CITY OF SANTA ANA

BUILDING PERMIT WORKSHEET

PLEASE PRINT			1/14/09:for	ms/Bldg.App.Worksheet
PROJECT ADDRESS: 1400 5. VIII MALE WAY	+	SUITE:	SAPIN#	
USE OF BUILDING: RESIDENTIAL COMMERCIA	D INDUST	RIAL OTHER	MASTER ID#	
NATURE OF WORK: NEW ADD ALTER/T.I.	DEMO F	REROOF REPAI	R SIGN MIS	SC
1			NO. OF STORIES:	
· · · · · · · · · · · · · · · · · · ·	MODEL: _	SF	BLDG. HEIGHT: PROPOSED USE:	
T.F wire puntition wells				
BUILDING OWNER'S NAME: MAKKENA Propenties	/Briste	(GVWY	PHONE NO: 949-34	18-3333
ADDRESS: 400 montgomey	CITY:	J Fran	STATE:	ZIP: 94104
TENANT'S NAME (Comm/Ind): habit htt For I'll	marint		PHONE NO:	
CONTRACTOR'S NAME: PINULLY CO	STATE C	ONTR.#: 466473	LICENSE CLASS:	PHONE NO: 114 63 2 9441
ADDRESS: 1230 N Jefferson ST C	CITY:	Alltin	STATE:	ZIP: 92807
WORKERS COMP. POLICY#: EXP. DATE:	INSURAN	CE COMPANY:	SANTA ANA BUS. L	IC. #:
ARCHITECT/ENGINEER:	STATE LI	CENSE#: . 6790	PHONE NO: 639 984	06
ADDRESS: 144 W. OVary ST	CITY:	Overy	STATE:	ZIP: 92866
CONTACT NAME: BOB # 10	11-	PHONE NO: 714	720 9118	
E-MAIL ADDRESS: BUB @ Difinal (ou	pay com	FAX NO: 719	6320549	
OFFICE USE ONLY: ACC OR SPC (CIRCLE ONE)	HRS	PER	BLDG. FEE \$	
OCC. GROUP: RECEIPT #:_	06-	102	-P/C FEE PD \$	27.50
TYPE OF CONSTR: VALUATION:	\$	000	SUBMITTAL DATE:	510/15
FIRE SPKR: YES / NO A/C: YES / NO FLOOD ZON			PROCESSED	
RES. DEV. FEE: YES / NO PRIOR DWELLING UNIT: YES	S/NO COMM	IENTS:		
PLANNING OK TO CHECK & DATE		DEPT. APPROVAL 8		^(
PLNG CONDITIONS: 6040 to be applico	OC AND	abboon 1	erior to p	c m, t

16000000

PLEASE CHECK ALL THAT APPLY TO YOUR PROJECT

JOE	B DESCRIPTION CHECKLIST:		
	Additional square footage		Partition walls
	Awnings		Rated corridors
	Canopy		Rated shafts
	Ceiling work		Roof mounted equipment
	Change of occupancy (use)		Security bars
	Disabled accessible (H/C) restrooms		Screening for equipment
	Dust collector	, D	Skylights
	Elevator shaft		Stairs
	Exterior doors or windows		Storefront/facade improvements
	Equipment pads		Storage racks or shelving over 5'-9"
	Interior demo		Walk-in coolers
	Kitchen equipment		
ITEM	IS REQUIRING SEPARATE BUILDING PER	MIT APPLICATIO	ons:
	Block wall		
	Card readers		
	Complete demo		
	Fence		
	Fire signaling system		
	Fire sprinklers		
	Flagpole		
	Lawn sprinkler system		
	Light Standards		
	Parking lot repaving		
	Parking lot restriping		
	Pedestrian protection		
	Pool/Spa		
	Signs		
	Spray booth		
	Temporary power pole	•	

Trash enclosure

	FEE CHECKLIST	WORKSHEE	Τ	: '
Received by:		SAPIN#	DF10	,23
		`		
	FEE TYPE	REQUIRED		
		Yes No	• •	
•	Plan Check Fee			
	Disability Fee			•
	SMIP Fee			•
•	Res. Dev. Fee			
	Fire Facility Fee			•
	School Distr. Fee		•	
	Microfilm			•
	FCWP Surcharge			
	CALCULATIO	N AREA		
COST/SQ FT	X TOTAL S	QFT =	VALUATION	
•				

Counter computations/valuation \$

Plan checker computation/final valuation \$_____

CITY OF SANTA ANA PLAN CHECK - CHECKLIST

	PLAN CHECK - CHECKLIST
JOB ADDRE	65: 1400 5. VIIIage Way
TRACKING #	# DATE: 1-24-12
	FOR PLANCHECK STATUS CALL (714) 647-5800
PLEASE INIT	TIAL EACH ITEM BELOW
1.	I agree to pay a plancheck fee established for this project with the understanding that this payment is not a guarantee that a permit will be issued and that this fee is not refundable once a plancheck has commenced.
G(_2.	I understand that I may request an "Accelerated Plancheck" at an additional cost to me. This plancheck will be performed by an in-house plan checker with the intention of reducing plancheck time for the Building & Safety Division.
<u>3.</u>	I understand that the project valuation (from which plancheck and permit fees are calculated) will be reviewed during the plancheck process and that said valuation shall be adjusted up or down in accordance with established fee computation regulations.
U 4.	I understand that I shall submit separate plans, applications and plancheck fees for the following when plan check is required:
100	 a. Electrical Plans - 2 complete sets b. Plumbing Plans - 3 complete sets c. Mechanical Plans - 2 complete sets d. Grading Plans - 3 complete sets
5.	I understand that I shall visit the Public Works Department to verify whether a field inspection of the property is required. I understand that prior to the issuance of the Building permit I am required to obtain Public Works Agency approval if my project valuation exceeds \$30,000 archas added plumping fixtures, or added bedrooms, or exceeds 500 sq.ft.
AGREED TO E	BY APPLICANT OR AGENT
Applicant's Sigr	
Print Name	D.D. PINMUE Address 1230 N. Jefferson ST. D
Telephone Nun	nber 114 632 9441 Fax 714 632 0549
_	JSE ONLY: "Checklist of items discussed" APPROVALS & FEES REQUIRED: Y/N
Planning Day Public Works A. Fire Depart 4. Police Dep 5. School Dis 6. Health Dep	rks Agency 8Title 24 (Disabled Access) 15Res. Dev. Fees rtmemt 9Roof Mounted Equip. 16SMIP 17Microfilming strict 11Bldg. Pmt_Info. 18Const. Debris Recyc.

PERMIT TECHNICIAN

Form 58: 3-26-04



Planning & Building Agency Permits & Plan Check Section 20 Civic Center Plaza P.O. Box 1988 (M-19) Santa Ana, CA 92702 (714) 647-5800 www.santa-ana.org

ACCELERATED PLAN CHECK REQUEST

Project Address: Misc. Receipt:	Processed By	Plan Checked B	H018: 07-01-11
Cost: \$117.70 per hou		checker will estimate the number	
Type of Plan Check:	Building OT+	Electrical	
	Est. HrsActual _	Est. Hrs.	Actual
	Plumbing	Mechanical	
	Est. Hrs. Actual	Est. Hrs.	Actual
Owner/Representative Sigr			
Print Name: P-0-	Penaul	Date	
Fire, Police, P	ed plan check review will not in Public Works, Planning or Land ing an "accelerated revision", the ed fee of \$117.70 per hour (total	e cost will be \$207.25 per hour	in addition to the
Name (Last, First, Initial)		Employee #	Division
From (Date & Time)	To (Date & Time)	Total Hours Worked -	Comp Time Requested Overtime Requested
Employee Signature:		Date:	
AUTHORIZED	Comp time	APPROVALS	
	Overtime		Date
Immediate Supervisor	Date	Executive Director	Date
Distribution: White: Office	e Yellow: Applicant		

BNegrete/Fee Schedules/2011-2012



Planning & Building Agency Building Safety Division 20 Civic Center Plaza P.O. Box 1988 (M-19) Santa Ana, CA 92702 (714) 647-5800 www.santa-ana.org

TENANT IMPROVEMENT PLAN CHECK COMMENTS

PLAN CHECK NO: PROJECT ADDRESS:	10174233 1400 S Vil	lage Way			
PLAN CHECK ENGINEER:	Ahangian,	Kathy	TEL:	714	647-5812
			FAX:	714	647-5897
TYPE OF CONSTRUCTION:		III B, SPK			
OCCUPANCY CLASSIFICAT	TION(S):	M, S1			
PLAN CHECK DATES:			REM	ARKS/	RECHECK ITEMS:
APPLICATION 1/26	/2012				_
INITIAL REVIEW 2/4/2	012				
EXPIRATION 7/24	2012		<u> </u>		
RECHECKS: 1. 2	1_2012			JECT A	PPLICANT CONTACT PERSON:
3.			TEL:	(714)632-9441
· v			FAX:		
VALUATION: \$25,000.00			EMA		ob@rdpinaultcompany.com
FLOOD ZONE: X-06023202	77J				

APPLICABLE CODE: 2010 CALIFORNIA BUILDING CODE (CBC) WITH CITY OF SANTA ANA AMENDMENTS

- 1. All items noted on this plan check report must be addressed. If you feel that an item is not applicable to your project, note "N/A" and discuss the reason with the plan checker.
- 2. Please indicate the sheet number and detail to the right of each correction, or note the number on the plans where the correction is made. Resubmit marked original, calculations and this correction sheet. A separate sheet for response may be used.
- 3. Resubmit 3 corrected sets of plans.
- 4. Meetings between the project applicant/designer and the plan reviewer shall be by appointment only. Please call (714) 647-5812 for an appointment.
- 5. Please return marked up set of drawings with corrections.

6. BC Sections A106.1 and A106.3.4.1, All drawings and supporting documents shall be prepared, stamped and signed by a California licensed architect or registered civil engineer.

This review does not include mechanical, plumbing, fire sprinkler system, or electrical work. Separate plans, applications, fees, plan checks, and permits are required for mechanical, plumbing, fire sprinkler systems, and electrical work. Call 647-5800 for information.

8. The applicant shall obtain clearances/approvals for the following prior to building permit issuance:

- Planning Division approval on the corrected/final set of drawings (647-5804.) Previously approved plans should be submitted to expedite the process.
- Fire Department approval on the corrected/final sets of drawings (647-5839 or 647-5700)
- Police Department approval on the corrected/final set of drawings (647-5840)
- Public Works Agency approval (647-5039)
- Proof of Worker's Compensation Insurance shall be required at the time of permit issuance
- 9. Please fill out attached handicap compliance form.

Clarify existing use of the building.

Enlarge path of travel to show complete compliance with H/C accessibility.

Provide complying exiting plan for the "reminder" area (adjacent unit) Note the use of adjacent units.

Provide info to show type of material and items are being stored in the stock room.

Verify if the kitchen sink is new or existing, if new show it is in compliance with H/C accessibility.

CBC Section 1110B.1.3, Check Stands CBC Table 11B-2:

NUMBER OF REGULAR
CHECKSTANDS

1 to 4
5 to 8
9 to 15
Over 15

NUMBER TO BE
ACCESSIBLE

1
2
3
9 to 20
3 plus 20% of additional aisles

- In new and existing construction, accessible check stands shall provide a clear checkout aisle width of 36" with a maximum adjoining counter height not exceeding 38" above the finish floor.
- The top of the counter lip shall not exceed 40" above the finish floor.
- Accessible check stands shall always be open to customers with disabilities and shall be identified by a sign clearly visible to those in wheelchairs. The sign shall display the international symbol of accessibility in white on a blue background and shall state "This check stand to be open at all times for customers with disabilities."

3,

16. The reflected ceiling plan and details must show compliance with CBC Sections 711.3.1, 803, 1613, and 1705 (special inspection) for suspended ceiling systems.

17. Show height of the demising wall on detail 2/ A-3.2.

Type X. Drywall.

Limiting Wall Height Tables — Non-Composite

Interior Non-Structural Non-Composite

(S) Stud Member		Spacing (in) o c		5 psf L/240	L/360	L/120	7.5 psf L/240	L/360	L/120	10 psf L/240	L/360			
362S125-27 362S125-27	33 33	12 16	18' 10" 16' 4"	16' 6" 15' 0"	14' 5" 13' 1"	15' 5" 13' 4"	14' 5" 13' 1"	12' 7" 11' 5"	13' 4" 11' 7"	13' 1" 11' 7"	11' 5" 10' 5"			
362S125-27 362S125-30 362S125-30	33 33 33	24 12 16	13' 4" 20' 3" 17' 7"	13' 1" 17' 0" 15' 6"	11′ 5″ 14′ 10″ 13′ 6″	10' 11" 16' 7" 14' 4"	10' 11" 14' 10" 13' 6"	10' 0" 13' 0" 11' 10"	9' 5" 14' 4" 12' 5"	9' 5" 13' 6" 12' 3"	9′ 1" 11′ 10" 10′ 9"			
362S125-30 362S125-33	33 33	24 12	14' 4" 21' 11"	13' 6" 17' 7"	11' 10" 15' 4"	11' 8" 17' 10"	11' 8" 15' 4"	10' 4" 13' 5"	10' 2" 15' 6"	10' 2" 10' 0"	9' 4" 12' 2"			
362S125-33 362S125-33	33 33	16 24	18' 11" 15' 6"	16' 0" 14' 0"	14' 0" 12' 2"	15' 6" 12' 8"	14' 0" 12' 2"	12' 2" 10' 8"	13' 5" 10' 11"	12' 8" 10' 11"	11' 1" 9' 8"			
362S125-43 362S125-43 362S125-43	33 33 33	12 16 24	24' 2" 21' 11" 18' 10"	19' 2" 17' 5" 15' 3"	16' 9" 15' 3" 13' 4"	21' 1" 18' 10" 15' 4"	16' 9" 15' 3" 13' 4"	14' 8" 13' 4" 11' 7"	18' 10" 16' 4" 13' 4"	15' 3" 13' 10" 12' 1"	13' 4" 12' 1" 10' 7"			
362S125-54 362S125-54	50 50	12 16	25' 10" 23' 5"	20' 6" 18' 7"	17' 11" 16' 3"	22' 7" 20' 6"	17' 11" 16' 3"	15' 8" 14' 2"	20' 6" 18' 7"	16' 3" 14' 9"	14՝ 2" 12' 11"			
362S125-54 362S125-68 362S125-68	50 50 50	24 12 16	20' 6" 27' 7" 25' 1"	16' 3" 21' 11" 19' 11"	14' 2" 19' 2" 17' 5"	17' 11" 24' 1" 21' 11"	14' 2" 19' 2" 17' 5"	12' 5" 16' 9" 15' 2'	16' 3" 21' 11" 19' 11"	12' 11" 17' 5" 15' 10"	11' 3" 15' 2" 13' 10"			
362S125-68 400S125-18	50 33	24 12	21 11" 14' 9" e	17' 5" 14' 9" e	15' 2"	19' 2"	15' 2"	13' 3"	17' 5"	13' 10"	12' 1"			
400S125-18 400S125-18 400S125-18	33 33	16 24	12' 10" e 10' 5" e	12' 10" e 10' 5" e	13' 6" e 12' 3" e 10' 5" e	10' 5" e 8' 6" e	12' 1" e 10' 5" e 8' 6" e	11' 9" e 10' 5" e 8' 6" e	10' 5" e 9' 1" e 7' 5" e	10' 5" e 9' 1" e 7' 5" e	10' 5" e 9' 1" e 7' 5" e			
400\$125-27 400\$125-27	33 33	12 16	19' 11" 17' 3"	17' 10" 16' 2"	15' 7" 14' 2"	16' 3" 14' 1"	15' 7" 14' 1"	13'.7" 12'.4"	14' 1" 12' 2"	14′ 1″ 12′ 2″	12' 4" 11' 3"			
400S125-27 400S125-30 400S125-30	33 33 33	24 12 16	14' 1" 21' 5" 18' 6"	14' 1" 18' 5" 16' 8"	12' 4" 16' 1" 14' 7"	11' 6" 17' 6" 15' 2"	11' 6" 16' 1" 14' 7"	10' 9" 14' 0" 12' 9"	9' 11" 15' 2" 13' 1"	9' 11" 14' 7" 13' 1"	9' 10" 12' 9" 11' 7"			
400S125-30 400S125-33	33 33	24 12	15' 2" 23' 2"	14' 7" 19' 0"	12' 9" 16' 7"	12' 4" 18' 11"	12' 4" 16' 7"	11′ 2" 14′ 6"	10' 8" 16' 4"	10' 8" 15' 1"	10' 1" 13' 2"			
400S125-33 400S125-33 400S125-43	33 33 33	16 24 12	20' 0" 16' 4" 26' 1"	17' 3" 15' 1" 20' 9"	15' 1" 13' 2" 18' 1"	16' 4" 13' 4" 22' 10"	15' 1" 13' 2" 18' 1"	13' 2" 11' 6" 15' 10"	14' 2" 11' 7" 19' 11"	13' 9" 11' 7" 16' 5"	12' 0" 10' 6" 14' 4"			
400S125-43 400S125-43	33 33	16 24	23' 9" 19' 11"	18' 10" 16' 5"	16' 5" 14' 4"	19' 11" 16' 3"	16' 5" 14' 4"	14' 4" 12' 7"	17' 3" 14' 1"	. 14' 11" 13' 1"	13′ 1" 11′ 5"	·		
400S125-54 400S125-54 400S125-54	50 50 50	12 16 24	27' 11" 25' 4" 22' 2"	22' 2" 20' 2" 17' 7"	19' 4" 17' 7" 15' 4"	24' 5" 22' 2" 19' 4"	19' 4" 17' 7" 15' 4"	16',11" 15',4" 13',5"	22' 2" 20' 2" 17' 7"	17' 7" 16' 0" 13' 11"	15' 4" 13' 11" 12' 2"			
400S125-68 400S125-68	50 50	12 16	29' 10" 27' 2"	23' 8" 21' 6"	20' 8" 18' 10"	26' 1" 23' 8"	20' 8" 18' 10"	18' 1" 16' 5"	23' 8" 21' 6"	18' 10" 17' 1"	16' 5" 14' 11"			ingly
400S125-68 600S125-27	50 33	24 12	23' 8" 26' 8" e	18' 10" 24' 4" e	16' 5" 21' 3" e	20' 8" 21' 10' e	16' 5" 21' 3" e	14' 4" 18' 7" e	18' 10" 18' 11" e	14' 11" 18' 11' e	13' 0" 16' 10' e	ATTECTURED FOR	al STR	as s
600\$125-27 600\$125-27 600\$125-30	33 33 33	16 24 12	23' 2" e 18' 11" e 28' 10"	22' 1" e 18' 11" e 25' 2"	19' 4" e 16' 10" e 22' 0"	18' 11" e 15' 5" e 23' 6"	18' 11" e 15' 5" e 22' 0"	16' 10" e 14' 9" e 19' 3"	16' 4" e 13' 4" e 20' 4"	16' 4" e 13' 4" e 20' 0"	15' 4" e 13' 4" e	COL	CON	12 11 B.
600S125-30 600S125-30	33 33	16 24	24' 11" 20' 4"	22' 11" 20' 0"	20′ 0" 17' 6"	20' 4" 16' 8" e	20' 0" 16' 8" e	17' 6" 15' 3"	17' 8" 14' 5" e	17' 8" 14' 5"	13 10 0	AND EDE	0110	TO REE
600S125-33 600S125-33 600S125-33	33 33 33	12 16 24	31' 2" 27' 0" 22' 1"	26' 2" 23' 9" 20' 9"	22' 10" 20' 9" 18' 1"	25' 6" 22' 1" 18' 0"	22' 10" 20' 9" 18' 0"	19' 11" 18' 1" 15' 10"	22' 1" 19' 1" 15' 7" e	20' 9" 18' 10" 15' 3 " e	16° 1" 16' 92 °C		ROUTE A	C FILL
600S125-43 600S125-43	33 33	12 16	36' 2" 32' 11"	28' 9" 26' <u>1"</u>	25' 1" 22' 10"	31' 3" 27' 0"	25' 1" 22' 10"	21' 11" 19' 11"	27′ 0" 23′ 5"	22' 10" 20' 9"	19' 11" 18' 1"	ORATE PL	Organic Control	10 (13) 10 (13)
600S125-43 600S125-54 600S125-54	33 50 50	24 12 16	27' 0" 38' 9" 35' 3"	22' 10" 30' 9" 27' 11"	19' 11" 26' 10" 24' 5"	22' 1" 33' 10" 30' 9"	19' 11" 26' 10" 24' 5"	17' 5" 23' 6" 21' 4"	19' 1" 30' 9" 27' 11"	18' 1" \ 24' 5" \ 22' 2"	15' 10' 6' 21 4'	ANTEC PARAME PER PER PER PER PER PER PER PER PER PE	જીતિ _{દા} ા ^લ ે ઇટ્ટ ૦ ૧૬ કર્મા	No PALLEGE
600S125-54 600S125-68	50 50	24 12	30' 9" 41' 7"	24' 5" 33' 0"	21' 4" 28' 10"	26' 10" 36' 4"	21' 4" 28' 10"	18' 8" 25' 2"	24' 5" 33' 0"	19' 5" 26' 2"	16641	of Ones all	arno .	a
600S125-68 600S125-68	50 50	16 24	37' 9" 33' 0"	30' 0" 26' 2"	26' 2" 22' 10"	33' 0" 28' 10"	26' 2" 22' 10"	22' 10" 20' 0"	30' 0" 26' 2"	23' 9." 20' 9"	20' 9" 18' 23	ings on a later of the later of	e this. Ug.	6 _{15U} 51
800S125-43 800S125-43 800S125-43	33 33 33	12 16 24	45' 1" 39' 1" 31' 11"	36' 1" 32' 9" 28' 8"	31' 6" 28' 8" 25' 0"	36' 10" 31' 11" 26' 1"	31' 6" 28' 8" 25' 0"	27' 6" 25' 0" 21' 10"	31' 11" 27' 8" 22' 7"	28' 8" 26' 0" 22' 7"	25' 0" `. 22' 9" `. 19' 10"	17 OV	uco or uci.	A Olqius
800S125-54 800S125-54	50 50	12 16	48' 10" 44' 4"	38' 9" 35' 2"	33' 10" 30' 9"	42' 8" 38' 9"	25 0 33' 10" 30' 9"	21 10 29' 7" 26' 10"	22 / 38' 9" 35' 2"	22 / 30' 9" 27' 11"	19 10 26' 10" 24' 5"	10 10 10 10 10 10 10 10 10 10 10 10 10 1	OF WILL OF	
800S125-54 800S125-68	50 50	24 12	38' 9" 52' 10"	30' 9" 41' 11"	26' 10" 36' 8"	33' 10" 46' 2"	26' 10" 36' 8"	23' 6" 32' 0"	30' 8" 41' 11"	24' 5" 33' 4"	21' 4" 29' 1"	· 2011910		THE REAL PROPERTY.
800S125-68 800S125-68	50 50	16 24	48' 0" 41' 11"	38' 1" 33' 4"	33' 4" 29' 1"	41' 11" 36' 8"	33' 4" 29' 1"	29' 1" 25' 5"	38' 1" 33' 4"	30' 3' 26' 5"	26' 5" 23' 1"	Üa.	18 ba	CIT

See Interior Non-Structural Non-Composite Table Notes on previous page



CLEAR FLOOR SPACE APPROACH TO FACILITIES: 2'-6" BY 4'-0" TURNING SPACE (180 AND 360 DEGREES): 5'-0" (60 INCHES) DIAMETER.

REACH FROM A WHEELCHAIR

HIGH FORWARD: 4'-0 HIGH SIDE: 4'-6" 9 INCHES LOW SIDE:

INDIVIDUALS ON CRUTCHES

DISTANCE BETWEEN CRUTCHES: 2'-8" (32

SITE ACCESS

SIDEWALKS

ACCESS TO SITE AND PRIMARY BUILDING ENTRANCES WITHOUT STEPS OR ABRUPT

CHANGES IN LEVEL.

MAXIMUM SLOPE: 1:20 LANDINGS: PROVIDE 5'-0" LONG LANDINGS A MINIMUM OF EVERY 400 FEET AT SIDEWALKS WITH CONTINUOUS SLOPES. CURB CUT WIDTH: 4'-0" NO CHANGE IN LEVEL EXCEEDING 1/2 INCH.

RAMP LANDINGS PROVIDED: MAX EVERY 30 FEE DEPENDENT UPON SLOPE. HANDRAILS REQ: FOR SLOPES EXCEEDING 1:15 GUIDE RAILS OR 2" CURBS PROVIDED

MAXIMUM SLOPE: 1:12

EXTERIOR STAIRS

PAINTED TREADS AND UPPER APPROACH: 2 INCH WIDE CONTRASTING STRIPE AT NOSING.

WARNING CURBS

PROVIDE 6 INCH CURB AT ADJACENT CHANGES IN LEVEL EXCEEDING 4 INCHES. WARNING CURBS ARE NOT REQUIRED AT STREET CURBS OR IF A GUIDERAIL IS PROVIDED AT 2 TO 4 INCHES ABOVE WALK.

MAXIMUM OPENINGS IN DIRECTION OF TRAVEL: 1/2 INCH

PARKING

LENGTH: 18'-0" MAXIMUM SLOPE SPACE: 1/4 INCH PER ADJACENT CLEAR SPACE WIDTH: 5'-0" WHEELCHAIR ACCESS PROVIDED TO WALKS WITHOUT GOING BEHIND PARKED CARS.

PARKING STRUCTURES

ENTRANCE HEIGHT: 8'-2" HEIGHT TO ACCESSIBLE PARKING 8'-2"

SIGNS PROVIDED AT ACCESSIBLE PARKING SIGNS PROVIDED TO INDICATE ACCESSIBLE ENTRIES AT EXISTING BUILDINGS WHERE NOT THE PRIMARY ENTRY.

BUILDING ACCESS

ALL PRIMARY ENTRANCES ACCESSIBLE. LEVEL SPACE A OUTSWINGING DOORS:

SPACE PROVIDED AT STRIKE SIDE OF OUTSWINGING EXTERIOR DOORS: 2'-0" LEVEL SPACE AT INSWINGING DOORS: WIDTH: 2'-8" CLEAR OPENING (3'-0" DOUBLE DOORS WIDTH: ACTIVE LEAF 2'-8" CLEAR OPENING. UNINTERRUPTED SPACE AT DOOR BOTTOM: NO REVOLVING DOORS ALLOWED FOR

ACCESSIBLE DOORS.

LEVEL SPACE ON SWING SIDE: 5'-0" LEVEL SPACE ON SIDE AWAY FROM SWING: SPACE PROVIDED ON STRIKE SIDE OF INTERIOR DOOR, SWING SIDE: 1'-6" WIDTH: 2'-8" CLEAR OPENING (3'-0' HEIGHT: 6'-8"

OPERABLE BY A SINGLE EFFORT, NO GRASPING OR WRIST MOVEMENT (LEVERS PUSH-PULLS, OR PANIC DEVICES) ALLOWABLE CLOSER PRESSURE: INTERIOR DOORS: 5 POUNDS 8/5 POUNDS EXTERIOR DOORS: FIRE DOORS: 15 POUNDS

THRESHOLDS

MAXIMUM HEIGHT (RECOMMENDED): 1/2 INCH WITH MAXIMUM VERTICAL CHANGE OF 1/4 INCH.

SLIP-RESISTANT SURFACE.

3'-8" MINIMUM AISLES: 3'-0" MINIMUM

INDICATOR STRIPE AT APPROACH AND NOSINGS LESS THAN 1 1/2 INCH MAXIMUM RECOMMENDED, 3/8 INCH ROUNDED, OR 45 DEGREE BEVEL.

MAXIMUM SLOPE: 1:12 RAMP LANDINGS PROVIDED: MINIMUM EVERY 30 FEET DEPENDENT UPON SLOPE HANDRAILS REQUIRED: SLOPES EXCEEDING

HANDRAILS

HANDRAIL HEIGHTS: 2'-6" TO 2'-10' HANDRAIL EXTENSION AT TOP (REQUIRED): 6 INCHES HANDRAIL EXTENSION AT TOP (RECOMMENDED): 1'-0" HANDRAIL EXTENSION AT BOTTOM (REQUIRED): 6 INCHES HANDRAIL EXTENSION AT BOTTOM (RECOMMENDED): 1'-0" PLUS ONE TREAD

GUIDERAILS

WHERE ADJACENT CHANGES IN LEVEL EXCEED 4 INCHES, PROVIDE GUIDERAILS2 NCHES TO 4 INCHES ABOVE FLOOR. GUIDERAILS ARE NOT REQUIRED WHERE A NCH CURB IS PROVIDED.

CONTROLS FOR LIGHTS, WINDOWS, TEMPERATURE CONTROLS, ETC.

HEIGHT: MAXIMUM 4'-0", MINIMUM 3'-0 WALL OUTLETS: 1'-0" ABOVE FLOOR EXCEPT AT RELOCATABLE PARTITIONS, AND WINDOW WALLS.

OVERHEAD OBSTRUCTIONS: 6'-8". PROJECTIONS: MAXIMUM 4 INCHES II OVER 2'-3" ABOVE FLOOR. PROVIDE TEXTURED PATH WHEN OBSTRUCTIONS ARE IN THE PATH OF

EMERGENCY SIGNALS: AUDIBLE AND VISUAL. WHERE LIGHTED EXIT SIGNS ARE USED. THEY SHALL FLASH IN AN EMERGENCY.

FACILITIES ACCESS

MULTIPLE ACCOMMODATION TOILETS ENTRANCE DOOR TO ROOM: 2'-8" CLEA SPACE AT DOOR SWING SIDE: 5'-0" SPACE AT DOOR AWAY FROM SWING: 3'-8" WHEELCHAIR TURNING SPACE PROVIDED: 5'-0" DIAMETER. OR 4'-8" BY 5'-3F"ACCESSIBLE PATH TO ACCESSIBLE TOILET COMPARTMENT: 3'-8"

TOILET COMPARTMENTS

SIGNAGE: EQUILATERAL TRIANGLE (1'-0" SIDE) FOR MEN'S ROOM, 1'-0" DIAMETER CIRCLE FOR WOMEN'S ROOM. SPACE IN FRONT OF DOOR: 4'-0" CLEAR DOOR WIDTH (FRONT ENTRY): 2'-8' CLEAR, DOOR SWINGS OUT DOOR WIDTH (SIDE ENTRY): 2'-10 CLEAR, DOOR SWINGS OUT COMPARTMENT WIDTH: 4'-10" MINIMUM DEPENDENT UPON WATER CLOSET. COMPARTMENT DEPTH (FRONT ENTRY): 6'-2" TO 6'-6" DEPENDENT UPON WATER COMPARTMENT DEPTH (SIDE ENTRY): 7'-2" TO 7'-6" DEPENDENT UPON WATER

CLEAR SPACE AT SIDE OF WATER CLOSET: 2'-8" MINIMUM. NEAR WALL TO CENTER OF WATER CLOSET: 1'-6" MINIMUM. TOILET SEAT HEIGHT: 1'-5" TO 1'-7"

REAR GRAB BAR: 3'-0" SIDE GRAB BAR: 4'-0". 2'-0" EXTENSION IN FRONT OF WATER CLOSET. GRAB BAR HEIGHT: 2'-9" ABOVE FLOOF TOILET PAPER HOLDER: 1'-0" MAXIMUM IN FRONT OF WATER CLOSET. YPICAL WATER CLOSET SIZES: WIDTH: 1'-3" TO 1'-4" TYPICAL LENGTH: 2'-2" TO 2'-4" TYPICAL; 2'-0" TO 2'-7" AVAILABLE.

SINGLE ACCOMMODATION TOILETS

DOOR SHALL LOCK FROM INSIDE ONE PERSON USE AT A TIME. SPACE INSIDE: ROOM FOR A WHEELCHAI TO ENTER AND DOOR TO CLOSE: 4'-0" CLEAR IN FRONT OF WATER CLOSET. CLEAR SPACE AT SIDE OF WATER CLOSET O LAVATORY: 2'-4" CLEAR SPACE AT SIDE OF WATER CLOSET TO WALL: 2'-8" NEAR WALL TO CENTER OF WATER CLOSE

PROVIDE AT LEAST ONE AT NOT MORE THAN 1'-5" FROM FLOOR TO LIP.

LAVATORIES

HEIGHT: 2'-9" TO 2'-10" RECOMMENDI CLEAR SPACE IN FRONT: 2'-6" BY 4'-CLEAR SPACE BENEATH: 2'-5" HIGH, 2'-6" WIDE, 8 INCHES DEEP AT TOP, 1'-5" DEEP AT BOTTOM 9 INCHES CONTROL TO BE LEVER, PUSH-BUTTON,

ACCESSORIES

CCESSORIES HEIGHTS: 3'-4" AT LEAST ONE OF EACH TYPE ACCESSIBLE. MIRRORS: BOTTOM EDGE 3'-4" MAXIMUM TOILET PAPER HOLDER: MAXIMUM 1'-0" IN FRONT OF WATER CLOSET.

DRINKING FOUNTAINS

PROVIDE IN AN ALCOVE OR OUT OF PATH ALCOVE WIDTH: 2'-8" CLEAR CLEAR SPACE BENEATH FOUNTAIN: 2'3" BUBBLER HEIGHT: 2'-9" CONTROLS: MAXIMUM 6" FROM FRONT. CONTROLS TO BE LEVER, PUSH-BUTTON, OR

PUBLIC TELEPHONES

SIMILAR TYPE.

HEIGHT TO CONTROLS: 4'-6" MAXIMUM DEPENDING ON APPROACH. CLEAR SPACE BENEATH: 2'-3" CLEAR HEIGHT, 1'-7" MAXIMUM DEPTH FOR SIDE CLEAR FLOOR SPACE: 2'-6" BY 4'-0" IN FRONT OR BESIDE.

CITY OF SANTA ANA GENERAL NOTES - ALL PARKING LOTS AND STRUCTURES MUST COMPLY WITH THE PROVISIONS OF CHAPTER 8, ARTICLE II,

such alternate method or material has been approved by the enforcing authority prior to use.

provided such alternative has been approved by the enforcing authority prior to use.

quality, strength, effectiveness, crime resistance, durability and safety.

The following requirements must be met for windows and sliding glass doors:

DIVISION 3 OF THE SANTA ANA MUNICIPAL CODE.

exception is granted.

Sec. 8-207. - Keying requirements.

forth in section 8-212 (Tests)

Sec. 8-209. - Windows and sliding glass doors.

Sec. 8-211. - Special commercial building provisions.

collapsing of the door around the locking device.

openable by the Uniform Building Code.

protected as follows: (electronic sliding doors are prohibited)

a. Fully tempered glass or rated burglary resistant glazing; or

Sec. 8-205. - Alternate materials and methods of construction. Materials, methods of construction or structural design limitations provided for in this division are to be used unless an

The use of any material or method of construction not specifically prescribed by this division may be allowed, provided any

Further, other sound methods of structural design or analysis not specifically provided for in this division may be allowed

The enforcing authority may approve any such alternate provided that they find the proposed design to be satisfactory and

the material and method of work offered is for the purpose intended, at least equivalent to that prescribed in this division in

Upon occupancy by the owner or proprietor, each single unit in a tract or commercial development, constructed under the

dwellings, proprietorships or similar distinct occupancies within such tract or commercial development. Every applicant shall

same general plan, shall have locks using combinations which interchange free from locks used in all other separate

(a) Except as otherwise specified in section 8-210 (Special residential building provisions) and section 8-211 (Special

commercial building provisions), all openable exterior windows and sliding glass doors shall comply with the tests as set

(b) Louvered windows shall not be used when any portion of the window is less than twelve (12) feet vertically or six (6) feet

(a) Swinging exterior glass doors, wood or metal doors with glass panels, solid wood or metal doors shall be constructed or

(1) Wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1¾) inches. Hollow

(2) Except when double cylinder deadbolts are utilized or safety glazing is required by Chapter 54 of the Uniform Building

Code, any glazing installed within forty (40) inches of any door locking mechanism shall be constructed or protected as

b. Iron or steel grills of at least one-eighth (1/s) inch mesh secured with nonremovable bolts on the inside of the glazing may

c. The glazing shall be covered with iron or steel bars of at least one-half (½) inch round or one (1) inch by one-fourth (1 x

d. Items b. and c. above shall not interfere with the operation of opening windows if such windows are required to be

(1) A single or double door shall be equipped with a double or single cylinder deadbolt. The bolt shall have a minimum

at least three-fourths (¾) inch into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a

minimum of five (5) pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least

one-fourth (1/4) inch in diameter. All deadbolts will be equipped with a locked indicator. Exposed installation screws on

(2) Hinges for outshowing doors shall be equipped with nonremovable hinge pins or a mechanical interlock to preclude

(3) Whenever a mail slot is located within forty (40) inches of the primary locking device on any exterior door it shall be

(4) Strikeplates shall be constructed of minimum sixteen (16) U.S. gauge steel, bronze or brass, a minimum of three and

one-half (3½) inches in length and secured to the jamb with screws a minimum of two and one-half (2½) inches in length.

embedment of five-eighths (%) inch into the header and threshold of the door frame or by panic hardware which contains a

(2) Double doors shall have a full length astragal, constructed of steel a minimum of .125 inch thick which will cover the

beyond the edge of the door to which it is attached. The astragal shall be attached to the outside of the active door by

(1) The jamb on all aluminum frame swinging doors shall be so constructed or protected to withstand one thousand six

hundred (1,600) pounds of pressure in both a vertical distance of three (3) inches and a horizontal distance of one (1) inch

(2) Aluminum frame swinging doors shall be equipped with a two-point locking mechanism consisting of deadbolt having a

minimum bolt projection of one and one-half (11/2) inches, or a hook shaped or similar bolt that engages the strike sufficiently

to prevent spreading and a metal automatic releasing threshold bolt having a minimum embedment of five-eighths (%) inch

into the floor. The deadbolt lock shall have a minimum of five (5) pin tumblers, and a cylinder guard and shall be equipped

(e) Panic hardware, whenever required by the Uniform Building Code or Title 24, California Administrative Code, shall be

(1) Panic hardware shall contain a minimum of two (2) locking points on each door, one (1) located at the header, the other

(2) On single doors, panic hardware may have one (1) locking point which is not to be located at either the top or bottom

rails of the door frame. The door shall have an astragal constructed of steel .125 inch thick which shall be attached with

nonremovable bolts to the outside of the door. The astragal shall extend a minimum of six (6) inches vertically above and

(3) Double doors containing panic hardware shall have a full length astragal constructed of steel, attached to the doors at

(1) Door jambs shall be installed with solid backing in such a manner that no voids exist between the strike side of the jamb

(2) In wood framing, horizontal blocking shall be placed between studs at door lock height for three (3) stud spaces each

side of the door openings. Trimmers shall be full length from the heads to the floor with solid backing against sole plates.

(h) In multiple occupancy buildings, interior walls dividing the individual suites shall not end at the false ceiling but shall

(g) In multiple occupancy office buildings all entrance doors to individual office suites shall meet the construction and locking

(i) Exterior transoms or windows shall be deemed accessible if less than twelve (12) feet above ground or adjacent to any

pedestrian walkway. Accessible windows and transoms having a pane or opening exceeding ninety-six (96) square inches,

(2) The following window parriers may be used but shall be secured with bolts, which are nonremovable from the exterior:

a. Interior or exterior steel or iron bars of at least one-half (½) inch round or one by one-quarter (1 x ¼) inch flat metal

b. Interior or exterior from or steel grills of at least one-eighth (1/s) inch metal with not more than a two (2) inch mesh and

REQUIRED

with the smallest dimension exceeding six (6) inches, and not visible from a public or private thoroughfare shall be protected

their meeting point which will close the opening between them, but not interfere with the operation of either door.

and the frame opening for a vertical distance of six (6) inches each side of the strike. Finger joints are prohibited.

(f) Installation and construction of frames and jambs for exterior swinging doors shall be as follows:

opening between the doors. The astragal shall be a minimum of two (2) inches wide, and extent a minimum of one (1) inch

(1) The inactive leaf of double doors shall be equipped with automatic releasing metal flushbolts having a minimum

minimum of two (2) locking points, one (1) located at the header the other at the threshold of each door.

means of welding or with nonremovable bolts spaced apart on not more than ten (10) inch centers.

double cylinder deadbolts shall be nonremovable. The provisions of this subsection do not apply where (1) panic hardware

is required, or (2) an equivalent device is approved by the enforcing authority. Locking devices shall be mounted at a height

projection of one (1) inch and be constructed so as to repeal cutting tool attack. The deadbolt shall have an embedment of

(b) All swinging exterior doors with the exception of aluminum frame swinging doors shall be equipped as follows:

be utilized; and framing for iron or steel grills shall be by one (1) inch by one-fourth (1/4) inch flat metal secured by

1/4) inch flat metal, spaced not more than five (5) inches apart and secured with nonremovable bolts.

of not less than thirty (30) nor more than forty-four (44) inches above the finished floor.

covered by an interior hood which will discourage manipulation of the primary locking device.

removal of the door from the exterior by removing the hinge pins.

(c) All exterior double doors shall be equipped as follows:

(d) Aluminum frame swinging doors shall conform to the following:

each side of the strike, so as to prevent violation of the strike.

(1) inch beyond the edge of the door to which it is attached.

(1) Fully tempered glass or burglary resistant glazing; or

spaced not more than five (5) inches apart and securely fastened; or

at the threshold of the door; or

requirements for exterior doors.

continue to the real roof.

metal doors shall be constructed of a minimum equivalent to sixteen (16) U.S. gauge steel and have sufficient reinforcement

to maintain the designed thickness of the door when any locking device is installed; such reinforcement being able to restrict

horizontally from an accessible surface or any adjoining roof, balcony, landing, stair tread, platform or similar structure.

be required to provide the enforcing authority with written confirmation of compliance with the above requirements.

(3) The protective bars or grills shall not interfere with the operation of opening windows if such windows are required to be openable by the Uniform Building Code.

(j) Roof openings shall be equipped as follows: (1) All skylights on the roof of any building or premises used for business purposes shall be provided with:

a. Rated burglary resistant glazing; or b. Iron or steel bars of at least one-half (1/2) inch round or one by one-fourth (1 x 1/4) inch flat metal spaced not more than five (5) inches on center to cross the narrowest dimension of the opening being covered. If the narrowest dimension of that opening exceeds eighteen (18) inches, cross members shall be welded into place, not more than eighteen (18) inches apart beginning with a cross member at the center of the opening. Cross members shall be welded to each and every bar it crosses. The entire bar assembly shall be mounted inside the skylight and shall be attached to the building structure by

c. A steel or iron grill of at least one-eighth (1/s) inch metal with a maximum two (2) inch mesh mounted inside the skylight and secured by bolts which are nonremovable from the exterior.

approved by the enforcing authority; or

means of machine bolts spaced not more than sixteen (16) inches apart or attached by means of an equivalent method

d. These requirements do not apply on any structure with a height of thirty-five (35) feet or more where there is no readily available roof access as determined by the enforcing authority.

(2) All hatchway openings on the roof or any building or premises used for business purposes shall be secured as follows: a. If the hatchway is of wooden material, it shall be covered on the inside with at least sixteen (16) U.S. gauge sheet steel, or its equivalent, attached with screws.

b. The hatchway shall be secured from the inside with a slide bar or slide bolts which are attached by nonremovable bolts. c. Outside hinges on all hatchway openings shall be provided with nonremovable pins when using pin-type hinges. (3) All air duct or air vent openings exceeding ninety-six (96) square inches on the roof or exterior walls of any commercial building shall be secured by covering same with either of the following:

a. Iron or steel bars of at least one-half (½) inch round or one by one-fourth (1 x ¼) inch flat metal spaced no more than five (5) inches apart and securely fastened; or

b. Iron or steel grills of at least one-eighth (1/s) inch metal with a maximum two (2) inch mesh and securely fastened. c. If the barrier is on the outside, it shall be secured with bolts which are nonremovable from the exterior.

d. The above must not interfere with venting requirements, creating potentially hazardous conditions to health and safety, or conflict with the provisions of the Uniform Building Code or Title 19, California Administrative Code. (k) Permanently affixed ladders leading to roofs shall be fully enclosed with sheet metal to a height of ten (10) feet. This

covering shall be locked against the ladder with a case hardened hasp, secured with nonremovable screws or bolts and a padlock with a minimum three-eighth (%) inch hardened steel shackle, locking at both heel and toe, and a minimum five (5) pin tumbler operation with nonremovable key when in an unlocked position. Hinges on the cover will be provided with nonremovable pins when using pin-type hinges.

(I) A building located within eight (8) feet of utility poles, trees or similar structures which allow access to the building's roof, windows or other openings shall have such access area barricaded or fenced with materials to deter human climbing. (m) The following standards for lighting and address markings shall apply to commercial buildings:

(1) The address number of every commercial building shall be located and displayed so that it shall be easily visible from the street. The numerals in these numbers shall be no less than six (6) inches in height and be of a color contrasting to the background. In addition, any business which affords vehicular access to the rear through any driveway, alleyway or parking lot shall also display the same numbers on the rear of the building.

(2) All exterior doors shall be equipped with a lighting device which shall provide a minimum maintained one (1) footcandle of light at ground level during hours of darkness. Lighting devices shall be protected by vandal resistant covers.

(3) All parking lots, and access thereto, providing more than ten (10) parking spaces and for use by the general public, shall be provided with a minimum maintained one (1) footcandle of light on the parking surface from dusk until the termination of business every operating day. At all other hours of darkness, a minimum maintained .25 footcandles of light shall be provided at ground level.

(4) Exterior lighting shall not shine away from subject property.

(n) Interior night lighting shall be maintained in those areas that are visible from the street (ground floors only). (o) All exterior block wall fencing shall have intervals providing visibility corridors which will allow visibility of the interior from outside the wall, and these visibility corridors shall be placed at regular intervals. This applies only to block walls visible from

(p) Passenger elevators, the interiors of which are not completely visible when the car door(s) is open, shall have mirrors so placed as to make visible the whole of the elevator interior to prospective passengers outside the elevator. (q) When access to or within a commercial complex is unduly difficult because of secured openings or where immediate

access is necessary for life saving or fire fighting purposes, a key override is to be installed in an accessible location. The key override shall be mastered to both the fire department and police department keys

(r) Any structure four (4) stories in height or greater will have a repeater installed in its roof. (s) Establishments having specific type inventories shall be protected by the following alarm service:

(1) Silent alarm system with a central station hook-up and required twenty-four-hour supervised service. a. Jewelry store—Manufacturing, wholesale or retail. MASTERLD 2017 - 10 1 2 6 2 b. Any establishment manufacturing, storing or selling firearms and ammunition. 2006 M-1 c. Establishments selling or storing wholesale liquor, tobacco or drugs.

d. Facilities selling or storing furs e. Precious metal storage facilities. f. Banks, savings and loan institutions and credit unions. (2) Silent alarm system not requiring a central station hookup or supervised service:

b. Pawnshops.

c. Establishments manufacturing, storing or selling electronic equipment d. Establishments dealing in coins and stamps.

e. Establishments manufacturing, storing or selling industrial tool supplies. f. Establishments manufacturing, storing or selling cameras. (3) Local or audible alarm system:

 a. Antique dealers b. Art galleries. c. Service stations below the latch of the panic hardware. The astrogal shall be a minimum of two (2) inches wide and extend a minimum of one

- · · - PROPERTY LINE

Interior T.I. cato to be applied for ano approvo prior to permit 15507~0

(4) Nothing in this subsection shall preclude the use of an alarm system providing a higher level of security than that which

DOOR SYMBOL (1)← DOOR NUMBER DIMENSION LINE WINDOW SYMBOL ⟨ A ⟩ ← WINDOW LETTER — - —— CENTERLINE NOTE SYMBOL $3 \text{ or } 3 \leftarrow \text{NOTE NUMBER}$ COLUMN LINE/ LETTERS IN ONE DIRECTION NUMBERS IN THE OTHER DIRECTION REVISION REVISION NUMBER WITH CLOUD AROUND REVISED SECTION CUT AREA 1 \ SECTION IDENTIFICATION A2/ SHEET WHERE SECTION IS DRAWN WORK POINT, DATUM POINT DETAIL REFERENCE OR CONTROL POINT 4 \ DETAIL IDENTIFICATION

A9 SHEET WHERE DETAIL IS DRAWN

MATCH LINE

ÀS FOR FUTURE REVISIONS.

DITEMS CHECKED AND CONDITIONS

SHADED PORTION INDICATE THE SIDE CONSIDERED

TOTAL OCCUPANT LOAD TWO EXITS REQUIRED PER C.B.C 1015 TWO EXITS PROVIDED

CITY OF SANTA ANA FIRE DEPARTMENT:

REQUIRED FOR INSPECTIONS.

2010 CALIFORNIA BUILDING CODE

2010 CALIFORNIA PLUMBING CODE

GOVERNING CODES

RESTROOMS AND KITCHEN

BUSINESS

AREA=386 sf

4 OCCUPANTS

NEW WALLS TO ENCLOSE THE KITCHEN.

PROJECT DESCRIPTION

2010 CALIFORNIA ELECTRICAL CODE

2010 CALIFORNIA MECHANICAL CODE

THE FOLLOWING CODES:

TITLE 24

FIRE DEPARTMENT PHONE NUMBER FOR FOR INSPECTIONS IS

ALL DESIGN AND PLANS ARE BASED AND SHALL COMPLY WITH

A 13,533 SF TENANT IMPROVEMENT LOCATED AT 1400 S. VILLAGE WAY IN

THE CURRENT BUILDING IS PARTIALLY OCCUPIED AND CONTAINS APPROX. A

NEW IMPROVEMENTS INCLUDE REMOVING A PAIR OF DOORS CONNECTING AN

DOORS TO CREATE A NEW STORAGE ROOM, ENLARGING THE RESTROOMS AND

SPRINKLERED BUILDING L

MERCANTILE

AREA=11,378 sf

380 OCCUPANTS

OCCUPANCY USE & LOAD

APN: 402-111-13, 402-111-14, 402-111-15

GENERAL PLAN DESIGNATION: INDUSTRIAL

ALLOWED FLOOR AREA RATIO: NO LIMIT

BUILDING CONST .: TYPE V-B-SPINKLERED

EXISTING ROOF CONST. - FLAT MEMBRANE

BUILDING CONST .: TYPE V-B-SPINKLERED

BUILDING AREA = 13,533 S.F. (GROSS)

11,378 S.F.

1,769 S.F.

EXIST. WALL CONST. - CAST CONCRET

PROPOSED LAND USE: NO CHANGE

BUILDING "H" GROSS AREA:

BUILDING CODE YARDS - 4

EXISTING LAND USE: WAREH., WSALE., RETAIL,

BUILDING H

39,813 S.F.

SUITE "A"

OCCUPANCY: M

EXISTING REQUIREMENTS

BUSINESS ROOM= 386 S.F.

SALES AREA =

STORAGE ROOM =

OCCUPANCY: M

ADJOINING SUITE AND REPAIRING THE WALL, INSTALLATION OF WALLS AND

PLANS WERE APPROVED BY CITY OF SANTA ANA DEVELOPMENT REVIEW

COMMITTEE DP No.2011-16 MATER ID 2011-96786 ER No.2011-45

10,000 SF MERCANTILE USE UNDER A PREVIOUS SEPARATE PERMIT.

THE SUITE IS UNOCCUPIED AND THE ONLY IMPROVEMENTS ARE TWO

SANTA ANA, CA. WITHIN AN EXISTING 39,313 S.F. BUILDING.

) ____ WITH A MINIMUM OF 24-HOUR LEAD-TIME

SEPARATE

at all times and it it

City of Santa Aria.

Date Issued ----

ADJACENT TENANT

B OCCUPANCY

CURRENTLY VACANT

AREA SEPARATION NO

REQUIRED BETWEEN !

-MERCANTILE

STORAGE

AREA=1,769 sf

6 OCCUPANTS

CONSTRUTYPE VB-SPK

RADIANT BARRIER © ROOF

/300 = 6

/100 = 4

RESIDENTIAL DEV. FEE

SCHOOL DISTRICT

MICROFILM

CODE EDITION CBC 2010

OCCUPANCIES PER

TABLE 508.4

alterations on same

The acceptance of this pla

be held to permit nor be

provisions of ANY City Or

ARCHITECTURAL

ADDITION TO SHEET, GENERAL NOTES, CODE ANALYSIS, SHEET INDEX, LEGAL DESCRIPTION, VICINITY MAP REFERENCE SITE PLAN A2.1 BUILDING FLOOR PLAN

A2.2 REFLECTED CEILING PLAN INTERIOR DETAILS - DOOR SCHEDULE

WALL SECTIONS AND DETAILS and specifications SHALL NOT royal of the violation of any

APPROVED 1-26-12

SHEET INDEX

PROPERTY OWNER:

BRISTOL GROUP, INC. 400 MONTGOMERY STREET SAN FRANCISCO, CA. 94104

MAKENA PROPERTIES. 26522 LA ALAMEDA SUITE 285 MISSION VIEJO, CA. 92691

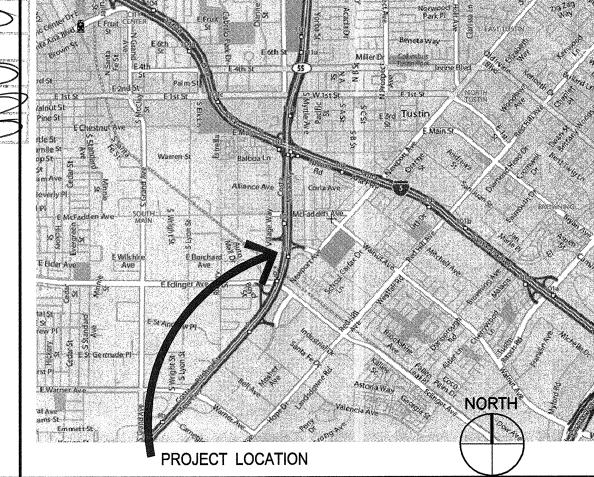
TENANT:

HABITAT FOR HUMANITY 2200 SOUTH RITCHEY KAREN THOMS SANTA ANA, CA. 92705

ARCHITECTS ORANGE 144 NORTH ORANGE STREET DAVE BODDY ORANGE, CALIFORNIA 92866 JACK SELMAN PHONE: (714) 639-9860 FAX: (714) 639-5286 dboddy@architectsorange.com

AGENCY PROCESSING AND APPROVAL 4. PLAN CHECK AND PERMIT FEE'S

5. INSTALLATION



he stamping of this set of plans SHALL NOT be held to permit or

EDULE FIRE DEPARTMENT INSPECTIONS AND TESTS

72 HOURS IN ADVANC

PROPERTY LANDLORD:

PAULA HALVERSO PHONE: (949) 348-3333

PHONE: (714)434-6200

OWNER CONSULTANTS ARCHITECT

MECHANICAL - (DESIGN-BUILD) BY CONTRACTOR

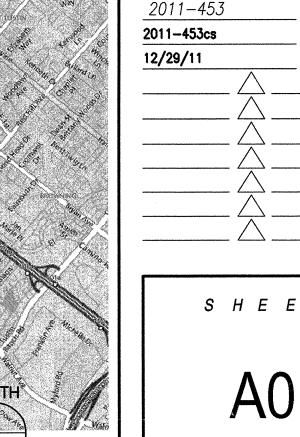
NOT INCLUDED

ELECTRICAL - (DESIGN-BUILD) BY CONTRACTOR

DESIGN-BUILD REQUIREMENTS SHALL INCLUDE, BUT NOT

ENGINEERING AND DESIGN CONSTRUCTION DRAWINGS

PROJECT TEAM



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D A2011-453

ACCESSIBILITY NOTES

GENERAL NOTES

DRAWING SYMBOLS

REFERENCE

INTERIOR ELEVATION

← ELEVATION IDENTIFICATION

BUILDING DATA / CODE ANALYSIS

OCCUPANT LOADS PER C.B.C. TABLE 1004.1.1

VICINITY MAP

MAP NOT TO SCALE

or sinuctural stability of any building.

REN. 2/13

ARCHITECTS

144 North Orange Street • Orange, California 92866 • 714 639-9860

ORANGE

McFADDEN PLACE

City of Santa Ana BUILDING "H" TENANT IMPROVEMENT

> BRISTOL GROUP, INC.

400 MONTGOMERY STREET

SAN FRANCISCO, CA. 94104

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REACH FROM A WHEELCHAIR

5'-0" (60 INCHES) DIAMETER.

HIGH FORWARD: 4'-0" HIGH SIDE: 4'-6" LOW SIDE: 9 INCHES

INDIVIDUALS ON CRUTCHES

DISTANCE BETWEEN CRUTCHES: 2'-8" (32

SITE ACCESS

ACCESS TO SITE AND PRIMARY BUILDING ENTRANCES WITHOUT STEPS OR ABRUPT CHANGES IN LEVEL.

SIDEWALKS

MAXIMUM SLOPE: 1:20 I ANDINGS: PROVIDE 5'-0" LONG LANDINGS A MINIMUM OF EVERY 400 FEET AT SIDEWALKS WITH CONTINUOUS SLOPES. CURB CUT WIDTH: 4'-0" NO CHANGE IN LEVEL EXCEEDING 1/2 INCH.

MAXIMUM SLOPE: 1:12 RAMP LANDINGS PROVIDED: MAX EVERY 30 FEET. DEPENDENT UPON SLOPE. HANDRAILS REQ: FOR SLOPES EXCEEDING 1:15 GUIDE RAILS OR 2" CURBS PROVIDED.

EXTERIOR STAIRS

PAINTED TREADS AND UPPER APPROACH: 2 INCH WIDE CONTRASTING STRIPE AT NOSING.

WARNING CURBS

PROVIDE 6 INCH CURB AT ADJACENT CHANGES IN LEVEL EXCEEDING 4 INCHES. WARNING CURBS ARE NOT REQUIRED AT STREET CURBS OR IF A GUIDERAIL IS PROVIDED AT 2 TO 4 INCHES ABOVE WALK.

GRATINGS

MAXIMUM OPENINGS IN DIRECTION OF TRAVEL: 1/2 INCH

PARKING

LENGTH: 18'-0" MAXIMUM SLOPE SPACE: 1/4 INCH PER ADJACENT CLEAR SPACE WIDTH: 5'-0" WHEELCHAIR ACCESS PROVIDED TO WALKS WITHOUT GOING BEHIND PARKED CARS.

PARKING STRUCTURES

HEIGHT TO ACCESSIBLE PARKING 8'-2"

SIGNAGE

SIGNS PROVIDED AT ACCESSIBLE PARKING SIGNS PROVIDED TO INDICATE ACCESSIBLE ENTRIES AT EXISTING BUILDINGS WHERE NOT THE PRIMARY ENTRY.

BUILDING ACCESS **ENTRANCES**

ALL PRIMARY ENTRANCES ACCESSIBLE LEVEL SPACE A OUTSWINGING DOORS:

SPACE PROVIDED AT STRIKE SIDE OF OUTSWINGING EXTERIOR DOORS: 2'-0" LEVEL SPACE AT INSWINGING DOORS: WIDTH: 2'-8" CLEAR OPENING (3'-0" DOUBLE DOORS WIDTH: ACTIVE LEAF 2'-8" CLEAR OPENING. UNINTERRUPTED SPACE AT DOOR BOTTOM:

DOORS

ACCESSIBLE DOORS

LEVEL SPACE ON SWING SIDE: 5'-0" LEVEL SPACE ON SIDE AWAY FROM SWING: SPACE PROVIDED ON STRIKE SIDE OF INTERIOR DOOR, SWING SIDE: 1'-6 WIDTH: 2'-8" CLEAR OPENING (3'-0" HEIGHT: 6'-8'

NO REVOLVING DOORS ALLOWED FOR

HARDWARE

OPERABLE BY A SINGLE EFFORT, NO GRASPING OR WRIST MOVEMENT (LEVERS PUSH-PULLS, OR PANIC DEVICES) ALLOWABLE CLOSER PRESSURE: INTERIOR DOORS: 5 POUNDS 8/5 POUNDS EXTERIOR DOORS: 15 POUNDS FIRE DOORS:

THRESHOLDS

MAXIMUM HEIGHT (RECOMMENDED): 1/2 INCH WITH MAXIMUM VERTICAL CHANGE OF 1/4 INCH.

FLOORS SLIP-RESISTANT SURFACE.

CORRIDORS

WIDTH: 3'-8" MINIMUM

AISLES: 3'-0" MINIMUM

INDICATOR STRIPE AT APPROACH AND BOTTOM TREAD.
NOSINGS LESS THAN 1 1/2 INCH MAXIMUM RECOMMENDED, 3/8 INCH ROUNDED, OR 45 DEGREE BEVEL.

MAXIMUM SLOPE: 1:12 RAMP LANDINGS PROVIDED: MINIMUM EVERY 30 FEET DEPENDENT UPON SLOPE. HANDRAILS REQUIRED: SLOPES EXCEEDING

HANDRAILS

HANDRAIL HEIGHTS: 2'-6" TO 2'-10" HANDRAIL EXTENSION AT TOP (REQUIRED): 6 INCHES HANDRAIL EXTENSION AT TOP (RECOMMENDED): 1'-0 HANDRAIL EXTENSION AT BOTTOM (REQUIRED): 6 INCHES HANDRAIL EXTENSION AT BOTTOM (RECOMMENDED): 1'-0" PLUS ONE TREAD

GUIDERAILS

WHERE ADJACENT CHANGES IN LEVEL EXCEED 4 INCHES, PROVIDE GUIDERAILS2 INCHES TO 4 INCHES ABOVE FLOOR. GUIDERAILS ARE NOT REQUIRED WHERE A INCH CURB IS PROVIDED.

CONTROLS FOR LIGHTS, WINDOWS EMPERATURE CONTROLS, ETC.

HEIGHT: MAXIMUM 4'-0", MINIMUM 3'-0" WALL OUTLETS: 1'-0" ABOVE FLOOR EXCEPT AT RELOCATABLE PARTITIONS, AND WINDOW WALLS.

OVERHEAD OBSTRUCTIONS: 6'-8". PROJECTIONS: MAXIMUM 4 INCHES I OVER 2'-3" ABOVE FLOOR PROVIDE TEXTURED PATH WHEN OBSTRUCTIONS ARE IN THE PATH OF EMERGENCY SIGNALS: AUDIBLE AND VISUAL. WHERE LIGHTED EXIT SIGNS ARE USED, THEY SHALL FLASH IN AN EMERGENCY.

FACILITIES ACCESS

MULTIPLE ACCOMMODATION TOILETS ENTRANCE DOOR TO ROOM: 2'-8" CLEAR (3'-0" DOOR). SPACE AT DOOR SWING SIDE: 5'-0" SPACE AT DOOR AWAY FROM SWING: 3'-8 WHEEL CHAIR TURNING SPACE PROVIDED:

5'-0" DIAMETER, OR 4'-8" BY 5'-3F

ACCESSIBLE PATH TO ACCESSIBLE TOILET

TOILET COMPARTMENTS

COMPARTMENT: 3'-8"

SIGNAGE: EQUILATERAL TRIANGLE (1'-0" SIDE) FOR MEN'S ROOM, 1'-0" DIAMETER CIRCLE FOR WOMEN'S ROOM. SPACE IN FRONT OF DOOR: 4'-0" CLEAR DOOR WIDTH (FRONT ENTRY): 2'-8' CLEAR, DOOR SWINGS OUT. DOOR WIDTH (SIDE ENTRY): 2'-10' CLEAR, DOOR SWINGS OUT. COMPARTMENT WIDTH: 4'-10" MINIMUM DEPENDENT UPON WATER CLOSET. COMPARTMENT DEPTH (FRONT ENTRY) 6'-2" TO 6'-6" DEPENDENT UPON WATER COMPARTMENT DEPTH (SIDE ENTRY): 7'-2" TO 7'-6" DEPENDENT UPON WATER

CLEAR SPACE AT SIDE OF WATER CLOSET: 2'-8" MINIMUM. NEAR WALL TO CENTER OF WATER CLOSE TOILET SEAT HEIGHT: 1'-5" TO 1'-7" REAR GRAB BAR: 3'-0" SIDE GRAB BAR: 4'-0", 2'-0"

EXTENSION IN FRONT OF WATER CLOSET. GRAB BAR HEIGHT: 2'-9" ABOVE FLOOR. TOILET PAPER HOLDER: 1'-0" MAXIMUM N FRONT OF WATER CLOSET. TYPICAL WATER CLOSET SIZES: WIDTH: 1'-3" TO 1'-4" TYPICAL. LENGTH: 2'-2" TO 2'-4" TYPICAL: 2'-0" TO 2'-7" AVAILABLE.

SINGLE ACCOMMODATION TOILETS

DOOR SHALL LOCK FROM INSIDE. ONE PERSON USE AT A TIME. SPACE INSIDE: ROOM FOR A WHEELCHAIR TO ENTER AND DOOR TO CLOSE: 4'-0" CLEAR IN FRONT OF WATER CLOSET. CLEAR SPACE AT SIDE OF WATER CLOSET TO LAVATORY: 2'-4''CLEAR SPACE AT SIDE OF WATER CLOSET TO WALL: 2'-8" NEAR WALL TO CENTER OF WATER CLOSET:

PROVIDE AT LEAST ONE AT NOT MORE THAN 1'-5" FROM FLOOR TO LIP.

LAVATORIES

HEIGHT: 2'-9" TO 2'-10" RECOMMENDED CLEAR SPACE IN FRONT: 2'-6" BY 4'-0' CLEAR SPACE BENEATH: 2'-5" HIGH, 2'-6" WIDE, 8 INCHES DEEP AT TOP. 1'-5" DEEP AT BOTTOM 9 INCHES CONTROL TO BE LEVER, PUSH-BUTTON, OR SIMILAR TYPE.

ACCESSORIES

ACCESSORIES HEIGHTS: 3'-4" AT LEAST ONE OF EACH TYPE ACCESSIBLE. MIRRORS: BOTTOM EDGE 3'-4" MAXIMUM TOILET PAPER HOLDER: MAXIMUM 1'-0" IN FRONT OF WATER CLOSET.

DRINKING FOUNTAINS

PROVIDE IN AN ALCOVE OR OUT OF PATH OF TRAVEL. ALCOVE WIDTH: 2'-8" CLEAR ALCOVE DEPTH: 1'-6" CLEAR SPACE BENEATH FOUNTAIN: 2'3" BUBBLER HEIGHT: 2'-9" CONTROLS: MAXIMUM 6" FROM FRONT. CONTROLS TO BE LEVER, PUSH-BUTTON, OF SIMILAR TYPE.

PUBLIC TELEPHONES

HEIGHT TO CONTROLS: 4'-6" MAXIMUM DEPENDING ON APPROACH. CLEAR SPACE BENEATH: 2'-3" CLEAR HEIGHT, 1'-7" MAXIMUM DEPTH FOR SIDE APPROACH. CLEAR FLOOR SPACE: 2'-6" BY 4'-0" IN FRONT OR BESIDE.

CITY OF SANTA ANA GENERAL NOTES: - ALL PARKING LOTS AND STRUCTURES MUST COMPLY WITH THE PROVISIONS OF CHAPTER 8, ARTICLE II,

Sec. 8-205. - Alternate materials and methods of construction.

Materials, methods of construction or structural design limitations provided for in this division are to be used unless an

The use of any material or method of construction not specifically prescribed by this division may be allowed, provided any

such alternate method or material has been approved by the enforcing authority prior to use. Further, other sound methods of structural design or analysis not specifically provided for in this division may be allowed provided such alternative has been approved by the enforcing authority prior to use.

The enforcing authority may approve any such alternate provided that they find the proposed design to be satisfactory and the material and method of work offered is for the purpose intended, at least equivalent to that prescribed in this division in quality, strength, effectiveness, crime resistance, durability and safety.

Sec. 8-207. - Keying requirements. Upon occupancy by the owner or proprietor, each single unit in a tract or commercial development, constructed under the same general plan, shall have locks using combinations which interchange free from locks used in all other separate dwellings, proprietorships or similar distinct occupancies within such tract or commercial development. Every applicant shall be required to provide the enforcing authority with written confirmation of compliance with the above requirements.

Sec. 8-209. - Windows and sliding glass doors. The following requirements must be met for windows and sliding glass doors:

(a) Except as otherwise specified in section 8-210 (Special residential building provisions) and section 8-211 (Special commercial building provisions), all openable exterior windows and sliding glass doors shall comply with the tests as set forth in section 8-212 (Tests).

(b) Louvered windows shall not be used when any portion of the window is less than twelve (12) feet vertically or six (6) feet horizontally from an accessible surface or any adjoining roof, balcony, landing, stair tread, platform or similar structure.

Sec. 8-211. - Special commercial building provisions. (a) Swinging exterior glass doors, wood or metal doors with glass panels, solid wood or metal doors shall be constructed or protected as follows: (electronic sliding doors are prohibited)

(1) Wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1¾) inches. Hollow metal doors shall be constructed of a minimum equivalent to sixteen (16) U.S. gauge steel and have sufficient reinforcement to maintain the designed thickness of the door when any locking device is installed; such reinforcement being able to restrict collapsing of the door around the locking device.

(2) Except when double cylinder deadbolts are utilized or safety glazing is required by Chapter 54 of the Uniform Building Code, any glazing installed within forty (40) inches of any door locking mechanism shall be constructed or protected as

a. Fully tempered glass or rated burglary resistant glazing; or

b. Iron or steel grills of at least one-eighth (1/2) inch mesh secured with nonremovable bolts on the inside of the glazing may be utilized; and framing for iron or steel grills shall be by one (1) inch by one-fourth (1/4) inch flat metal secured by nonremovable bolts: or

c. The glazing shall be covered with iron or steel bars of at least one-half (1/2) inch round or one (1) inch by one-fourth (1 x 1/4) inch flat metal, spaced not more than five (5) inches apart and secured with nonremovable bolts.

d. Items b. and c. above shall not interfere with the operation of opening windows if such windows are required to be openable by the Uniform Building Code.

(b) All swinging exterior doors with the exception of aluminum frame swinging doors shall be equipped as follows:

(1) A single or double door shall be equipped with a double or single cylinder deadbolt. The bolt shall have a minimum projection of one (1) inch and be constructed so as to repeal cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (¾) inch into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five (5) pin tumblers, and shall be connected to the inner portion of the lock by connecting screws of at least one-fourth (1/4) inch in diameter. All deadbolts will be equipped with a locked indicator. Exposed installation screws on double cylinder deadbolts shall be nonremovable. The provisions of this subsection do not apply where (1) panic hardware is required, or (2) an equivalent device is approved by the enforcing authority. Locking devices shall be mounted at a height of not less than thirty (30) nor more than forty-four (44) inches above the finished floor.

(2) Hinges for outshowing doors shall be equipped with nonremovable hinge pins or a mechanical interlock to preclude removal of the door from the exterior by removing the hinge pins.

(3) Whenever a mail slot is located within forty (40) inches of the primary locking device on any exterior door it shall be covered by an interior hood which will discourage manipulation of the primary locking device.

(4) Strikeplates shall be constructed of minimum sixteen (16) U.S. gauge steel, bronze or brass, a minimum of three and one-half (31/2) inches in length and secured to the jamb with screws a minimum of two and one-half (21/2) inches in length. (c) All exterior double doors shall be equipped as follows:

(1) The inactive leaf of double doors shall be equipped with automatic releasing metal flushbolts having a minimum embedment of five-eighths (%) inch into the header and threshold of the door frame or by panic hardware which contains a minimum of two (2) locking points, one (1) located at the header the other at the threshold of each door.

(2) Double doors shall have a full length astragal, constructed of steel a minimum of .125 inch thick which will cover the opening between the doors. The astragal shall be a minimum of two (2) inches wide, and extent a minimum of one (1) inch beyond the edge of the door to which it is attached. The astragal shall be attached to the outside of the active door by means of welding or with nonremovable bolts spaced apart on not more than ten (10) inch centers.

(d) Aluminum frame swinging doors shall conform to the following:

(1) The jamb on all aluminum frame swinging doors shall be so constructed or protected to withstand one thousand six hundred (1,600) pounds of pressure in both a vertical distance of three (3) inches and a horizontal distance of one (1) inch each side of the strike, so as to prevent violation of the strike.

(2) Aluminum frame swinging doors shall be equipped with a two-point locking mechanism consisting of deadbolt having a minimum bolt projection of one and one-half (11/2) inches, or a hook shaped or similar bolt that engages the strike sufficiently to prevent spreading and a metal automatic releasing threshold bolt having a minimum embedment of five-eighths (%) inch into the floor. The deadbolt lock shall have a minimum of five (5) pin tumblers, and a cylinder guard and shall be equipped

(e) Panic hardware, whenever required by the Uniform Building Code or Title 24, California Administrative Code, shall be equipped and installed as follows:

(1) Panic hardware shall contain a minimum of two (2) locking points on each door, one (1) located at the header, the other at the threshold of the door; or

(2) On single doors, panic hardware may have one (1) locking point which is not to be located at either the top or bottom rails of the door frame. The door shall have an astragal constructed of steel .125 inch thick which shall be attached with nonremovable bolts to the outside of the door. The astragal shall extend a minimum of six (6) inches vertically above and below the latch of the panic hardware. The astrogal shall be a minimum of two (2) inches wide and extend a minimum of one

(1) inch beyond the edge of the door to which it is attached. (3) Double doors containing panic hardware shall have a full length astragal constructed of steel, attached to the doors at their meeting point which will close the opening between them, but not interfere with the operation of either door.

(f) Installation and construction of frames and jambs for exterior swinging doors shall be as follows: (1) Door jambs shall be installed with solid backing in such a manner that no voids exist between the strike side of the jamb and the frame opening for a vertical distance of six (6) inches each side of the strike. Finger joints are prohibited.

(2) In wood framing, horizontal blocking shall be placed between studs at door lock height for three (3) stud spaces each side of the door openings. Trimmers shall be full length from the heads to the floor with solid backing against sole plates. (g) In multiple occupancy office buildings all entrance doors to individual office suites shall meet the construction and locking requirements for exterior doors.

(h) In multiple occupancy buildings, interior walls dividing the individual suites shall not end at the false ceiling but shall continue to the real roof.

(i) Exterior transoms or windows shall be deemed accessible if less than twelve (12) feet above ground or adjacent to any pedestrian walkway. Accessible windows and transoms having a pane or opening exceeding ninety-six (96) square inches, with the smallest dimension exceeding six (6) inches, and not visible from a public or private thoroughfare shall be protected in the following manner:

(1) Fully tempered glass or burglary resistant glazing; or (2) The following window barriers may be used but shall be secured with bolts, which are nonremovable from the exterior: a. Interior or exterior steel or iron bars of at least one-half (½) inch round or one by one-quarter (1 x ¼) inch flat metal spaced not more than five (5) inches apart and securely fastened; or

b. Interior or exterior iron or steel grills of at least one-eighth (1/s) inch metal with not more than a two (2) inch mesh and

(3) The protective bars or grills shall not interfere with the operation of opening windows if such windows are required to be

b. Iron or steel bars of at least one-half (1/2) inch round or one by one-fourth (1 x 1/4) inch flat metal spaced not more than five

opening exceeds eighteen (18) inches, cross members shall be welded into place, not more than eighteen (18) inches apart

(5) inches on center to cross the narrowest dimension of the opening being covered. If the narrowest dimension of that

beginning with a cross member at the center of the opening. Cross members shall be welded to each and every bar it

crosses. The entire bar assembly shall be mounted inside the skylight and shall be attached to the building structure by

means of machine bolts spaced not more than sixteen (16) inches apart or attached by means of an equivalent method

c. A steel or iron grill of at least one-eighth (1/8) inch metal with a maximum two (2) inch mesh mounted inside the skylight

d. These requirements do not apply on any structure with a height of thirty-five (35) feet or more where there is no readily

(2) All hatchway openings on the roof or any building or premises used for business purposes shall be secured as follows:

a. If the hatchway is of wooden material, it shall be covered on the inside with at least sixteen (16) U.S. gauge sheet steel,

b. The hatchway shall be secured from the inside with a slide bar or slide bolts which are attached by nonremovable bolts.

(3) All air duct or air vent openings exceeding ninety-six (96) square inches on the roof or exterior walls of any commercial

a. Iron or steel bars of at least one-half (1/2) inch round or one by one-fourth (1 x 1/4) inch flat metal spaced no more than five

d. The above must not interfere with venting requirements, creating potentially hazardous conditions to health and safety, or

(k) Permanently affixed ladders leading to roofs shall be fully enclosed with sheet metal to a height of ten (10) feet. This

pin tumbler operation with nonremovable key when in an unlocked position. Hinges on the cover will be provided with

covering shall be locked against the ladder with a case hardened hasp, secured with nonremovable screws or bolts and a

padlock with a minimum three-eighth (%) inch hardened steel shackle, locking at both heel and toe, and a minimum five (5)

(I) A building located within eight (8) feet of utility poles, trees or similar structures which allow access to the building's roof,

(1) The address number of every commercial building shall be located and displayed so that it shall be easily visible from the

street. The numerals in these numbers shall be no less than six (6) inches in height and be of a color contrasting to the

of light at ground level during hours of darkness. Lighting devices shall be protected by vandal resistant covers.

(n) Interior night lighting shall be maintained in those areas that are visible from the street (ground floors only).

placed as to make visible the whole of the elevator interior to prospective passengers outside the elevator.

key override shall be mastered to both the fire department and police department keys.

b. Any establishment manufacturing, storing or selling firearms and ammunition.

(2) Silent alarm system not requiring a central station hookup or supervised service:

c. Establishments selling or storing wholesale liquor, tobacco or drugs.

c. Establishments manufacturing, storing or selling electronic equipment.

e. Establishments manufacturing, storing or selling industrial tool supplies.

f. Establishments manufacturing, storing or selling cameras

- PROPERTY LINE

FACE

— - ——G CENTERLINE

DIMENSION LINE

COLUMN LINE/

SECTION CUT

\ ← SECTION IDENTIFICATION

4 \ DETAIL IDENTIFICATION

REFERENCE

← ELEVATION IDENTIFICATION

LETTERS IN ONE DIRECTION

SHEET WHERE SECTION IS DRAWN

DETAIL REFERENCE

____ SHEET WHERE DETAIL IS DRAWN

INTERIOR ELEVATION

NUMBERS IN THE OTHER DIRECTION

GRID LINE

(r) Any structure four (4) stories in height or greater will have a repeater installed in its roof.

(s) Establishments having specific type inventories shall be protected by the following alarm service:

(1) Silent alarm system with a central station hook-up and required twenty-four-hour supervised service:

(q) When access to or within a commercial complex is unduly difficult because of secured openings or where immediate

access is necessary for life saving or fire fighting purposes, a key override is to be installed in an accessible location. The

(4) Nothing in this subsection shall preclude the use of an alarm system providing a higher level of security than that which

DOOR SYMBOL

WINDOW SYMBOL

- WINDOW LETTER

REVISION

WORK POINT

MATCH LINE

DATUM POINT,

OR CONTROL POINT

SHADED PORTION INDICATES

THE SIDE CONSIDERED

AREA

NOTE SYMBOL

REVISION NUMBER WITH

CLOUD AROUND REVISED

1) COOR NUMBER

|3| or $\langle 3 \rangle \leftarrow$ NOTE NUMBER

business every operating day. At all other hours of darkness, a minimum maintained .25 footcandles of light shall be

windows or other openings shall have such access area barricaded or fenced with materials to deter human climbing.

c. Outside hinges on all hatchway openings shall be provided with nonremovable pins when using pin-type hinges.

b. Iron or steel grills of at least one-eighth (1/2) inch metal with a maximum two (2) inch mesh and securely fastened.

c. If the barrier is on the outside, it shall be secured with bolts which are nonremovable from the exterior.

conflict with the provisions of the Uniform Building Code or Title 19, California Administrative Code.

(m) The following standards for lighting and address markings shall apply to commercial buildings:

(1) All skylights on the roof of any building or premises used for business purposes shall be provided with:

openable by the Uniform Building Code.

a. Rated burglary resistant glazing; or

approved by the enforcing authority; or

or its equivalent, attached with screws.

(5) inches apart and securely fastened; or

nonremovable pins when using pin-type hinges.

provided at ground level.

lot shall also display the same numbers on the rear of the building.

(4) Exterior lighting shall not shine away from subject property

a. Jewelry store—Manufacturing, wholesale or retail.

f. Banks, savings and loan institutions and credit unions.

d. Establishments dealing in coins and stamps.

(3) Local or audible alarm system:

d. Facilities selling or storing furs.

b. Pawnshops.

a. Antique dealers

c. Service stations

b. Art galleries.

is required.

e. Precious metal storage facilities.

and secured by bolts which are nonremovable from the exterior.

available roof access as determined by the enforcing authority.

building shall be secured by covering same with either of the following:

(j) Roof openings shall be equipped as follows:

CITY OF SANTA ANA FIRE DEPARTMENT: FIRE DEPARTMENT PHONE NUMBER FOR FOR INSPECTIONS IS _____ WITH A MINIMUM OF 24-HOUR LEAD-TIME REQUIRED FOR INSPECTIONS.

ALL DESIGN AND PLANS ARE BASED AND SHALL COMPLY WITH THE FOLLOWING CODES:

2010 CALIFORNIA BUILDING CODE

2010 CALIFORNIA MECHANICAL CODE

2010 CALIFORNIA PLUMBING CODE 2010 CALIFORNIA ELECTRICAL CODE

TITLE 24

RESTROOMS AND KITCHEN

GOVERNING CODES

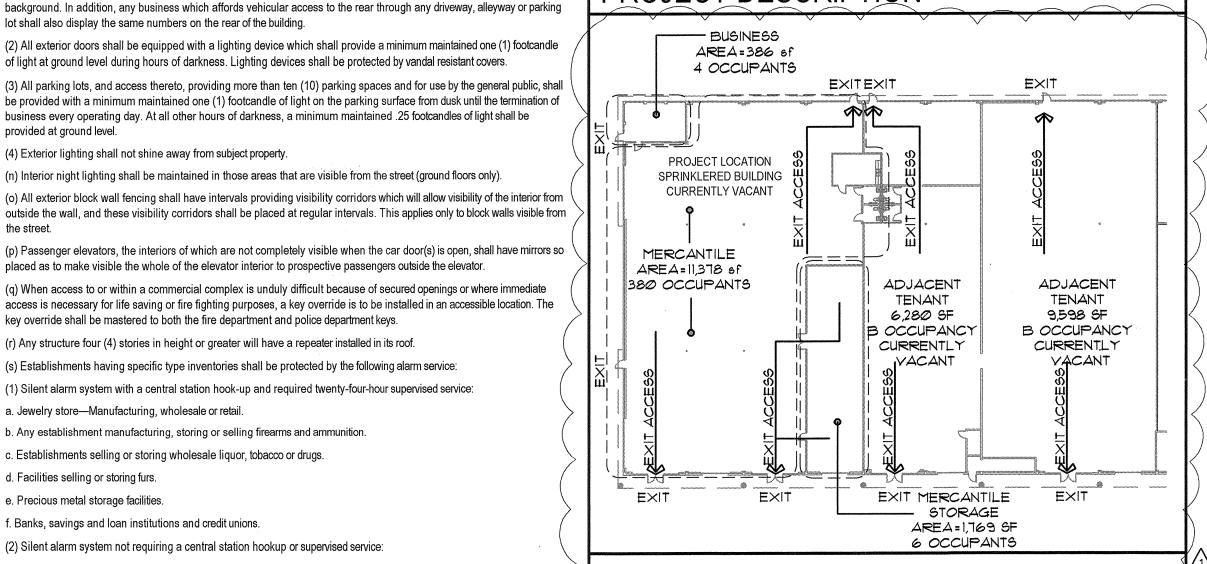
A 13,533 SF TENANT IMPROVEMENT LOCATED AT 1400 S. VILLAGE WAY IN SANTA ANA, CA. WITHIN AN EXISTING 39,313 S.F. BUILDING.

THE CURRENT BUILDING IS PARTIALLY OCCUPIED AND CONTAINS APPROX. A 10,000 SF MERCANTILE USE UNDER A PREVIOUS SEPARATE PERMIT. THE SUITE IS UNOCCUPIED AND THE ONLY IMPROVEMENTS ARE TWO

NEW IMPROVEMENTS INCLUDE REMOVING A PAIR OF DOORS CONNECTING AN ADJOINING SUITE AND REPAIRING THE WALL, INSTALLATION OF WALLS AND DOORS TO CREATE A NEW STORAGE ROOM, ENLARGING THE RESTROOMS AND NEW WALLS TO ENCLOSE THE KITCHEN.

PLANS WERE APPROVED BY CITY OF SANTA ANA DEVELOPMENT REVIEW COMMITTEE DP No.2011-16 MATER ID 2011-96786 ER No.2011-45

PROJECT DESCRIPTION



OCCUPANCY USE & LOAD

BUILDING H APN: 402-111-13, 402-111-14, 402-111-15 ZONING: M-1

GENERAL PLAN DESIGNATION: INDUSTRIAL

ALLOWED FLOOR AREA RATIO: NO LIMIT EXISTING LAND USE: WAREH., WSALE., RETAIL, MANUF., OFFICE PROPOSED LAND USE: NO ČHANGE

NOT TO SCALE

TYPE V-B-SPINKLERED

13,533 S.F. GROSS)

390

BUILDING "H" GROSS AREA: 39,813 S.F.

OCCUPANCY: M BUILDING CONST .: TYPE V-B-SPINKLERED BUILDING CODE YARDS - 4 EXIST. WALL CONST. — CAST CONCRETE EXISTING ROOF CONST. - FLAT MEMBRANE

RETAIL SPACE AUNOCCUPIED EXISTING USE:

BUILDING CONST. SUITE AREA:

EXISTING REQUIREMENTS

SALES AREA = 11,378 S.F. /30 = 380STORAGE ROOM = $1,769^{\circ}$ S.F. /300 = 6BUSINESS ROOM= 386 S.F. /100 = 4

TOTAL OCCUPANT LOAD TWO EXITS REQUIRED PER C.B.C 1015 TWO EXITS PROVIDED

OCCUPANT LOADS PER C.B.C. TABLE 1004.1.1

ARCHITECTURAL

TITLE SHEET, GENERAL NOTES, CODE ANALYSIS, SHEET INDEX, LEGAL DESCRIPTION, VICINITY MAP

A1.1 REFERENCE SITE PLAN A2.1 BUILDING FLOOR PLAN

A2.2 REFLECTED CEILING PLAN

INTERIOR DETAILS - DOOR SCHEDULE A3.2 WALL SECTIONS AND DETAILS

ARCHITECTS

ORANGE

144 North Orange Street • Orange, California 92866 • 714 639-9860

McFADDEN PLACE

PROPERTY OWNER: BRISTOL GROUP, INC. ATTN: 400 MONTGOMERY STREET

PROPERTY LANDLORD:

SAN FRANCISCO, CA. 94104

SHEET INDEX

MAKENA PROPERTIES. 26522 LA ALAMEDA SUITE 285 PAULA HALVERSOI MISSION VIEJO, CA. 92691 PHONE: (949) 348-3333

TENANT:

HABITAT FOR HUMANITY 2200 SOUTH RITCHEY KAREN THOMS SANTA ANA, CA. 92705 PHONE: (714)434-6200

OWNER CONSULTANTS <u>ARCHITECT</u>

ARCHITECTS ORANGE 144 NORTH ORANGE STREET DAVE BODDY ORANGE, CALIFORNIA 92866 JACK SELMAN PHONE: (714) 639-9860 FAX: (714) 639-5286 dboddy@architectsorange.com

MECHANICAL - (DESIGN-BUILD) BY CONTRACTOR

NOT INCLUDED PLUMBING -

ELECTRICAL - (DESIGN-BUILD) BY CONTRACTOR

DESIGN-BUILD REQUIREMENTS SHALL INCLUDE, BUT NOT

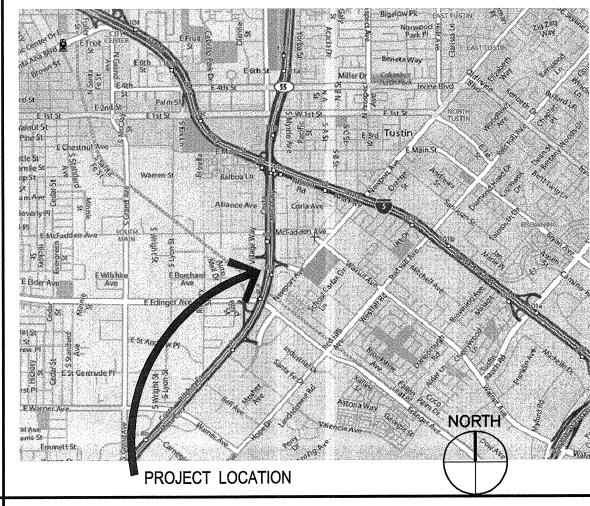
LIMITED TO: ENGINEERING AND DESIGN

CONSTRUCTION DRAWINGS 3. AGENCY PROCESSING AND APPROVAL 4. PLAN CHECK AND PERMIT FEE'S

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PROJECT TEAM

5. INSTALLATION



1400 S. Village Way Santa Ana, CA. 92705

BUILDING "H" TENANT IMPROVEMENT Habitat for Humanity

BRISTOL GROUP, INC. 400 MONTGOMERY STREET SAN FRANCISCO, CA. 94104

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DATE

2011-453

2011-453cs 02/17/12 Plot Date

PLAN CHECK CORR.

ACCESSIBILITY NOTES

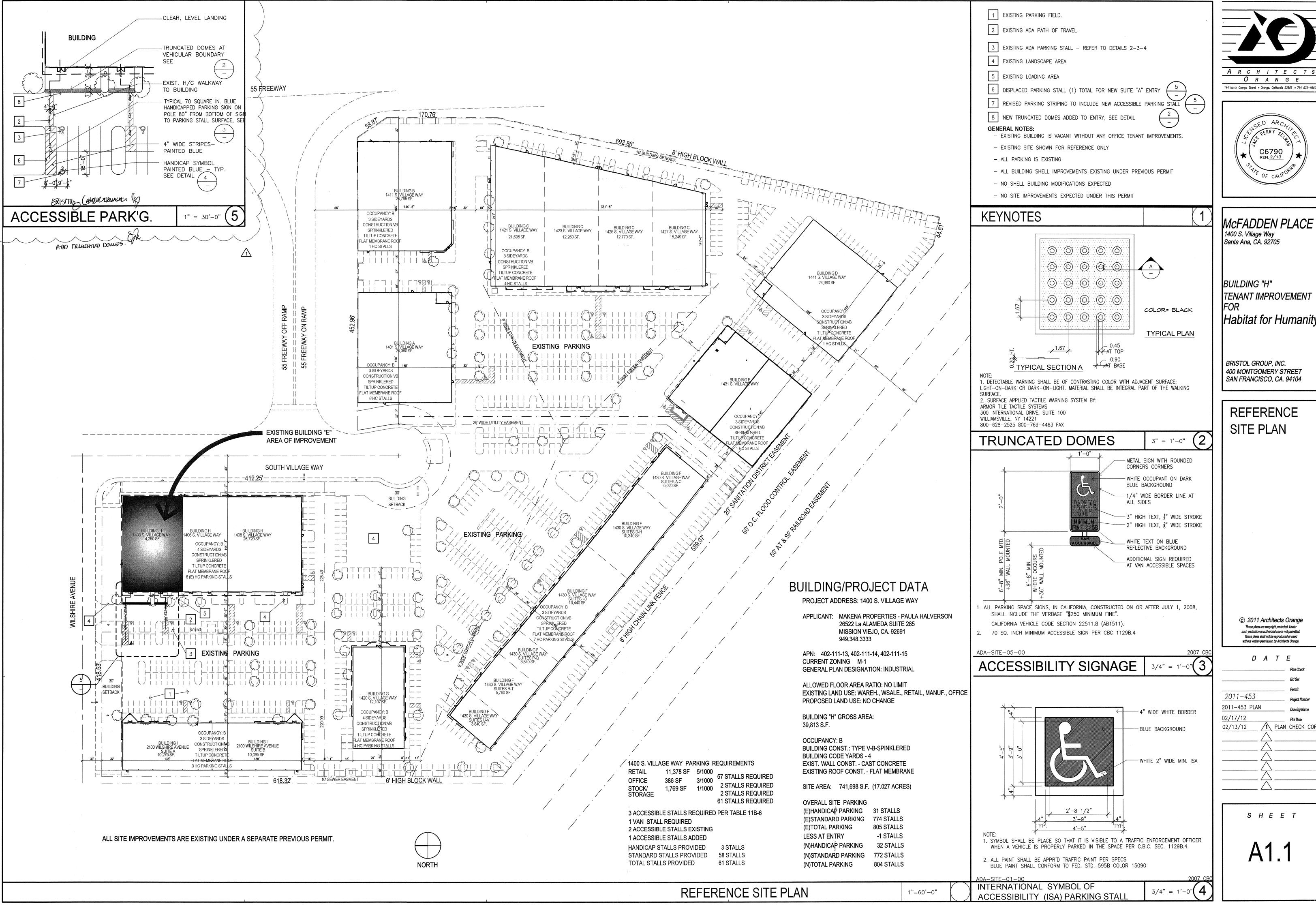
GENERAL NOTES

DRAWING SYMBOLS

BUILDING DATA / CODE ANALYSIS

VICINITY MAP

MAP NOT TO SCALE



ARCHITECTS ORANGE

C6790 REN. 2/13

McFADDEN PLACE 1400 S. Village Way Santa Ana, CA. 92705

BUILDING "H" TENANT IMPROVEMENT Habitat for Humanity

BRISTOL GROUP, INC. 400 MONTGOMERY STREET SAN FRANCISCO, CA. 94104

REFERENCE SITE PLAN

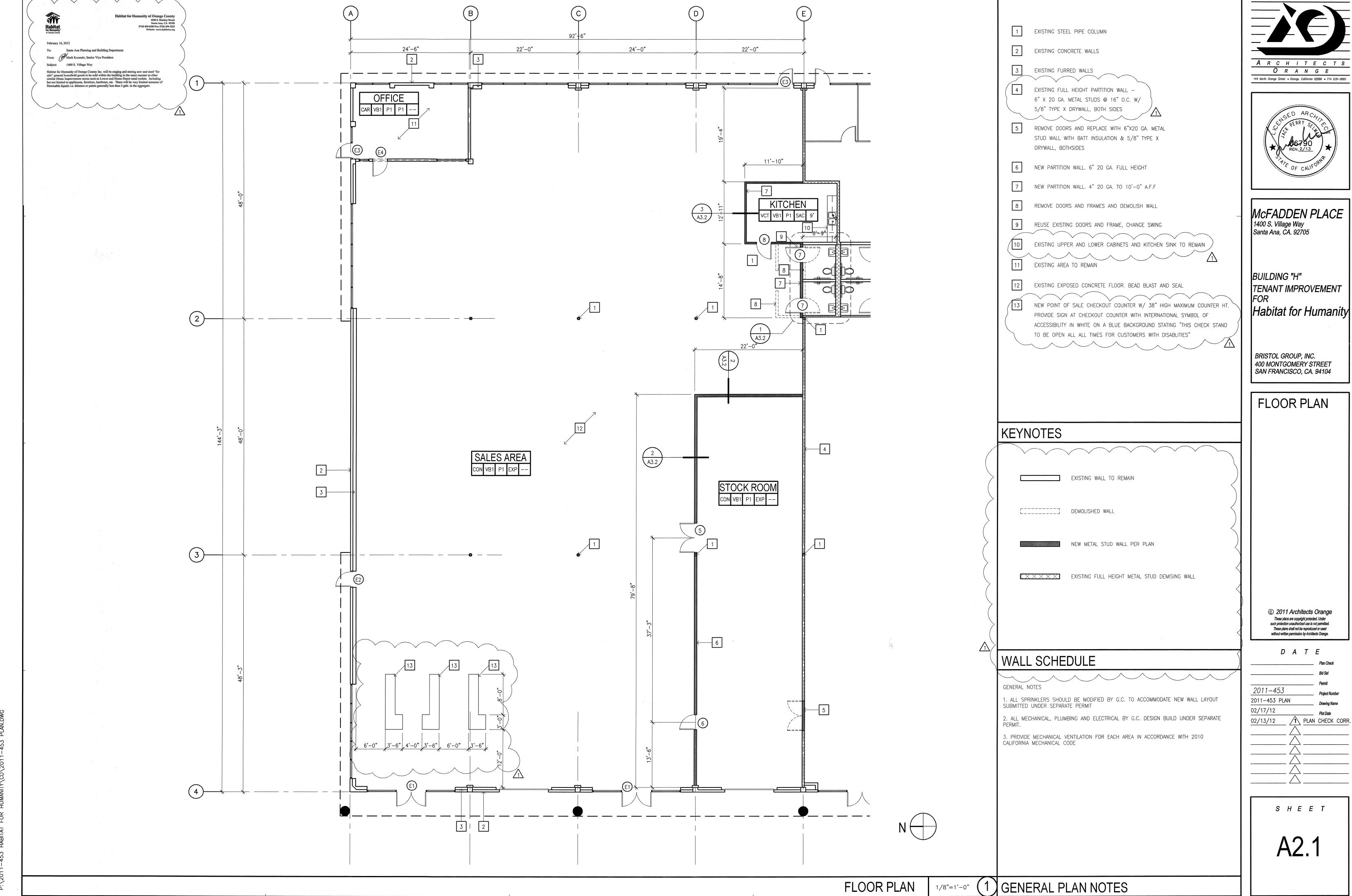
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D A T E2011-453 2011-453 PLAN

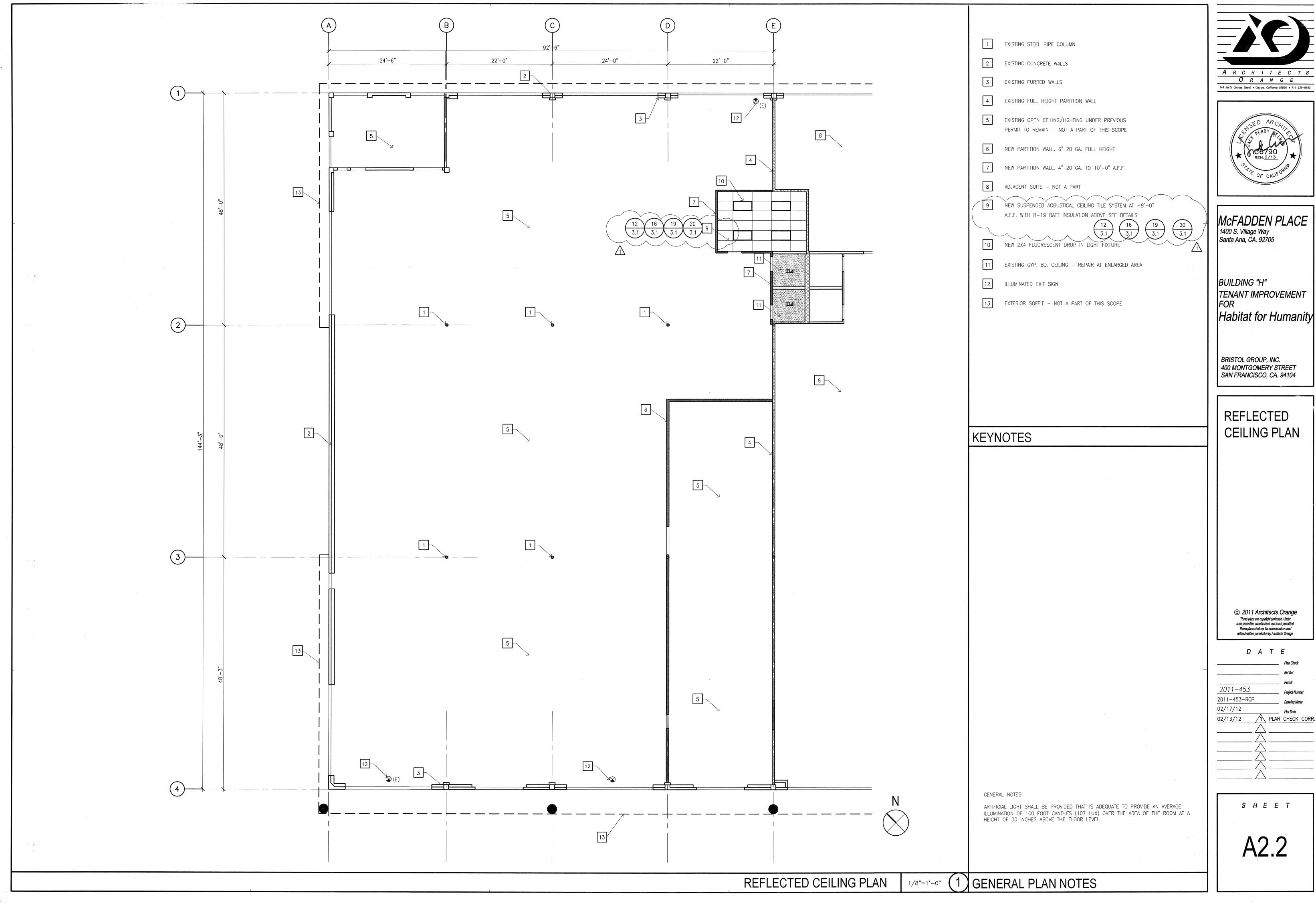
1 PLAN CHECK CORR.

SHEET

A1.1

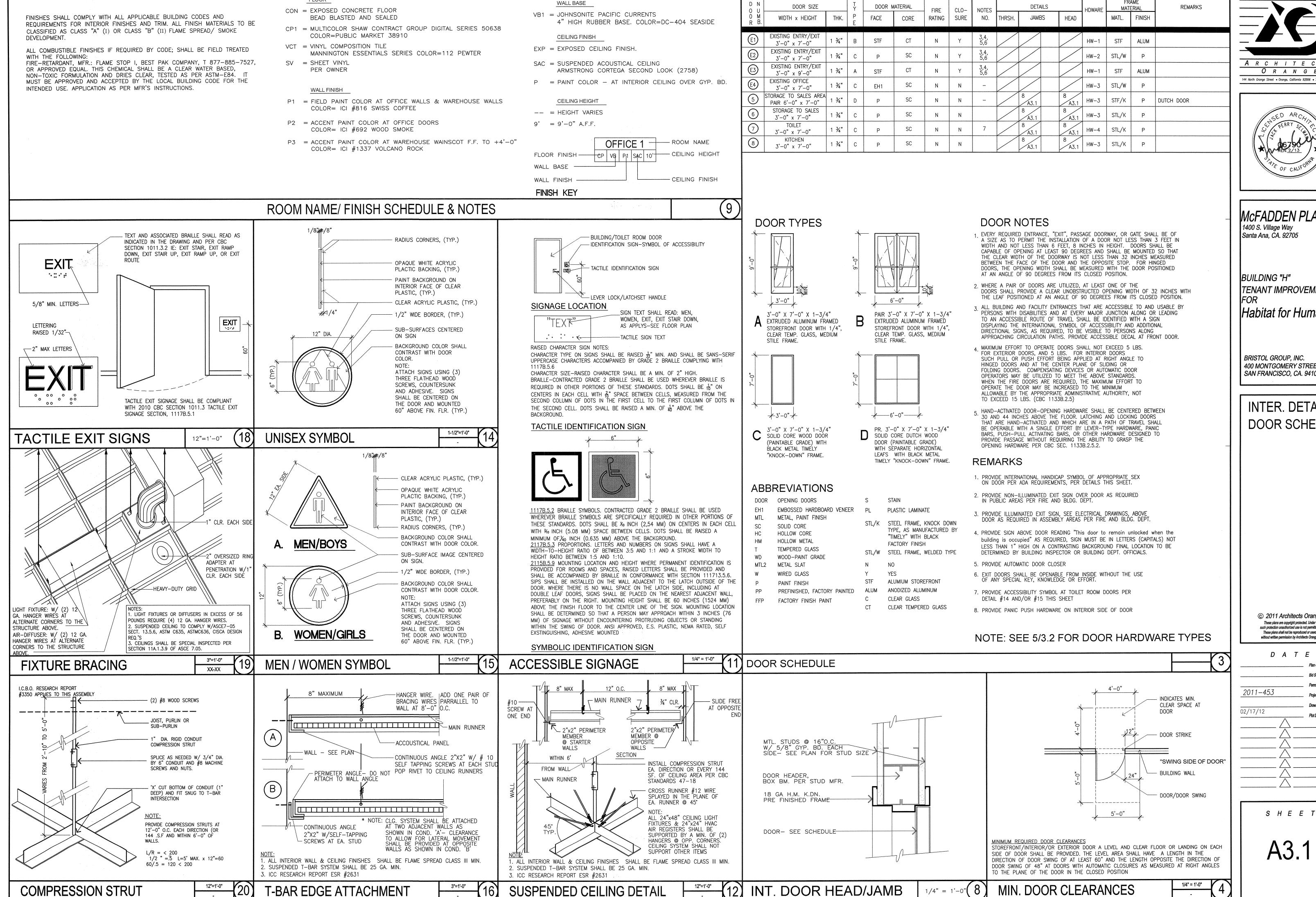


Jesday, January 03, 2012



144 North Orange Street • Orange, California 92866 • 714 639-9860





FLOOR

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ACFADDEN PLACE 1400 S. Village Way Santa Ana. CA, 92705

BUILDING "H" TENANT IMPROVEMENT |Habitat for Humanit

BRISTOL GROUP. INC. 400 MONTGOMERY STREET SAN FRANCISCO, CA. 94104

INTER. DETAILS DOOR SCHED.

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DATE2011-453 02/17/12

