIT CLEARANCES AND GASKET INSTALLED AS TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES AND ACROSS THE TOP. CLEARANCES FOR A PAIR OF SWINGING DOORS SHALL BE AS FOLLOWS: WITH A MINUS 1/8" TOLERANCE, 1/4" ALONG THE HINGE AND LATCH JAMBS, 1/4" ALONG THE MEETING EDGE OF THE DOORS, AND 1/4" AT THE BOTTOM OF THE DOORS.

ABBREVIATIONS

- AL ALUMINUM
- FF FACTORY FINISH
- PL PLASTIC LAMINATE
- SC SOLID CORE
- ST STAINED
- GL GLASS

DOOR TYPES



KEY NOTES

- PROVIDE NEW BUILDING STANDARD UPPER AND LOWER PLASTIC LAMINATE MILLWORK WITH SINK, FAUCET, INSTA HOT AND GARBAGE DISPOSER. NEW MILLWORK TO COMPLY WITH ALL ADA REQUIREMENTS.
- PROVIDE NEW COLD WATER STUB OUT WITH CONTROL VALVE AND COPPER WATER LINE CONNECTION FOR REFRIGERATOR'S ICEMAKER.
- PROVIDE NEW BUILDING STANDARD PLASTIC LAMINATE LOWER CABINET.
- GC TO VERIFY AND PROVIDE TACTILE SIGN WITH THE WORD, "EXIT ROUTE", IF NOT EXISTING ALREADY. REF: 7/A12.00
- GC TO VERIFY AND PROVIDE TACTILE SIGN WITH THE WORD, "EXIT STAIR DOWN", IF NOT EXISTING ALREADY. REF: 7/A12.00
- GC TO VERIFY AND PROVIDE STAIR LEVEL IDENTIFICATION SIGNAGE, IF NOT EXISTING ALREADY. REF: 8/A12.00
- REMOVE EXISTING ENTRY DOOR ASSEMBLY AND FRAME. STOCKPILE PER BUILDING MANAGEMENT'S DIRECTION. PATCH/REPAIR AFFECTED SURFACES. PREP TO RECEIVE NEW FINISHES.
- IN-FILL OPENING WITH 1/2" TYPE "X" GYP. BD. ON EACH SIDE OVER METAL STUD FRAMING. MATCH AND ALIGN WITH EXISTING TO MAINTAIN FIRE RATED CONSTRUCTION. PREP TO RECEIVE NEW FINISHES.
- PROVIDE NEW FLOOR TO CEILING WHITE PLASTIC LAMINATE OPEN FACE MILLWORK WITH WHITE MELAMINE ADJUSTABLE SHELVES. SEE ELEVATIONS ON SHEET A11.00
- EXISTING DEMISING WALL TO REMAIN, PROVIDE INSULATION PER PARTITION TYPE 1A. SEE DETAIL 1/A12.00
- REMOVE PORTION OF EXISTING FIRE RATED CORRIDOR PARTITION FOR NEW RATED DOOR ASSEMBLY. SEE SCHEDULE. PART/REPAIR AFFECTED SURFACES. PREP TO RECEIVE NEW CONSTRUCTION AND FINISHES. DOOR CASE SHALL BE 2" MINIMUM AFF. TO FACE.
- CENTER OF NEW TENANT ENTRY DOORS TO ALIGN WITH EXISTING ELEVATOR LOBBY DOORS AS SHOWN ON PLAN. VERIFY IN FIELD.
- PROVIDE AND INSTALL NEW FULL HEIGHT 5/8" THICK GLASS WALL WITH (2) EQUAL PANELS AND GLASS DOOR WITH TOP AND BOTTOM PIVOTS. SEE DOOR SCHEDULE. (PROVIDE 4 EQUAL PANELS AT 45° CONFERENCE 1061 GLASS WALL)
- PROVIDE BACKING SUPPORT AS REQUIRED FOR FLAT SCREEN MONITOR. GC TO COORDINATE LOCATION WITH TENANT'S FURNITURE VENDOR.
- PROVIDE FIRE BLOCKS AND DRAFT STOPS IN COMBUSTIBLE CONSTRUCTION IN ACCORDANCE WITH CBC SECTION 717. FIRE SMOKE DAMPER LOCATIONS, INSTALLATION REQUIREMENTS, AND REQUIRED ACCESS DOORS PER CBC SECTION 716 AND MECHANICAL CODE SECTION 606.
- PROVIDE ADDITIONAL DOOR FOR EGRESS. SEE DOOR SCHEDULE FOR ADDITIONAL INFORMATION.

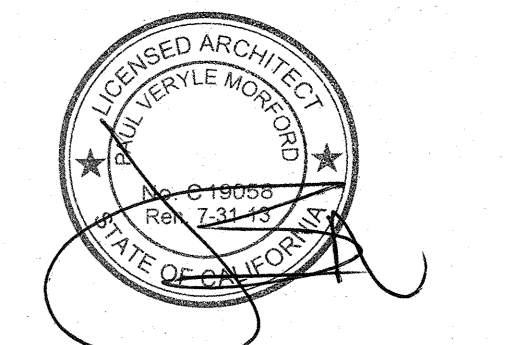
SHEET NOTES

- ALL PARTITIONS TO BE TYPE 1 U.O.N.
- PARTITIONS AT BUILDING PERIMETER SHALL BE CENTERED ON CENTERLINE OF WINDOW MULLION U.O.N.
- INSTALL METAL CORNER BEADS AT ALL EXPOSED WALLBOARD EDGES, INSTALL CASING BEADS WHEREVER WALLBOARD, PLASTER, ETC. ABUTS A DISSIMILAR FINISH MATERIAL AND PROVIDE SEALANT AS REQUIRED.
- PROVIDE A MINIMUM OF 20 GA. BACKING STUDS AND/OR 18 GA. BY 5" WIDE BACKG PLATES IN WALLS & CEILINGS WHEN REQUIRED FOR SUPPORT U.O.N.
- PROVIDE EXTRA STUDS AS REQUIRED TO MOUNT ELECTRICAL OR MECHANICAL CONTROLS. INSURE STUDS REMAIN PLUMB. CRIMP OR SCREW ATTACH TO RUNNERS AS REQUIRED.
- REMOVE ALL PINS, NAILS, COAT HOOKS ETC. FROM WALLS. REPAIR ALL EXISTING DRYWALL DAMAGES AND BLEMMISHES AND FINISH AS NOTED ON FINISH PLAN.
- ALL GLASS SHALL BE TEMPERED. ALL EXPOSED EDGES SHALL BE POLISHED.
- PREPARE SLAB AS REQUIRED FOR SPECIFIED FINISH. SEE FINISH PLAN.
- DOOR JAMB LOCATIONS SHALL BE TYPICAL 4" FROM ADJACENT WALL U.O.N.
- NEW BUILDING STANDARD INTERIOR DOOR AND FRAMES SHALL BE FACTORY FINISHED. EXISTING REUSED DOORS AND FRAMES SHALL BE REFINISHED TO LIKE NEW.
- PATCH AND REPAIR ALL SURFACES DAMAGED AS A RESULT OF ANY WORK PERFORMED ON THIS PROJECT.
- WHERE EXISTING WALLS ARE INDICATED TO BE DEMOLISHED, REMOVE ALL DEVICES, CONDUIT, AND ASSOCIATED WIRING, TERMINATE TO SOURCE. PATCH AND REPAIR SURFACES AS REQUIRED TO RECEIVE NEW FINISH.
- REPAIR OR REWORK BLDG STD WINDOW TREATMENT AT ALL PERIMETER GLASS AS REQUIRED FOR NEW LAYOUT. REPLACE ALL DAMAGED NON-REPAIRABLE AND/OR MISSING WINDOW TREATMENT AT ALL PERIMETER GLASS.

Issue	Date & Issue Description	By	Check
01	01/06/12	CD	SBPM
02	01/24/12	CD	SB
03	02/27/12	CD	SB

2-29-12
17-1

Seal/Signature



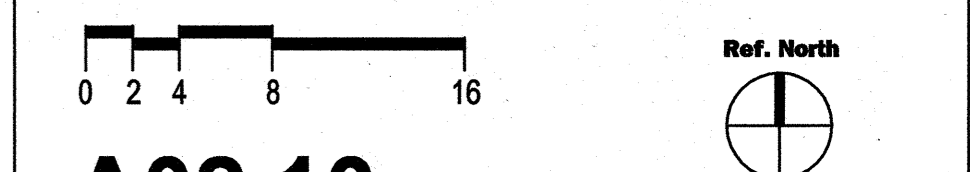
Project Name
MICHAEL F MORAN
4185 R.S.F.

Project Number
07.6222.016

CAD File Name
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Description
10TH FLOOR CONSTRUCTION PLAN & DOOR SCHEDULE

Scale



A02.10