

CITY OF SANTA ANA

1074233

BUILDING PERMIT WORKSHEET

PLEASE PRINT

1/14/09:forms/Bldg.App.Worksheet

PROJECT ADDRESS: <u>1400 S. VILLAGE WAY</u>		SUITE:	SAPIN #	
USE OF BUILDING:	RESIDENTIAL	<u>COMMERCIAL</u>	INDUSTRIAL	OTHER
				MASTER ID#
NATURE OF WORK:	NEW	ADD	<u>ALTER/T.I.</u>	DEMO
REROOF REPAIR SIGN MISC				
NEW/ADDITION/ALTERATION:				
1ST FL..	_____ SF	BASEMENT: YES/NO	_____ SF	NO. OF STORIES: _____
2ND FL..	_____ SF	PATIO/ENCL. PATIO:	_____ SF	BLDG. HEIGHT: _____
TOTAL OF OTHER FLS:	_____ SF	RES. REMODEL:	_____ SF	PROPOSED USE: _____
GARAGE/CARPORT:	_____ SF	ALTER/T.I.:	_____ SF	
JOB DESCRIPTION (non-residential projects see reverse side of this application) : _____				
<i>T.F with partition walls</i>				
BUILDING OWNER'S NAME: <u>MARKEA Properties / Bristol Group</u>			PHONE NO: <u>949-348-3333</u>	
ADDRESS: <u>400 montgomery</u>	CITY: <u>SAN FRAN</u>	STATE: <u>CA</u>	ZIP: <u>94104</u>	
TENANT'S NAME (Comm/Ind): <u>Inhabitar for Humanity</u>			PHONE NO:	
CONTRACTOR'S NAME: <u>R.D. Pinault CO</u>		STATE CONTR. #: <u>B 466473</u>	LICENSE CLASS: <u>B</u>	PHONE NO: <u>714 632 9441</u>
ADDRESS: <u>1230 N Jefferson ST D</u>	CITY: <u>San Anthon</u>	STATE: <u>CA</u>	ZIP: <u>92807</u>	
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER: <u>Architects Orange</u>		STATE LICENSE #: <u>C 6790</u>	PHONE NO: <u>639 9866</u>	
ADDRESS: <u>144 W. Orange ST</u>	CITY: <u>Orange</u>	STATE: <u>CA</u>	ZIP: <u>92866</u>	
CONTACT NAME: <u>Bob Pinault</u>		PHONE NO: <u>714 720 9118</u>		
E-MAIL ADDRESS: <u>Bob@rdpinaultcompany.com</u>		FAX NO: <u>714 632 0549</u>		

OFFICE USE ONLY: (ACC OR SPC (CIRCLE ONE)) 2 HRS PER KA BLDG. FEE \$ _____

OCC. GROUP: _____ RECEIPT #: 58702 P/C FEE PD \$ 207.25

TYPE OF CONSTR: _____ VALUATION: \$ 25,000 SUBMITTAL DATE: 12/6/12

FIRE SPKR: YES / NO A/C: YES / NO FLOOD ZONE: _____ PROCESSED: [Signature]

RES. DEV. FEE: YES / NO PRIOR DWELLING UNIT: YES / NO COMMENTS: _____

PLANNING OK TO CHECK & DATE _____ BLDG. DEPT. APPROVAL & DATE _____

PLNG CONDITIONS: costs to be applied for and approved prior to permit issuance

PLEASE CHECK ALL THAT APPLY TO YOUR PROJECT

JOB DESCRIPTION CHECKLIST:

- | | |
|--------------------------------------------------------------|---------------------------------------------------------------|
| <input type="checkbox"/> Additional square footage | <input checked="" type="checkbox"/> Partition walls |
| <input type="checkbox"/> Awnings | <input type="checkbox"/> Rated corridors |
| <input type="checkbox"/> Canopy | <input type="checkbox"/> Rated shafts |
| <input type="checkbox"/> Ceiling work | <input type="checkbox"/> Roof mounted equipment |
| <input type="checkbox"/> Change of occupancy (use) | <input type="checkbox"/> Security bars |
| <input type="checkbox"/> Disabled accessible (H/C) restrooms | <input type="checkbox"/> Screening for equipment |
| <input type="checkbox"/> Dust collector | <input type="checkbox"/> Skylights |
| <input type="checkbox"/> Elevator shaft | <input type="checkbox"/> Stairs |
| <input type="checkbox"/> Exterior doors or windows | <input type="checkbox"/> Storefront/facade improvements |
| <input type="checkbox"/> Equipment pads | <input type="checkbox"/> Storage racks or shelving over 5'-9" |
| <input type="checkbox"/> Interior demo | <input type="checkbox"/> Walk-in coolers |
| <input type="checkbox"/> Kitchen equipment | |

ITEMS REQUIRING SEPARATE BUILDING PERMIT APPLICATIONS:

- Block wall
- Card readers
- Complete demo
- Fence
- Fire signaling system
- Fire sprinklers
- Flagpole
- Lawn sprinkler system
- Light Standards
- Parking lot repaving
- Parking lot restriping
- Pedestrian protection
- Pool/Spa
- Signs
- Spray booth
- Temporary power pole
- Trash enclosure

FEE CHECKLIST WORKSHEET

Received by: _____

[Handwritten Signature]

SAPIN #: _____

1074233

FEE TYPE

REQUIRED

Yes No

Plan Check Fee

Disability Fee

SMIP Fee

Res. Dev. Fee

Fire Facility Fee

School Distr. Fee

Microfilm

FCWP Surcharge

CALCULATION AREA

COST/SQ FT

X

TOTAL SQ FT

=

VALUATION

Contract

Counter computations/valuation \$

25,000

Plan checker computation/final valuation \$ _____

CITY OF SANTA ANA PLAN CHECK - CHECKLIST

JOB ADDRESS: 1400 S. Village way
 TRACKING #: 10774233 DATE: 1-26-12

FOR PLANCHECK STATUS CALL (714) 647-5800

PLEASE INITIAL EACH ITEM BELOW

- Q 1. I agree to pay a plancheck fee established for this project with the understanding that this payment is not a guarantee that a permit will be issued and that this fee is not refundable once a plancheck has commenced.
- Q 2. I understand that I may request an "Accelerated Plancheck" at an additional cost to me. This plancheck will be performed by an in-house plan checker with the intention of reducing plancheck time for the Building & Safety Division.
- Q 3. I understand that the project valuation (from which plancheck and permit fees are calculated) will be reviewed during the plancheck process and that said valuation shall be adjusted up or down in accordance with established fee computation regulations.
- Q 4. I understand that I shall submit separate plans, applications and plancheck fees for the following when plan check is required:

a. Electrical Plans - 2 complete sets	c. Mechanical Plans - 2 complete sets
b. Plumbing Plans - 3 complete sets	d. Grading Plans - 3 complete sets
- Q 5. I understand that I shall visit the Public Works Department to verify whether a field inspection of the property is required. I understand that prior to the issuance of the Building permit I am required to obtain Public Works Agency approval if my project valuation exceeds \$30,000 or has added plumbing fixtures, or added bedrooms, or exceeds 500 sq.ft.

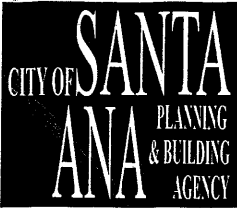
AGREED TO BY APPLICANT OR AGENT

Applicant's Signature: [Signature]
 Print Name: P. D. Pinault Address: 1230 N. Jefferson St. D
 Telephone Number: 714 632 9441 Fax: 714 632 0549

FOR OFFICE USE ONLY: "Checklist of items discussed" APPROVALS & FEES REQUIRED: Y/N

- | | | |
|------------------------------------------------------------|-------------------------------------------------------------------|--------------------------------------------------------------|
| <input checked="" type="checkbox"/> 1. Planning Department | <input checked="" type="checkbox"/> 7. Title 24 (Energy) | <input checked="" type="checkbox"/> 14. Constr. Act. Req. |
| <input checked="" type="checkbox"/> 2. Public Works Agency | <input checked="" type="checkbox"/> 8. Title 24 (Disabled Access) | <input type="checkbox"/> 15. Res. Dev. Fees |
| <input checked="" type="checkbox"/> 3. Fire Department | <input checked="" type="checkbox"/> 9. Roof Mounted Equip. | <input checked="" type="checkbox"/> 16. SMIP |
| <input type="checkbox"/> 4. Police Department | <input checked="" type="checkbox"/> 10. List of Subcontr. | <input checked="" type="checkbox"/> 17. Microfilming |
| <input type="checkbox"/> 5. School District | <input checked="" type="checkbox"/> 11. Bldg. Pmt. Info. | <input checked="" type="checkbox"/> 18. Const. Debris Recyc. |
| <input type="checkbox"/> 6. Health Department | <input checked="" type="checkbox"/> 12. Summary of Appr. Req. | <input checked="" type="checkbox"/> 19. FCWP Surcharge |
| | <input checked="" type="checkbox"/> 13. FY Information | <input type="checkbox"/> 20. LOA/Owner-Builder Ver. |

PERMIT TECHNICIAN: [Signature]



Planning & Building Agency
 Permits & Plan Check Section
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

ACCELERATED PLAN CHECK REQUEST

HO18: 07-01-11

Project Address: 1400 S Village

Misc. Receipt: 58702 Processed By: [Signature] Plan Checked By: [Signature]

Cost: \$117.70 per hour for each discipline. The plan checker will estimate the number of hours for review. This fee is in addition to the regular plan check fee.

Type of Plan Check: Building 1074233 Electrical _____
 Est. Hrs. 2 Actual _____ Est. Hrs. _____ Actual _____
 Plumbing _____ Mechanical _____
 Est. Hrs. [Signature] Actual [Signature] Est. Hrs. _____ Actual _____

Owner/Representative Signature: [Signature]

Print Name: R.O. Pinard Date: _____

Telephone Number: (714) 632 9441 Fax Number: (714) 632-549

An accelerated plan check review will not include the following:

Fire, Police, Public Works, Planning or Landscaping Plan Check

Revisions: If requesting an "accelerated revision", the cost will be \$207.25 per hour in addition to the accelerated fee of \$117.70 per hour (total \$324.95).

INTERNAL USE ONLY

Name (Last, First, Initial)		Employee #	Division
From (Date & Time)	To (Date & Time)	Total Hours Worked	<input type="text"/> Comp Time Requested <input type="text"/> Overtime Requested
Employee Signature: _____ Date: _____			
AUTHORIZED <input type="text"/> Comp time <input type="text"/> Overtime Immediate Supervisor _____ Date _____		APPROVALS Division Manager _____ Date _____ Executive Director _____ Date _____	



Planning & Building Agency
 Building Safety Division
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

TENANT IMPROVEMENT PLAN CHECK COMMENTS

PLAN CHECK NO:	10174233	
PROJECT ADDRESS:	1400 S Village Way	
PLAN CHECK ENGINEER:	Ahangian, Kathy	TEL: 714 647-5812
		FAX: 714 647-5897
TYPE OF CONSTRUCTION:	III B, SPK	
OCCUPANCY CLASSIFICATION(S):	M, S1	
PLAN CHECK DATES:		REMARKS/RECHECK ITEMS:
APPLICATION	1/26/2012	
INITIAL REVIEW	2/4/2012	
EXPIRATION	7/24/2012	
RECHECKS:	1. 2-27-2012	PROJECT APPLICANT CONTACT PERSON:
	2.	Bob Pinault
	3.	TEL: (714)632-9441
VALUATION:	\$25,000.00	FAX:
FLOOD ZONE:	X-0602320277J	EMAIL: bob@rdpinaultcompany.com

**APPLICABLE CODE: 2010 CALIFORNIA BUILDING CODE (CBC) WITH
 CITY OF SANTA ANA AMENDMENTS**

1. All items noted on this plan check report must be addressed. If you feel that an item is not applicable to your project, note "N/A" and discuss the reason with the plan checker.
2. Please indicate the sheet number and detail to the right of each correction, or note the number on the plans where the correction is made. Resubmit marked original, calculations and this correction sheet. A separate sheet for response may be used.
3. Resubmit 3 corrected sets of plans.
4. Meetings between the project applicant/designer and the plan reviewer shall be by appointment only. Please call (714) 647-5812 for an appointment.
5. Please return marked up set of drawings with corrections.

6. CBC Sections A106.1 and A106.3.4.1, All drawings and supporting documents shall be prepared, stamped and signed by a California licensed architect or registered civil engineer.

7. This review does not include mechanical, plumbing, fire sprinkler system, or electrical work. Separate plans, applications, fees, plan checks, and permits are required for mechanical, plumbing, fire sprinkler systems, and electrical work. Call 647-5800 for information.

8. The applicant shall obtain clearances/approvals for the following prior to building permit issuance:

- Planning Division approval on the corrected/final set of drawings (647-5804.) Previously approved plans should be submitted to expedite the process.
- Fire Department approval on the corrected/final sets of drawings (647-5839 or 647-5700)
- Police Department approval on the corrected/final set of drawings (647-5840)
- Public Works Agency approval (647-5039)
- Proof of Worker's Compensation Insurance shall be required at the time of permit issuance

9. Please fill out attached handicap compliance form.

10. Clarify existing use of the building.

11. Enlarge path of travel to show complete compliance with H/C accessibility.

12. Provide complying exiting plan for the "reminder" area (adjacent unit) Note the use of adjacent units.

13. Provide info to show type of material and items are being stored in the stock room.

14. Verify if the kitchen sink is new or existing , if new show it is in compliance with H/C accessibility.

15. CBC Section 1110B.1.3, Check Stands CBC Table 11B-2:

NUMBER OF REGULAR CHECKSTANDS	NUMBER TO BE ACCESSIBLE
1 to 4	1
5 to 8	2
9 to 15	3
Over 15	3 plus 20% of additional aisles

- In new and existing construction, accessible check stands shall provide a clear checkout aisle width of 36" with a maximum adjoining counter height not exceeding 38" above the finish floor.
- The top of the counter lip shall not exceed 40" above the finish floor.
- Accessible check stands shall always be open to customers with disabilities and shall be identified by a sign clearly visible to those in wheelchairs. The sign shall display the international symbol of accessibility in white on a blue background and shall state "This check stand to be open at all times for customers with disabilities."

16. The reflected ceiling plan and details must show compliance with CBC Sections 711.3.1, 803, 1613, and 1705 (special inspection) for suspended ceiling systems.

~~17. Show height of the demising wall on detail 2/ A-3.2.~~

~~2-22-22~~

Type X. Dry wall.

Limiting Wall Height Tables — Non-Composite

Interior Non-Structural Non-Composite

(S) Stud Member	Fy (ksi)	Spacing (in) o.c.	5 psf			7.5 psf			10 psf		
			L/120	L/240	L/360	L/120	L/240	L/360	L/120	L/240	L/360
362S125-27	33	12	18' 10"	16' 6"	14' 5"	15' 5"	14' 5"	12' 7"	13' 4"	13' 1"	11' 5"
362S125-27	33	16	16' 4"	15' 0"	13' 1"	13' 4"	13' 1"	11' 5"	11' 7"	11' 7"	10' 5"
362S125-27	33	24	13' 4"	13' 1"	11' 5"	10' 11"	10' 11"	10' 0"	9' 5"	9' 5"	9' 1"
362S125-30	33	12	20' 3"	17' 0"	14' 10"	16' 7"	14' 10"	13' 0"	14' 4"	13' 6"	11' 10"
362S125-30	33	16	17' 7"	15' 6"	13' 6"	14' 4"	13' 6"	11' 10"	12' 5"	12' 3"	10' 9"
362S125-30	33	24	14' 4"	13' 6"	11' 10"	11' 8"	11' 8"	10' 4"	10' 2"	10' 2"	9' 4"
362S125-33	33	12	21' 11"	17' 7"	15' 4"	17' 10"	15' 4"	13' 5"	15' 6"	14' 0"	12' 2"
362S125-33	33	16	18' 11"	16' 0"	14' 0"	15' 6"	14' 0"	12' 2"	13' 5"	12' 8"	11' 1"
362S125-33	33	24	15' 6"	14' 0"	12' 2"	12' 8"	12' 2"	10' 8"	10' 11"	10' 11"	9' 8"
362S125-43	33	12	24' 2"	19' 2"	16' 9"	21' 1"	16' 9"	14' 8"	18' 10"	15' 3"	13' 4"
362S125-43	33	16	21' 11"	17' 5"	15' 3"	18' 10"	15' 3"	13' 4"	16' 4"	13' 10"	12' 1"
362S125-43	33	24	18' 10"	15' 3"	13' 4"	15' 4"	13' 4"	11' 7"	13' 4"	12' 1"	10' 7"
362S125-54	50	12	25' 10"	20' 6"	17' 11"	22' 7"	17' 11"	15' 8"	20' 6"	16' 3"	14' 2"
362S125-54	50	16	23' 5"	18' 7"	16' 3"	20' 6"	16' 3"	14' 2"	18' 7"	14' 9"	12' 11"
362S125-54	50	24	20' 6"	16' 3"	14' 2"	17' 11"	14' 2"	12' 5"	16' 3"	12' 11"	11' 3"
362S125-68	50	12	27' 7"	21' 11"	19' 2"	24' 1"	19' 2"	16' 9"	21' 11"	17' 5"	15' 2"
362S125-68	50	16	25' 1"	19' 11"	17' 5"	21' 11"	17' 5"	15' 2"	19' 11"	15' 10"	13' 10"
362S125-68	50	24	21' 11"	17' 5"	15' 2"	19' 2"	15' 2"	13' 3"	17' 5"	13' 10"	12' 1"
400S125-18	33	12	14' 9" e	14' 9" e	13' 6" e	12' 1" e	12' 1" e	11' 9" e	10' 5" e	10' 5" e	10' 5" e
400S125-18	33	16	12' 10" e	12' 10" e	12' 3" e	10' 5" e	10' 5" e	10' 5" e	9' 1" e	9' 1" e	9' 1" e
400S125-18	33	24	10' 5" e	10' 5" e	10' 5" e	8' 6" e	8' 6" e	8' 6" e	7' 5" e	7' 5" e	7' 5" e
400S125-27	33	12	19' 11"	17' 10"	15' 7"	16' 3"	15' 7"	13' 7"	14' 1"	14' 1"	12' 4"
400S125-27	33	16	17' 3"	16' 2"	14' 2"	14' 1"	14' 1"	12' 4"	12' 2"	12' 2"	11' 3"
400S125-27	33	24	14' 1"	14' 1"	12' 4"	11' 6"	11' 6"	10' 9"	9' 11"	9' 11"	9' 10"
400S125-30	33	12	21' 5"	18' 5"	16' 1"	17' 6"	16' 1"	14' 0"	15' 2"	14' 7"	12' 9"
400S125-30	33	16	18' 6"	16' 8"	14' 7"	15' 2"	14' 7"	12' 9"	13' 1"	13' 1"	11' 7"
400S125-30	33	24	15' 2"	14' 7"	12' 9"	12' 4"	12' 4"	11' 2"	10' 8"	10' 8"	10' 1"
400S125-33	33	12	23' 2"	19' 0"	16' 7"	18' 11"	16' 7"	14' 6"	16' 4"	15' 1"	13' 2"
400S125-33	33	16	20' 0"	17' 3"	15' 1"	16' 4"	15' 1"	13' 2"	14' 2"	13' 9"	12' 0"
400S125-33	33	24	16' 4"	15' 1"	13' 2"	13' 4"	13' 2"	11' 6"	11' 7"	11' 7"	10' 6"
400S125-43	33	12	26' 1"	20' 9"	18' 1"	22' 10"	18' 1"	15' 10"	19' 11"	16' 5"	14' 4"
400S125-43	33	16	23' 9"	18' 10"	16' 5"	19' 11"	16' 5"	14' 4"	17' 3"	14' 11"	13' 1"
400S125-43	33	24	19' 11"	16' 5"	14' 4"	16' 3"	14' 4"	12' 7"	14' 1"	13' 1"	11' 5"
400S125-54	50	12	27' 11"	22' 2"	19' 4"	24' 5"	19' 4"	16' 11"	22' 2"	17' 7"	15' 4"
400S125-54	50	16	25' 4"	20' 2"	17' 7"	22' 2"	17' 7"	15' 4"	20' 2"	16' 0"	13' 11"
400S125-54	50	24	22' 2"	17' 7"	15' 4"	19' 4"	15' 4"	13' 5"	17' 7"	13' 11"	12' 2"
400S125-68	50	12	29' 10"	23' 8"	20' 8"	26' 1"	20' 8"	18' 1"	23' 8"	18' 10"	16' 5"
400S125-68	50	16	27' 2"	21' 6"	18' 10"	23' 8"	18' 10"	16' 5"	21' 6"	17' 1"	14' 11"
400S125-68	50	24	23' 8"	18' 10"	16' 5"	20' 8"	16' 5"	14' 4"	18' 10"	14' 11"	13' 0"
600S125-27	33	12	26' 8" e	24' 4" e	21' 3" e	21' 10" e	21' 3" e	18' 7" e	18' 11" e	18' 11" e	16' 10" e
600S125-27	33	16	23' 2" e	22' 1" e	19' 4" e	18' 11" e	18' 11" e	16' 10" e	16' 4" e	16' 4" e	15' 4" e
600S125-27	33	24	18' 11" e	18' 11" e	16' 10" e	15' 5" e	15' 5" e	14' 9" e	13' 4" e	13' 4" e	13' 4" e
600S125-30	33	12	28' 10"	25' 2"	22' 0"	23' 6"	22' 0"	19' 3"	20' 4"	20' 0"	17' 6"
600S125-30	33	16	24' 11"	22' 11"	20' 0"	20' 4"	20' 0"	17' 6"	17' 8"	17' 8"	15' 10"
600S125-30	33	24	20' 4"	20' 0"	17' 6"	16' 8" e	16' 8" e	15' 3"	14' 5" e	14' 5" e	13' 8" e
600S125-33	33	12	31' 2"	26' 2"	22' 10"	25' 6"	22' 10"	19' 11"	22' 1"	20' 9"	18' 1"
600S125-33	33	16	27' 0"	23' 9"	20' 9"	22' 1"	20' 9"	18' 1"	19' 1"	18' 10"	16' 8"
600S125-33	33	24	22' 1"	20' 9"	18' 1"	18' 0"	18' 0"	15' 10"	15' 7" e	15' e	13' 8" e
600S125-43	33	12	36' 2"	28' 9"	25' 1"	31' 3"	25' 1"	21' 11"	27' 0"	22' 10"	19' 11"
600S125-43	33	16	32' 11"	26' 1"	22' 10"	27' 0"	22' 10"	19' 11"	23' 5"	20' 9"	18' 1"
600S125-43	33	24	27' 0"	22' 10"	19' 11"	22' 1"	19' 11"	17' 5"	19' 1"	18' 1"	15' 10"
600S125-54	50	12	38' 9"	30' 9"	26' 10"	33' 10"	26' 10"	23' 6"	30' 9"	24' 5"	21' 4"
600S125-54	50	16	35' 3"	27' 11"	24' 5"	30' 9"	24' 5"	21' 4"	27' 11"	22' 2"	19' 10"
600S125-54	50	24	30' 9"	24' 5"	21' 4"	26' 10"	21' 4"	18' 8"	24' 5"	19' 5"	16' 4"
600S125-68	50	12	41' 7"	33' 0"	28' 10"	36' 4"	28' 10"	25' 2"	33' 0"	26' 2"	22' 10"
600S125-68	50	16	37' 9"	30' 0"	26' 2"	33' 0"	26' 2"	22' 10"	30' 0"	23' 9"	20' 9"
600S125-68	50	24	33' 0"	26' 2"	22' 10"	28' 10"	22' 10"	20' 0"	26' 2"	20' 9"	18' 2"
800S125-43	33	12	45' 1"	36' 1"	31' 6"	36' 10"	31' 6"	27' 6"	31' 11"	28' 8"	25' 0"
800S125-43	33	16	39' 1"	32' 9"	28' 8"	31' 11"	28' 8"	25' 0"	27' 8"	26' 0"	22' 9"
800S125-43	33	24	31' 11"	28' 8"	25' 0"	28' 1"	25' 0"	21' 10"	22' 7"	22' 7"	19' 10"
800S125-54	50	12	48' 10"	38' 9"	33' 10"	42' 8"	33' 10"	29' 7"	38' 9"	30' 9"	26' 10"
800S125-54	50	16	44' 4"	35' 2"	30' 9"	38' 9"	30' 9"	26' 10"	35' 2"	27' 11"	24' 5"
800S125-54	50	24	38' 9"	30' 9"	26' 10"	33' 10"	26' 10"	23' 6"	30' 8"	24' 5"	21' 4"
800S125-68	50	12	52' 10"	41' 11"	36' 8"	46' 2"	36' 8"	32' 0"	41' 11"	33' 4"	29' 1"
800S125-68	50	16	48' 0"	38' 1"	33' 4"	41' 11"	33' 4"	29' 1"	38' 1"	30' 3"	26' 5"
800S125-68	50	24	41' 11"	33' 4"	29' 1"	36' 8"	29' 1"	25' 5"	33' 4"	26' 5"	23' 1"

ACCEPTED FOR CONSTRUCTION

SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING & MECHANICAL WORK. This set of Plans and Specifications must be read in full at all times and it is unlawful to make any alterations on same without written approval of Santa Ana.

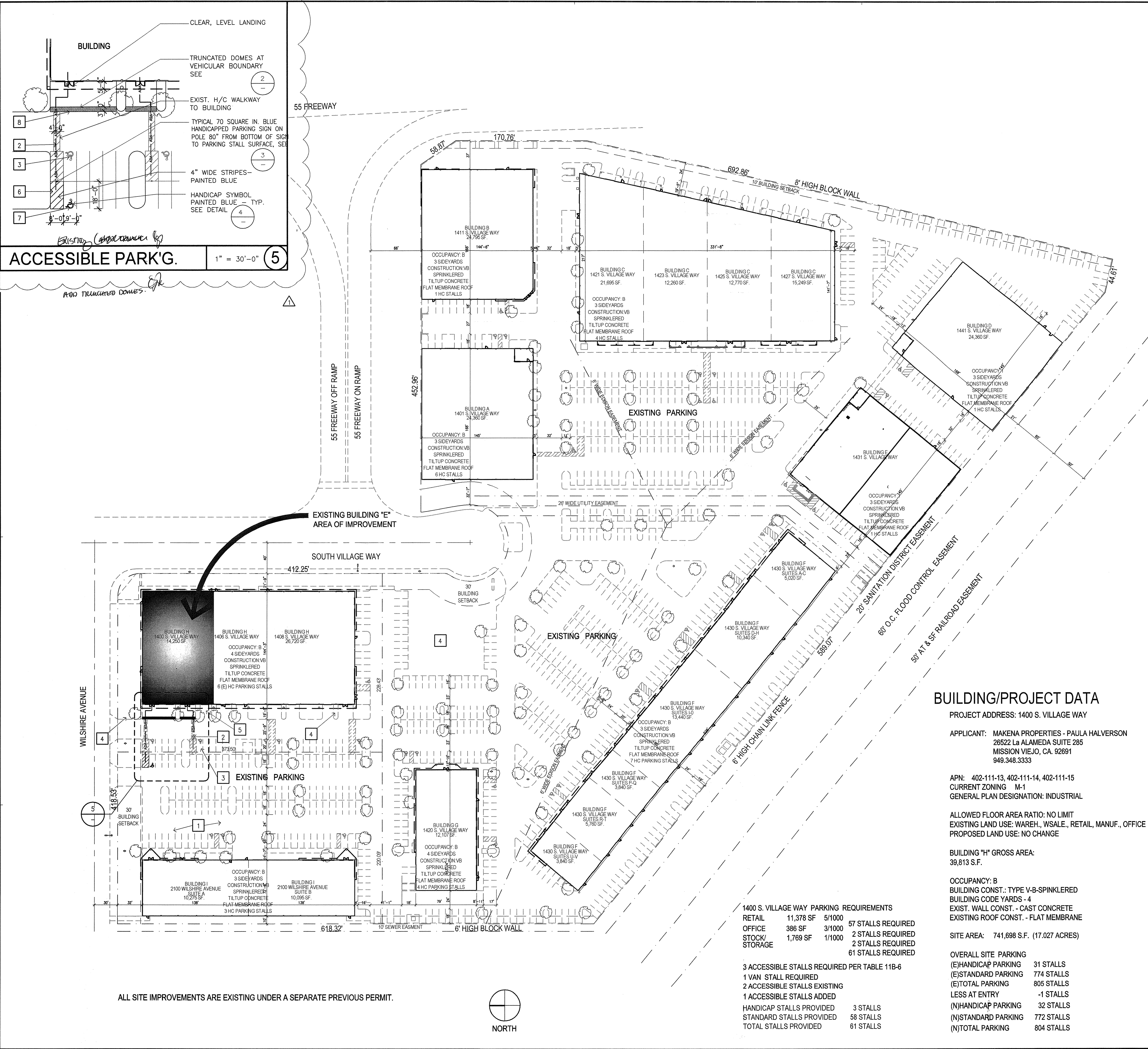
The acceptance of this plan and specifications shall be held to permit not be an approval of the provisions of ANY City Ordinance.

Accepted By _____

Date Issued _____

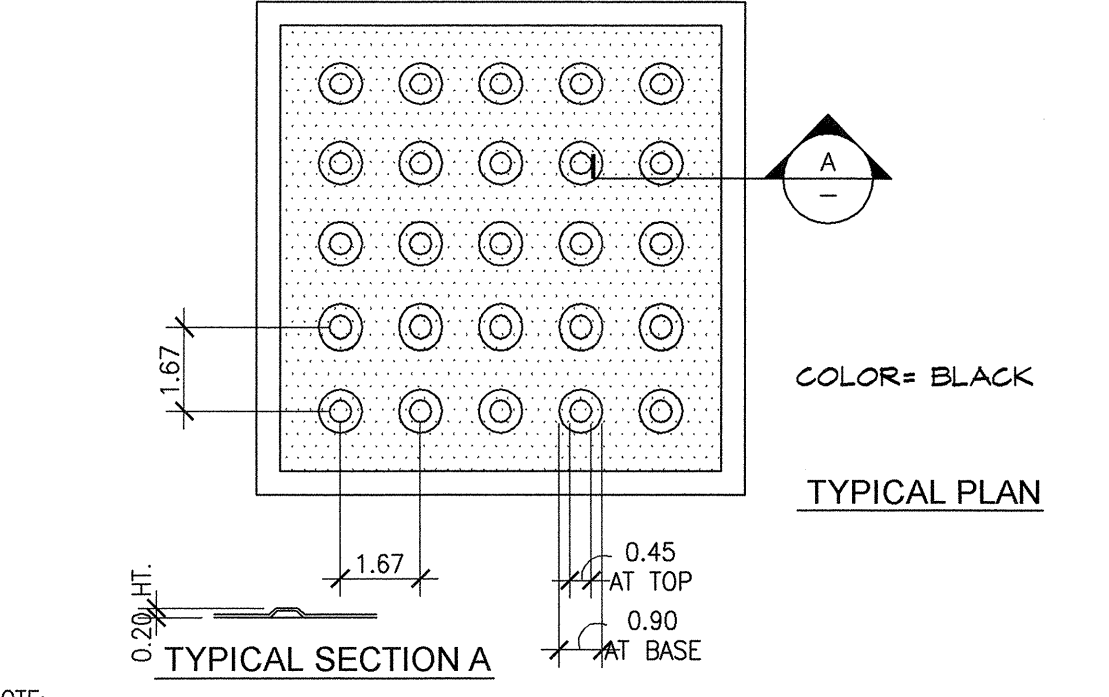
See Interior Non-Structural Non-Composite Table Notes on previous page





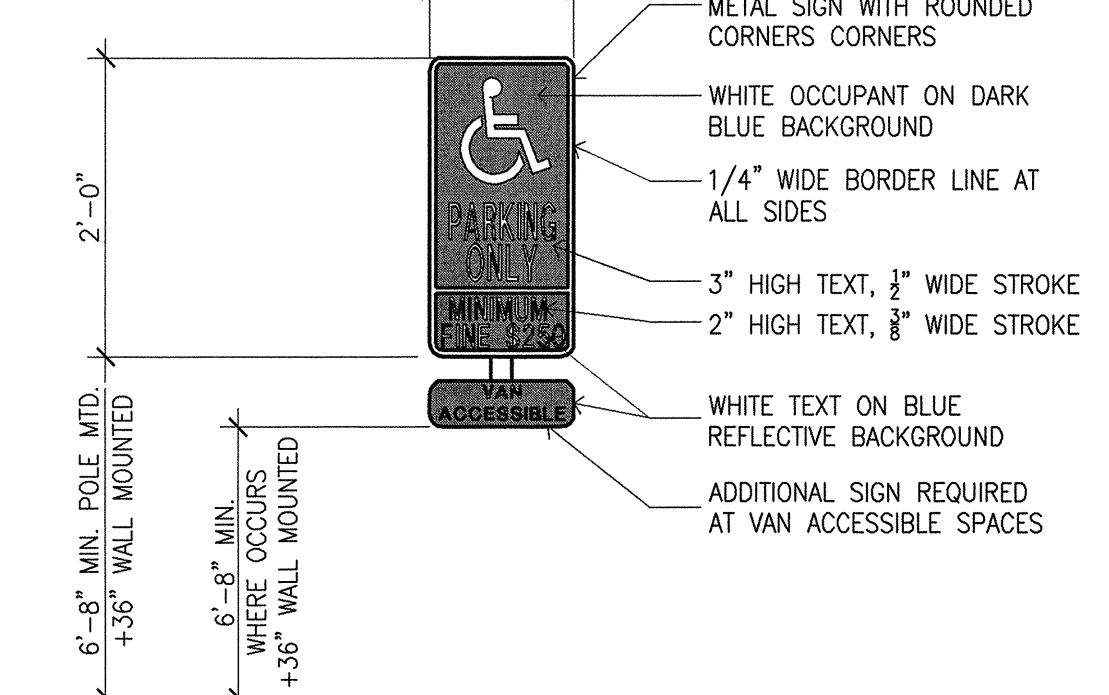
- 1 EXISTING PARKING FIELD.
 - 2 EXISTING ADA PATH OF TRAVEL
 - 3 EXISTING ADA PARKING STALL - REFER TO DETAILS 2-3-4
 - 4 EXISTING LANDSCAPE AREA
 - 5 EXISTING LOADING AREA
 - 6 DISPLACED PARKING STALL (1) TOTAL FOR NEW SUITE "A" ENTRY
 - 7 REVISED PARKING STRIPING TO INCLUDE NEW ACCESSIBLE PARKING STALL
 - 8 NEW TRUNCATED DOMES ADDED TO ENTRY. SEE DETAIL
- GENERAL NOTES:**
- EXISTING BUILDING IS VACANT WITHOUT ANY OFFICE TENANT IMPROVEMENTS.
 - EXISTING SITE SHOWN FOR REFERENCE ONLY
 - ALL PARKING IS EXISTING
 - ALL BUILDING SHELL IMPROVEMENTS EXISTING UNDER PREVIOUS PERMIT
 - NO SHELL BUILDING MODIFICATIONS EXPECTED
 - NO SITE IMPROVEMENTS EXPECTED UNDER THIS PERMIT

KEYNOTES



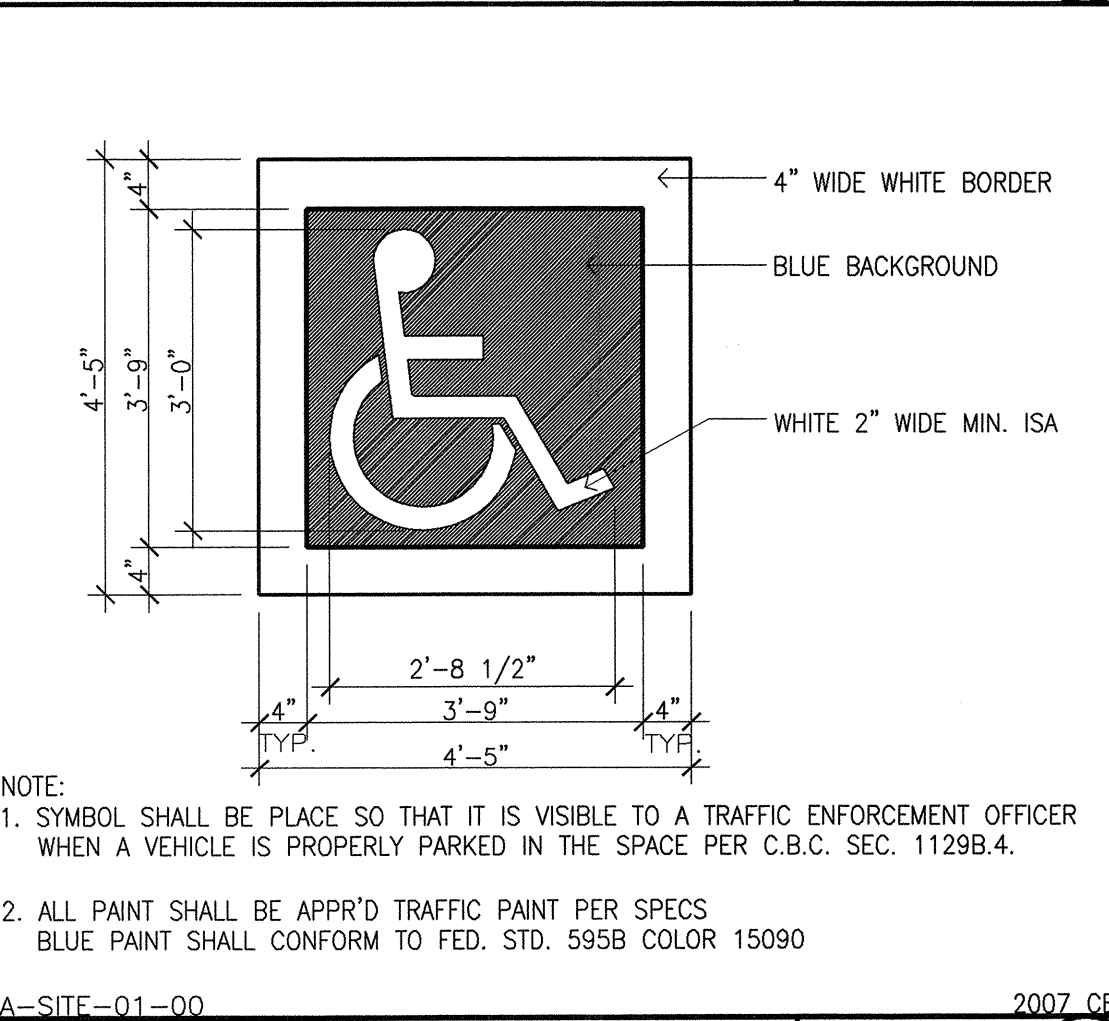
- NOTE:**
1. DETECTABLE WARNING SHALL BE OF CONTRASTING COLOR WITH ADJACENT SURFACE. LIGHT-ON-DARK OR DARK-ON-LIGHT. MATERIAL SHALL BE INTEGRAL PART OF THE WALKING SURFACE.
 2. SURFACE APPLIED TACTILE WARNING SYSTEM BY: ARMOR TILE TACTILE SYSTEMS, 300 INTERNATIONAL DRIVE, SUITE 100, WILLIAMSVILLE, NY 14221, 800-628-2525 800-789-4463 FAX

TRUNCATED DOMES



1. ALL PARKING SPACE SIGNS, IN CALIFORNIA, CONSTRUCTED ON OR AFTER JULY 1, 2008, SHALL INCLUDE THE VERBAGE "\$250 MINIMUM FINE". CALIFORNIA VEHICLE CODE SECTION 22511.8 (AB1511).
2. 70 SQ. INCH MINIMUM ACCESSIBLE SIGN PER CBC 1129B.4

ACCESSIBILITY SIGNAGE



- NOTE:**
1. SYMBOL SHALL BE PLACED SO THAT IT IS VISIBLE TO A TRAFFIC ENFORCEMENT OFFICER WHEN A VEHICLE IS PROPERLY PARKED IN THE SPACE PER C.B.C. SEC. 1129B.4.
 2. ALL PAINT SHALL BE APPR'D TRAFFIC PAINT PER SPECS. BLUE PAINT SHALL CONFORM TO FED. STD. 595B COLOR 15090

BUILDING/PROJECT DATA

PROJECT ADDRESS: 1400 S. VILLAGE WAY
 APPLICANT: MAKENA PROPERTIES - PAULA HALVERSON
 26522 LA ALAMEDA SUITE 285
 MISSION VIEJO, CA. 92691
 949.348.3333

APN: 402-111-13, 402-111-14, 402-111-15
 CURRENT ZONING: M-1
 GENERAL PLAN DESIGNATION: INDUSTRIAL

ALLOWED FLOOR AREA RATIO: NO LIMIT
 EXISTING LAND USE: WAREH., WSALE., RETAIL, MANUF., OFFICE
 PROPOSED LAND USE: NO CHANGE

BUILDING "H" GROSS AREA: 39,813 S.F.

OCCUPANCY: B
 BUILDING CONST.: TYPE V-B-SPINKLERED
 BUILDING CODE YARDS - 4
 EXIST. WALL CONST. - CAST CONCRETE
 EXISTING ROOF CONST. - FLAT MEMBRANE

SITE AREA: 741,698 S.F. (17.027 ACRES)

OVERALL SITE PARKING			
(E)HANDICAP PARKING	31 STALLS		
(E)STANDARD PARKING	774 STALLS		
(E)TOTAL PARKING	805 STALLS		
LESS AT ENTRY	-1 STALLS		
(N)HANDICAP PARKING	32 STALLS		
(N)STANDARD PARKING	772 STALLS		
(N)TOTAL PARKING	804 STALLS		

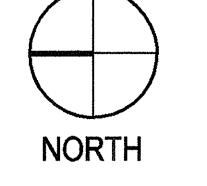
1400 S. VILLAGE WAY PARKING REQUIREMENTS

RETAIL	11,378 SF	5/1000	57 STALLS REQUIRED
OFFICE	386 SF	3/1000	2 STALLS REQUIRED
STOCK/STORAGE	1,769 SF	1/1000	2 STALLS REQUIRED
			61 STALLS REQUIRED

3 ACCESSIBLE STALLS REQUIRED PER TABLE 11B-6

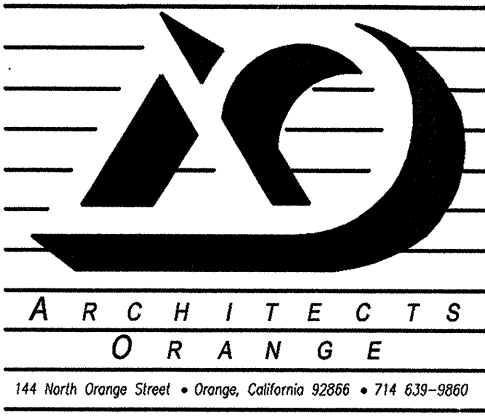
1 VAN STALL REQUIRED		
2 ACCESSIBLE STALLS EXISTING		
1 ACCESSIBLE STALLS ADDED		
HANDICAP STALLS PROVIDED	3 STALLS	
STANDARD STALLS PROVIDED	58 STALLS	
TOTAL STALLS PROVIDED	61 STALLS	

ALL SITE IMPROVEMENTS ARE EXISTING UNDER A SEPARATE PREVIOUS PERMIT.



REFERENCE SITE PLAN

1"=60'-0"



McFADDEN PLACE
 1400 S. Village Way
 Santa Ana, CA. 92705

BUILDING "H" TENANT IMPROVEMENT FOR Habitat for Humanity

BRISTOL GROUP, INC.
 400 MONTGOMERY STREET
 SAN FRANCISCO, CA. 94104

REFERENCE SITE PLAN

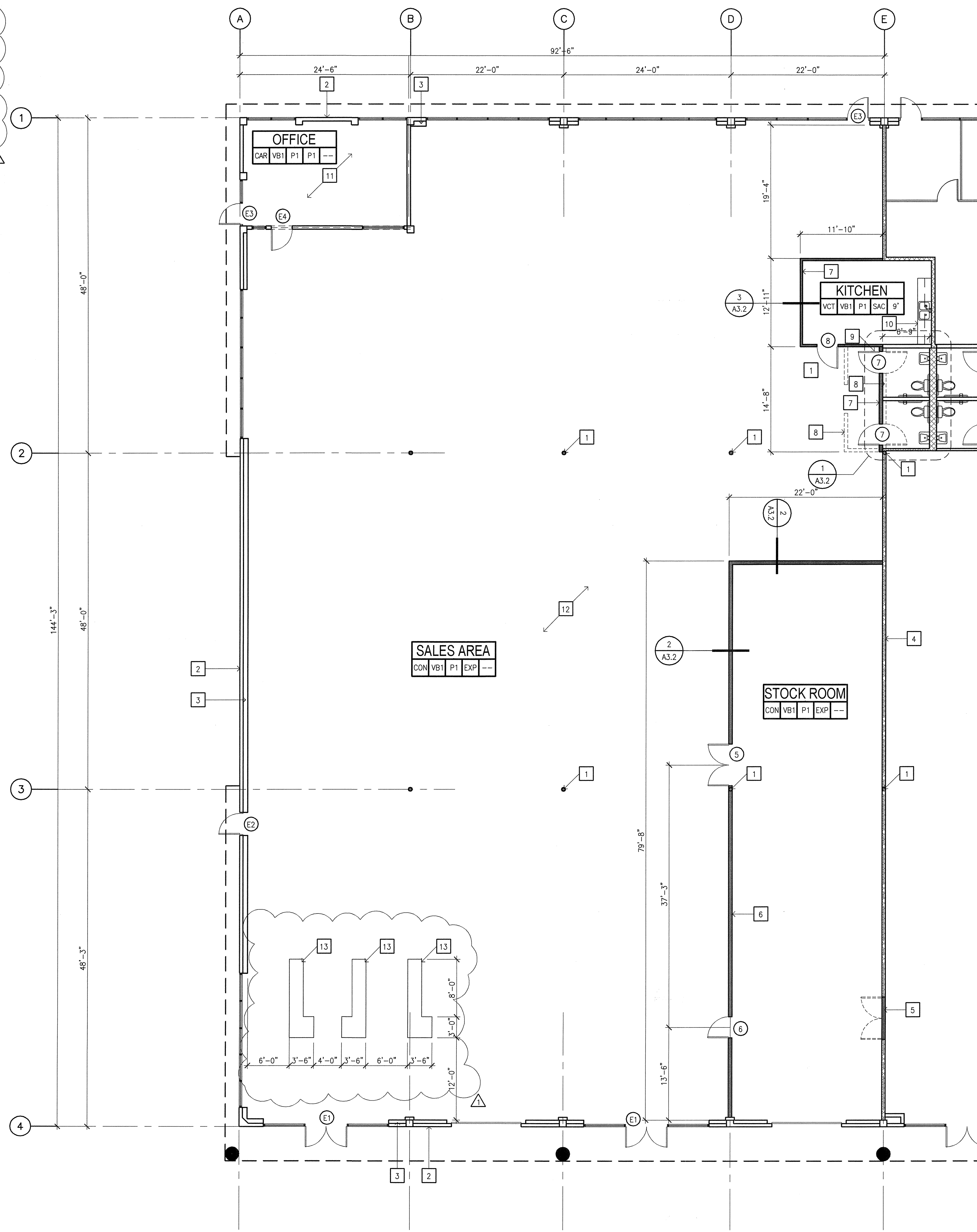
DATE

2011-453	Plan Check
2011-453	Blk Set
2011-453	Permit
2011-453	Project Number
02/17/12	Drawing Name
02/13/12	Plot Date
	PLAN CHECK CORR.

SHEET

A1.1

February 16, 2012
 To: Santa Ana Planning and Building Department
 From: Mack Kessels, Senior Vice President
 Subject: 1400 S. Village Way
 Habitat for Humanity of Orange County Inc. will be staging and storing new and used "for sale" general household goods to be sold within the building in the same manner as other similar floor improvement stores such as Lowe's and Home Depot retail outlets. Including but not limited to appliances, furniture, hardware, etc. There will be very limited amounts of flammable liquids in addition to other general household goods.



- 1 EXISTING STEEL PIPE COLUMN
- 2 EXISTING CONCRETE WALLS
- 3 EXISTING FURRED WALLS
- 4 EXISTING FULL HEIGHT PARTITION WALL - 6" X 20 GA. METAL STUDS @ 16" O.C. W/ 5/8" TYPE X DRYWALL, BOTH SIDES
- 5 REMOVE DOORS AND REPLACE WITH 6"X20 GA. METAL STUD WALL WITH BATT INSULATION & 5/8" TYPE X DRYWALL, BOTH SIDES
- 6 NEW PARTITION WALL. 6" 20 GA. FULL HEIGHT
- 7 NEW PARTITION WALL. 4" 20 GA. TO 10'-0" A.F.F
- 8 REMOVE DOORS AND FRAMES AND DEMOLISH WALL
- 9 REUSE EXISTING DOORS AND FRAME, CHANGE SWING
- 10 EXISTING UPPER AND LOWER CABINETS AND KITCHEN SINK TO REMAIN
- 11 EXISTING AREA TO REMAIN
- 12 EXISTING EXPOSED CONCRETE FLOOR. BEAD BLAST AND SEAL
- 13 NEW POINT OF SALE CHECKOUT COUNTER W/ 38" HIGH MAXIMUM COUNTER HT. PROVIDE SIGN AT CHECKOUT COUNTER WITH INTERNATIONAL SYMBOL OF ACCESSIBILITY IN WHITE ON A BLUE BACKGROUND STATING "THIS CHECK STAND TO BE OPEN ALL ALL TIMES FOR CUSTOMERS WITH DISABILITIES"

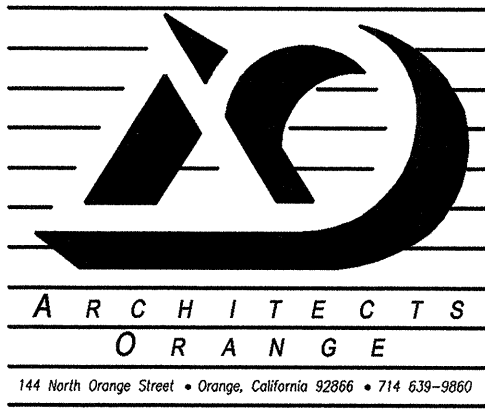
KEYNOTES

- EXISTING WALL TO REMAIN
- DEMOLISHED WALL
- NEW METAL STUD WALL PER PLAN
- EXISTING FULL HEIGHT METAL STUD DEMISING WALL

WALL SCHEDULE

GENERAL NOTES

1. ALL SPRINKLERS SHOULD BE MODIFIED BY G.C. TO ACCOMMODATE NEW WALL LAYOUT SUBMITTED UNDER SEPARATE PERMIT
2. ALL MECHANICAL, PLUMBING AND ELECTRICAL BY G.C. DESIGN BUILD UNDER SEPARATE PERMIT.
3. PROVIDE MECHANICAL VENTILATION FOR EACH AREA IN ACCORDANCE WITH 2010 CALIFORNIA MECHANICAL CODE.



McFADDEN PLACE
 1400 S. Village Way
 Santa Ana, CA. 92705

**BUILDING "H"
 TENANT IMPROVEMENT
 FOR
 Habitat for Humanity**

BRISTOL GROUP, INC.
 400 MONTGOMERY STREET
 SAN FRANCISCO, CA. 94104

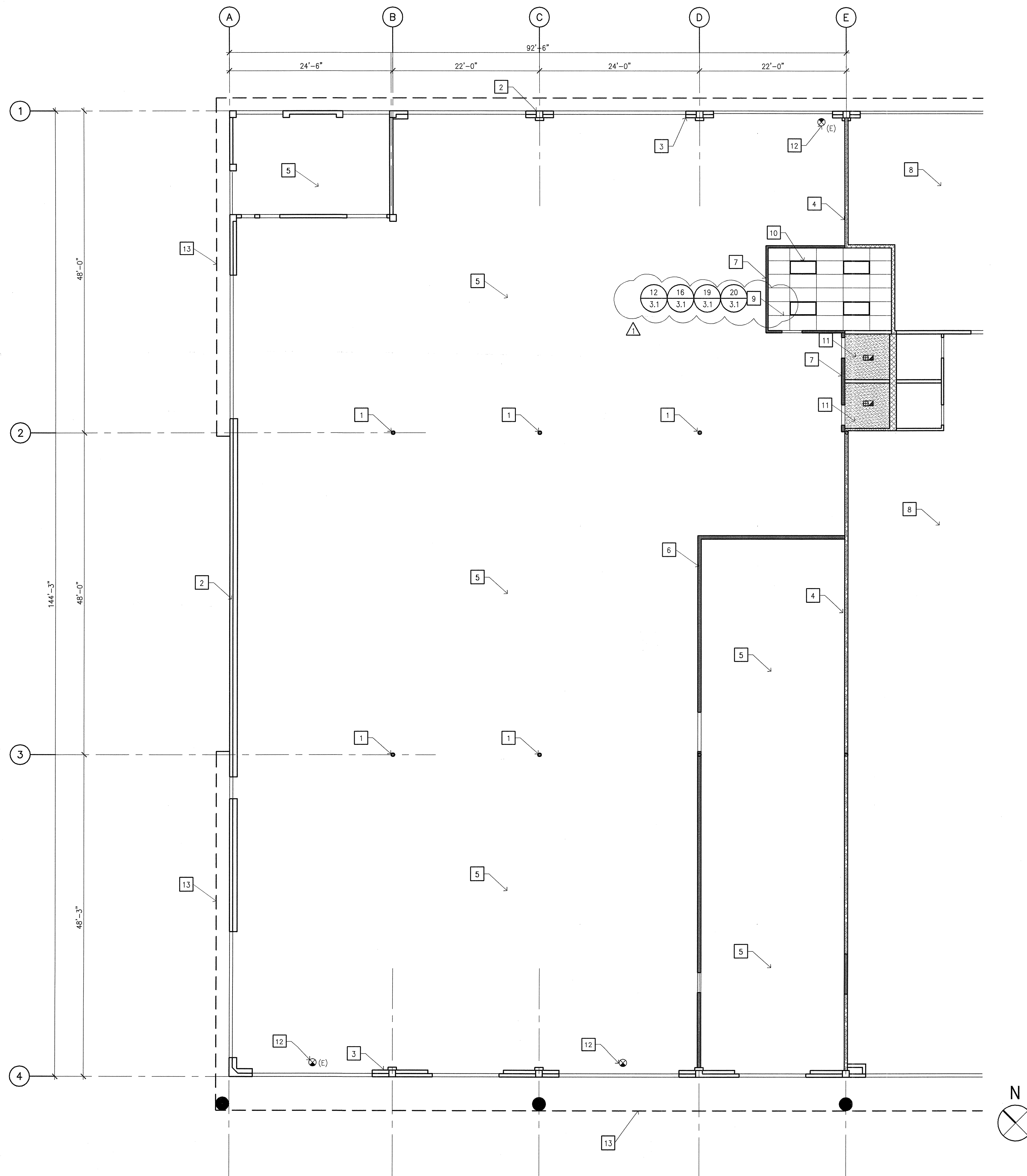
FLOOR PLAN

© 2011 Architects Orange
 These plans are copyright protected. Under such protection unauthorized use is not permitted. These plans shall not be reproduced or used without written permission by Architects Orange.

DATE	
_____	Plan Check
_____	Blk Set
_____	Permit
2011-453	Project Number
2011-453 PLAN	Drawing Name
02/17/12	Plot Date
02/13/12	PLAN CHECK CORR.
▲	
▲	
▲	
▲	

SHEET
A2.1

Tuesday, January 03, 2012
 P:\2011-453 HABITAT FOR HUMANITY\CD\2011-453 PLAN.DWG

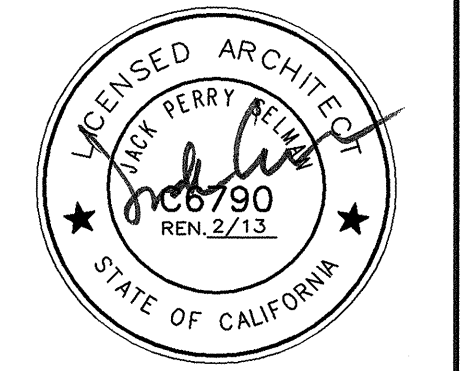
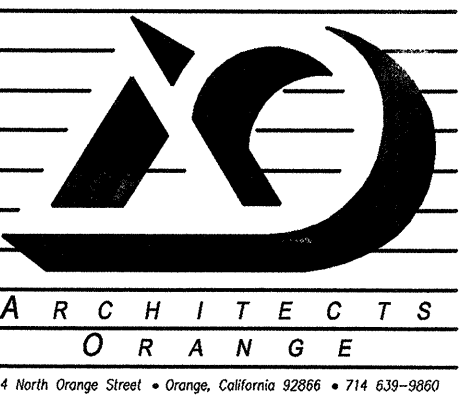


- 1 EXISTING STEEL PIPE COLUMN
- 2 EXISTING CONCRETE WALLS
- 3 EXISTING FURRED WALLS
- 4 EXISTING FULL HEIGHT PARTITION WALL
- 5 EXISTING OPEN CEILING/LIGHTING UNDER PREVIOUS PERMIT TO REMAIN - NOT A PART OF THIS SCOPE
- 6 NEW PARTITION WALL. 6" 20 GA. FULL HEIGHT
- 7 NEW PARTITION WALL. 4" 20 GA. TO 10'-0" A.F.F.
- 8 ADJACENT SUITE - NOT A PART
- 9 NEW SUSPENDED ACOUSTICAL CEILING TILE SYSTEM AT +9'-0" A.F.F. WITH R-19 BATT INSULATION ABOVE SEE DETAILS
- 10 NEW 2X4 FLUORESCENT DROP IN LIGHT FIXTURE
- 11 EXISTING GYP. BD. CEILING - REPAIR AT ENLARGED AREA
- 12 ILLUMINATED EXIT SIGN
- 13 EXTERIOR SOFFIT - NOT A PART OF THIS SCOPE

KEYNOTES

GENERAL NOTES:

ARTIFICIAL LIGHT SHALL BE PROVIDED THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 100 FOOT CANDLES (107 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.



McFADDEN PLACE
1400 S. Village Way
Santa Ana, CA. 92705

BUILDING "H"
TENANT IMPROVEMENT
FOR
Habitat for Humanity

BRISTOL GROUP, INC.
400 MONTGOMERY STREET
SAN FRANCISCO, CA. 94104

REFLECTED
CEILING PLAN

© 2011 Architects Orange
These plans are copyright protected. Under such protection unauthorized use is not permitted. These plans shall not be reproduced or used without written permission by Architects Orange.

DATE

_____	Plan Check
_____	Bid Set
_____	Permit
2011-453	Project Number
2011-453-RCP	Drawing Name
02/17/12	Plot Date
02/13/12	▲ PLAN CHECK CORR.

SHEET

A2.2

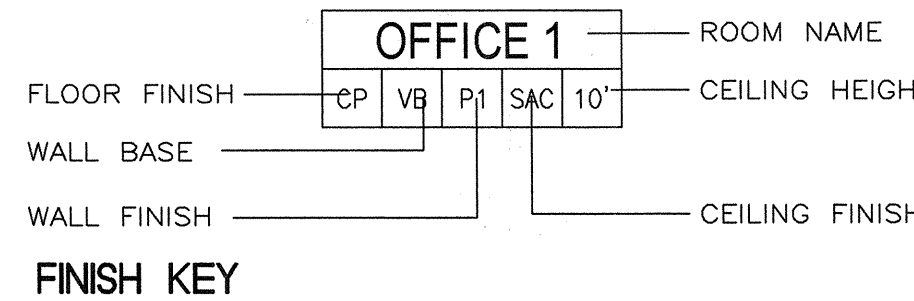
FINISHES SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES AND REQUIREMENTS FOR INTERIOR FINISHES AND TRIM. ALL FINISH MATERIALS TO BE CLASSIFIED AS CLASS "A" (1) OR CLASS "B" (1) FLAME SPREAD/ SMOKE DEVELOPMENT.

ALL COMBUSTIBLE FINISHES IF REQUIRED BY CODE, SHALL BE FIELD TREATED WITH THE FOLLOWING:
FIRE-RETARDANT, MFR.: FLAME STOP I, BEST PAK COMPANY, T 877-885-7527, OR APPROVED EQUAL. THIS CHEMICAL SHALL BE A CLEAR WATER BASED, NON-TOXIC FORMULATION AND DRIES CLEAR, TESTED AS PER ASTM-E84. IT MUST BE APPROVED AND ACCEPTED BY THE LOCAL BUILDING CODE FOR THE INTENDED USE. APPLICATION AS PER MFR'S INSTRUCTIONS.

- FLOOR**
- CON = EXPOSED CONCRETE FLOOR BEAD BLASTED AND SEALED
 - CP1 = MULTICOLOR SHAW CONTRACT GROUP DIGITAL SERIES 50638 COLOR=PUBLIC MARKET 38910
 - VCT = VINYL COMPOSITION TILE MANNINGTON ESSENTIALS SERIES COLOR=112 PEWTER
 - SV = SHEET VINYL PER OWNER
- WALL FINISH**
- P1 = FIELD PAINT COLOR AT OFFICE WALLS & WAREHOUSE WALLS COLOR= ICI #816 SWISS COFFEE
 - P2 = ACCENT PAINT COLOR AT OFFICE DOORS COLOR= ICI #692 WOOD SMOKE
 - P3 = ACCENT PAINT COLOR AT WAREHOUSE WAINSCOT F.F. TO +4'-0" COLOR= ICI #1337 VOLCANO ROCK

- WALL BASE**
- VB1 = JOHNSONITE PACIFIC CURRENTS 4" HIGH RUBBER BASE. COLOR=DC-404 SEASIDE
- CEILING FINISH**
- EXP = EXPOSED CEILING FINISH.
 - SAC = SUSPENDED ACOUSTICAL CEILING ARMSTRONG CORTEGA SECOND LOOK (2758)
 - P = PAINT COLOR -- AT INTERIOR CEILING OVER GYP. BD.

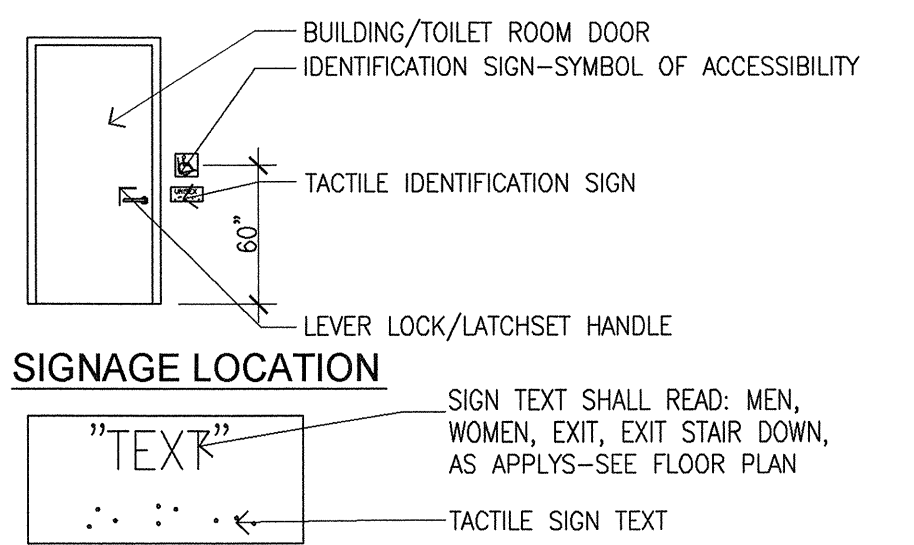
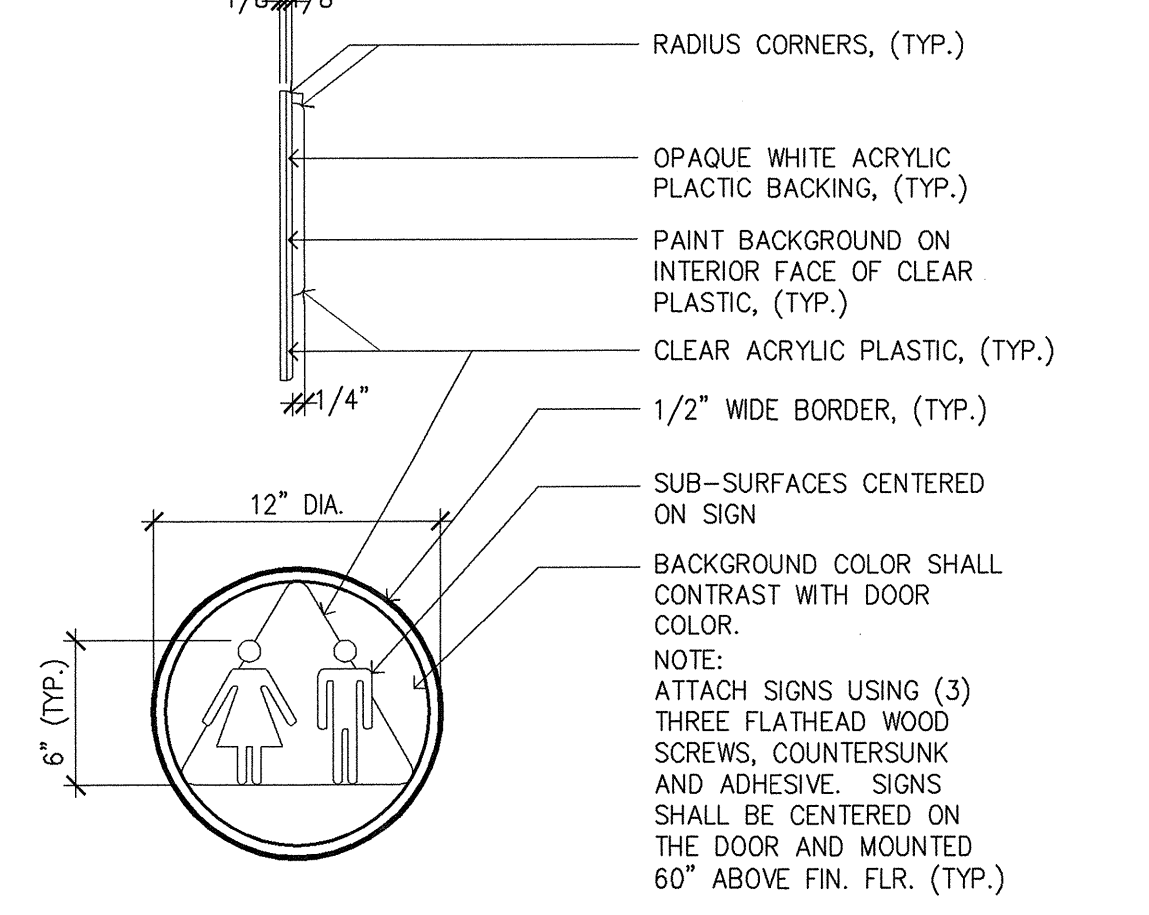
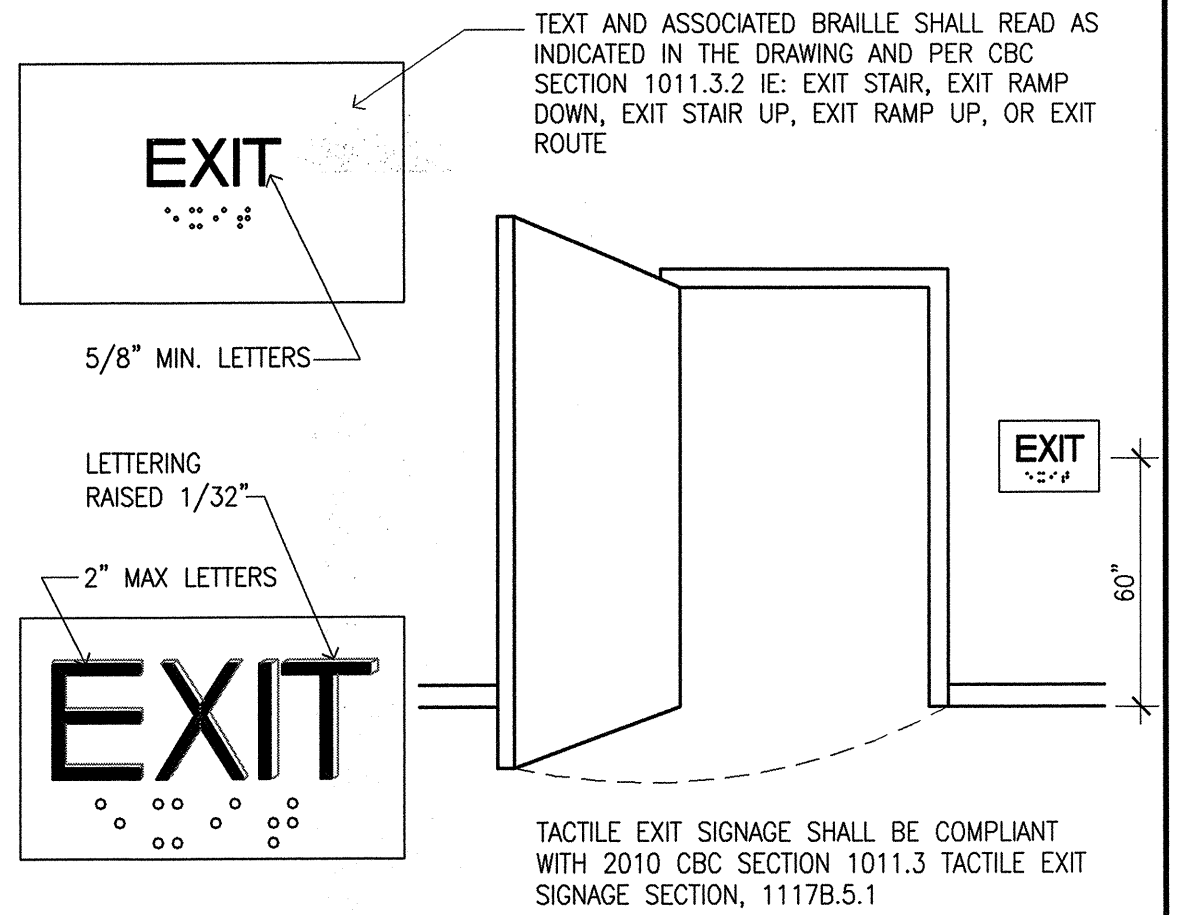
- CEILING HEIGHT**
- = HEIGHT VARIES
 - 9' = 9'-0" A.F.F.



D N O U M R B.	DOOR SIZE		T Y P E	DOOR MATERIAL		FIRE RATING	CLO-SURE	NOTES	DETAILS			HWWARE	FRAME MATERIAL		REMARKS
	WIDTH X HEIGHT	THK.		FACE	CORE				THRSH.	JAMBS	HEAD		MATL.	FINISH	
E1	EXISTING ENTRY/EXIT 3'-0" x 7'-0"	1 3/4"	B	STF	CT	N	Y	3.4, 5.6				HW-1	STF	ALUM	
E2	EXISTING ENTRY/EXIT 3'-0" x 7'-0"	1 3/4"	C	P	SC	N	Y	3.4, 5.6				HW-2	STL/W	P	
E3	EXISTING ENTRY/EXIT 3'-0" x 9'-0"	1 3/4"	A	STF	CT	N	Y	3.4, 5.6				HW-1	STF	ALUM	
E4	EXISTING OFFICE 3'-0" x 7'-0"	1 3/4"	C	EH1	SC	N	N	-				HW-3	STL/W	P	
5	STORAGE TO SALES AREA PAIR 6'-0" x 7'-0"	1 3/4"	D	P	SC	N	N	-				HW-3	STF/K	P	DUTCH DOOR
6	STORAGE TO SALES 3'-0" x 7'-0"	1 3/4"	C	P	SC	N	N	-				HW-3	STL/K	P	
7	TOILET 3'-0" x 7'-0"	1 3/4"	C	P	SC	N	N	7				HW-4	STL/K	P	
8	KITCHEN 3'-0" x 7'-0"	1 3/4"	C	P	SC	N	N	-				HW-3	STL/K	P	

ROOM NAME/ FINISH SCHEDULE & NOTES

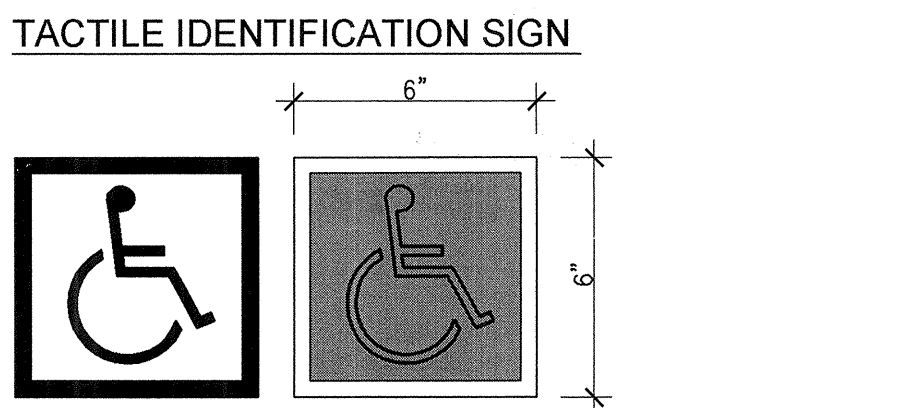
9



RAISED CHARACTER SIGN NOTES:

CHARACTER TYPE ON SIGNS SHALL BE RAISED 1/4" MIN. AND SHALL BE SANS-SERIF UPPERCASE CHARACTERS ACCOMPANIED BY GRADE 2 BRAILLE COMPLYING WITH 1117B.5.6

CHARACTER SIZE--RAISED CHARACTER SHALL BE A MIN. OF 2" HIGH. BRAILLE--CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE IS REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 3/8" ON CENTERS IN EACH CELL WITH 3/8" SPACE BETWEEN CELLS, MEASURED FROM THE SECOND COLUMN OF DOTS IN THE FIRST CELL TO THE FIRST COLUMN OF DOTS IN THE SECOND CELL. DOTS SHALL BE RAISED A MIN. OF 1/8" ABOVE THE BACKGROUND.



SYMBOLIC IDENTIFICATION SIGN

1117B.5.2 BRAILLE SYMBOLS. CONTRACTED GRADE 2 BRAILLE SHALL BE USED WHEREVER BRAILLE SYMBOLS ARE SPECIFICALLY REQUIRED IN OTHER PORTIONS OF THESE STANDARDS. DOTS SHALL BE 3/8" INCH (2.54 MM) ON CENTERS IN EACH CELL WITH 3/8" INCH (5.08 MM) SPACE BETWEEN CELLS. DOTS SHALL BE RAISED A MINIMUM OF 1/4" INCH (0.635 MM) ABOVE THE BACKGROUND.

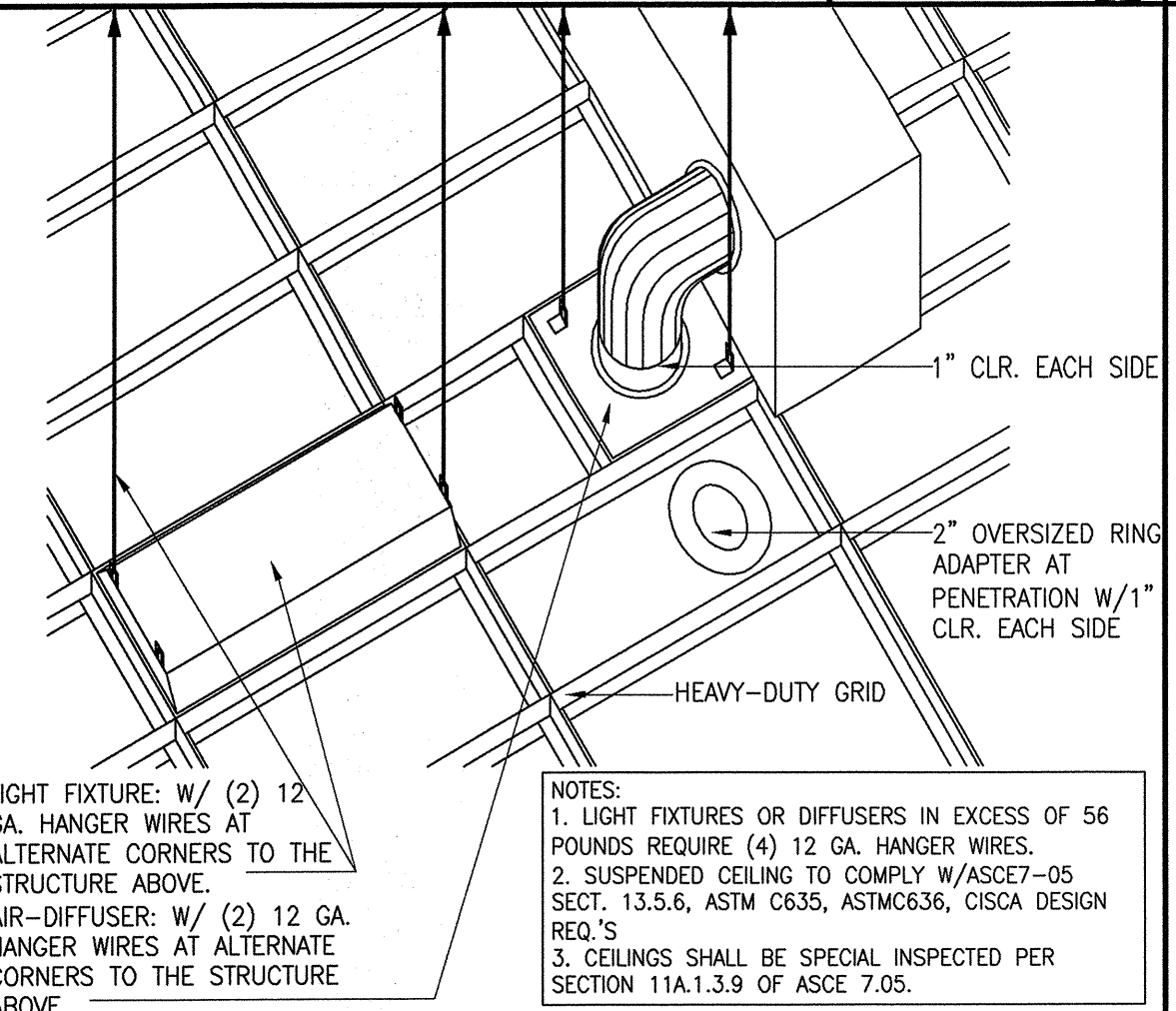
2117B.5.3 PROPORTIONS. LETTERS AND NUMBERS ON SIGNS SHALL HAVE A WIDTH-TO-HEIGHT RATIO OF BETWEEN 3:5 AND 1:1 AND A STROKE WIDTH TO HEIGHT RATIO BETWEEN 1:5 AND 1:10.

2115B.5.9 MOUNTING LOCATION AND HEIGHT WHERE PERMANENT IDENTIFICATION IS PROVIDED FOR ROOMS AND SPACES, RAISED LETTERS SHALL BE PROVIDED AND SHALL BE ACCOMPANIED BY BRAILLE IN CONFORMANCE WITH SECTION 111713.5.6. SIGNS SHALL BE INSTALLED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOOR, WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE, INCLUDING AT DOUBLE LEAF DOORS, SIGNS SHALL BE PLACED ON THE NEAREST ADJACENT WALL, PREFERABLY ON THE RIGHT, MOUNTING HEIGHT SHALL BE 60 INCHES (1524 MM) ABOVE THE FINISH FLOOR TO THE CENTER LINE OF THE SIGN. MOUNTING LOCATION SHALL BE DETERMINED SO THAT A PERSON MAY APPROACH WITHIN 3 INCHES (76 MM) OF SIGNAGE WITHOUT ENCOUNTERING PROTRUDING OBJECTS OR STANDING WITHIN THE SWING OF DOOR, ANSI APPROVED, E.S. PLASTIC, NEMA RATED, SELF EXTINGUISHING, ADHESIVE MOUNTED

TACTILE EXIT SIGNS

12" = 1'-0"

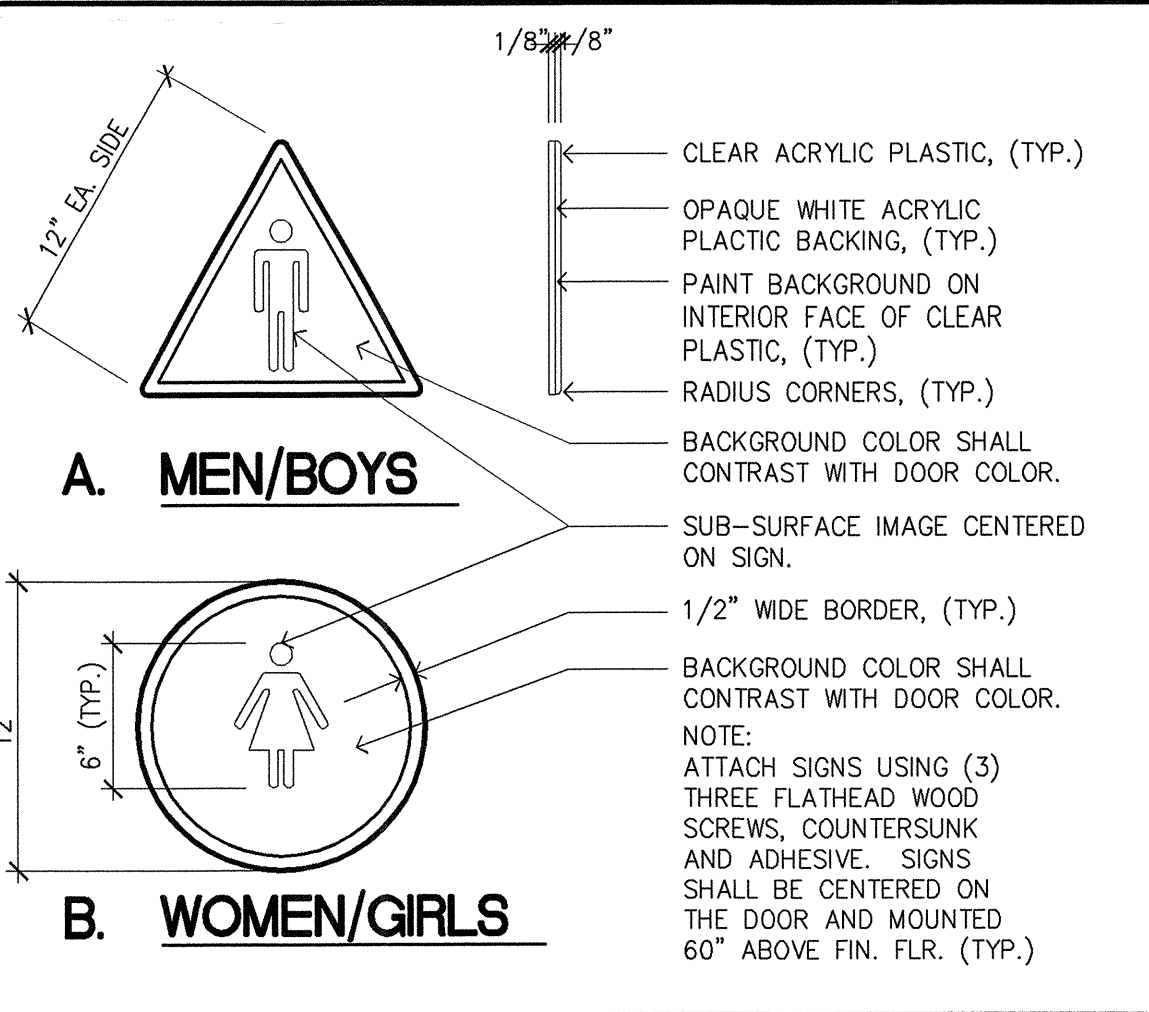
18



UNISEX SYMBOL

1-1/2" = 1'-0"

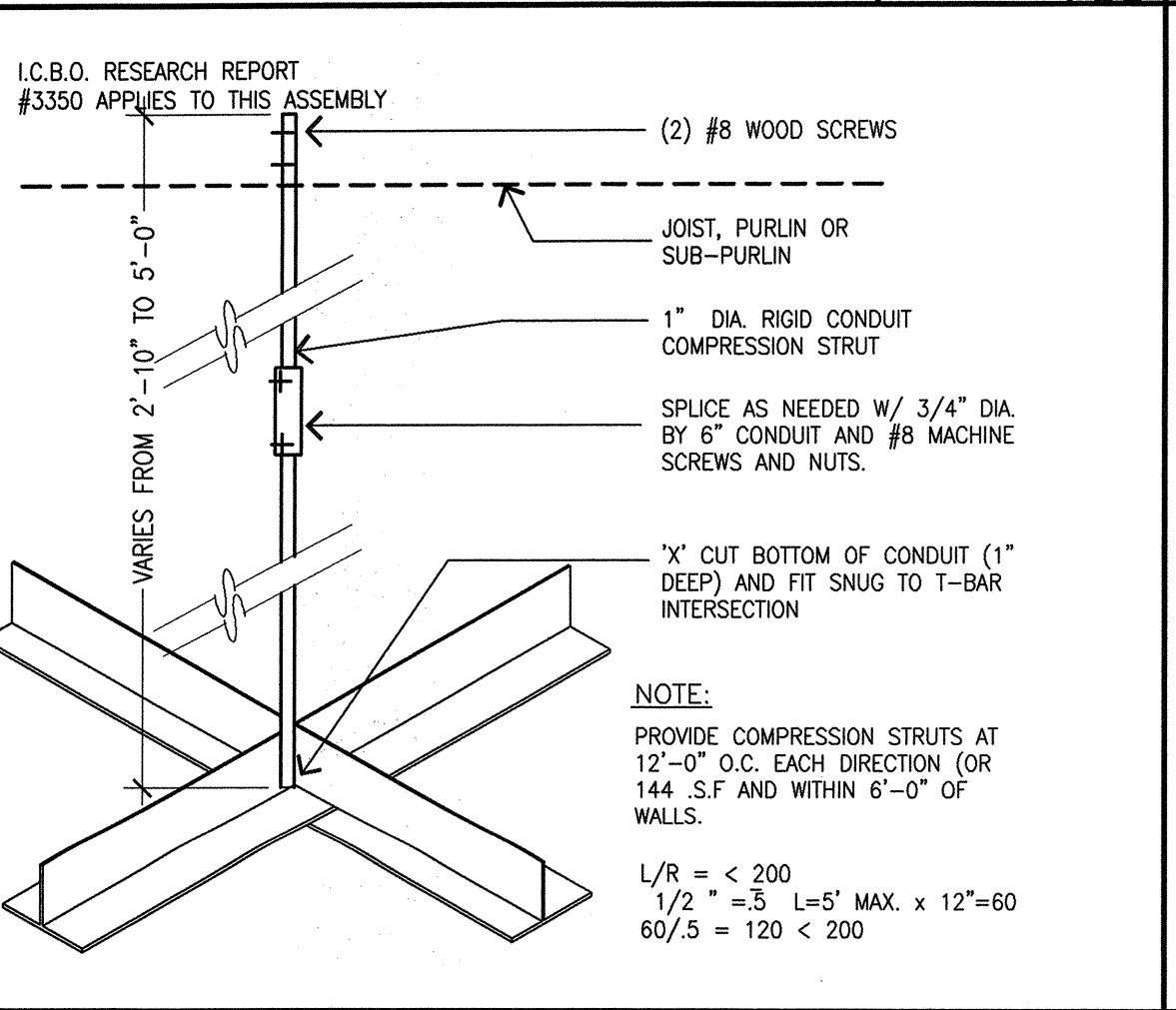
14



FIXTURE BRACING

3" = 1'-0"

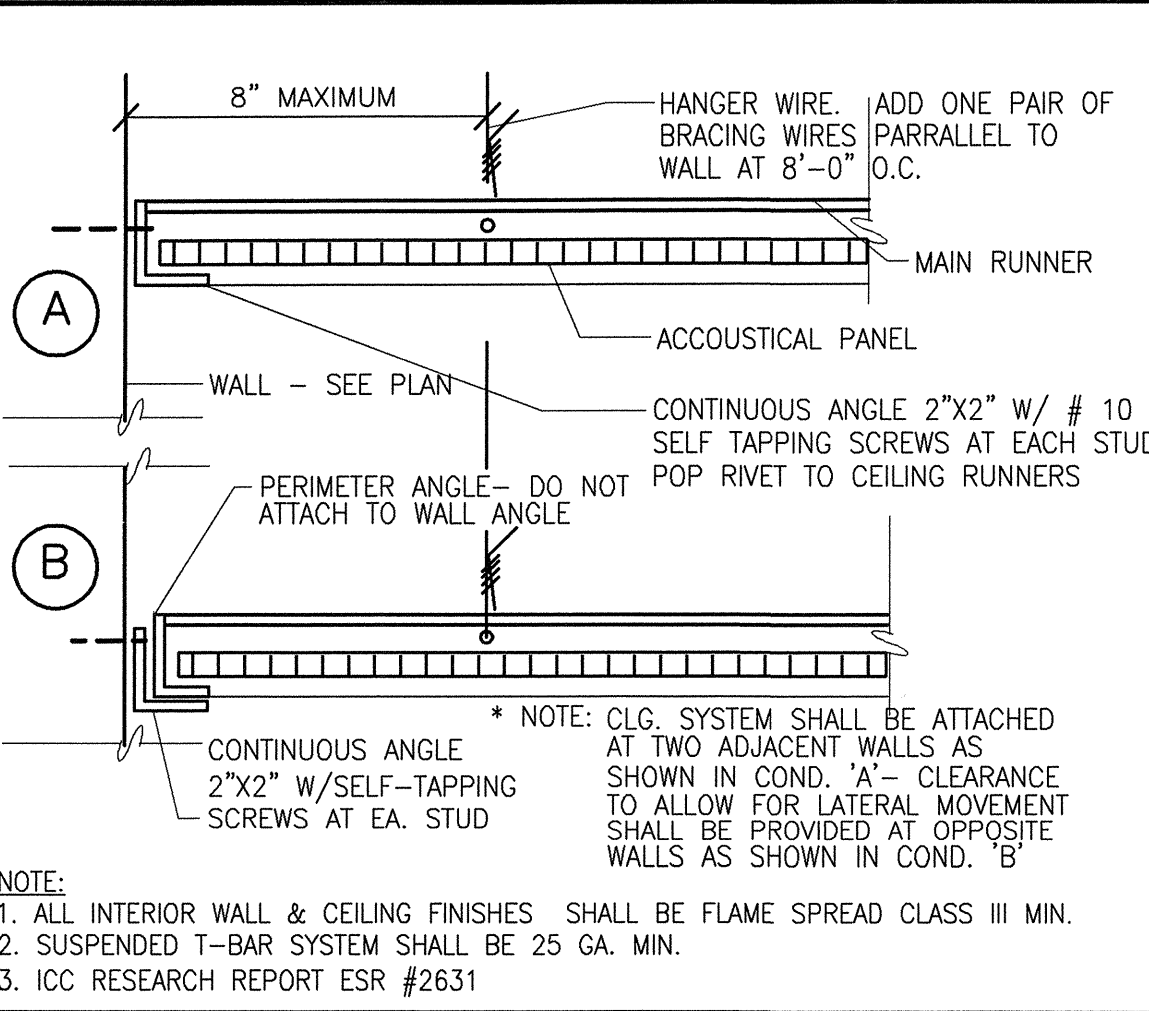
19



MEN / WOMEN SYMBOL

1-1/2" = 1'-0"

15



COMPRESSION STRUT

12" = 1'-0"

20

T-BAR EDGE ATTACHMENT

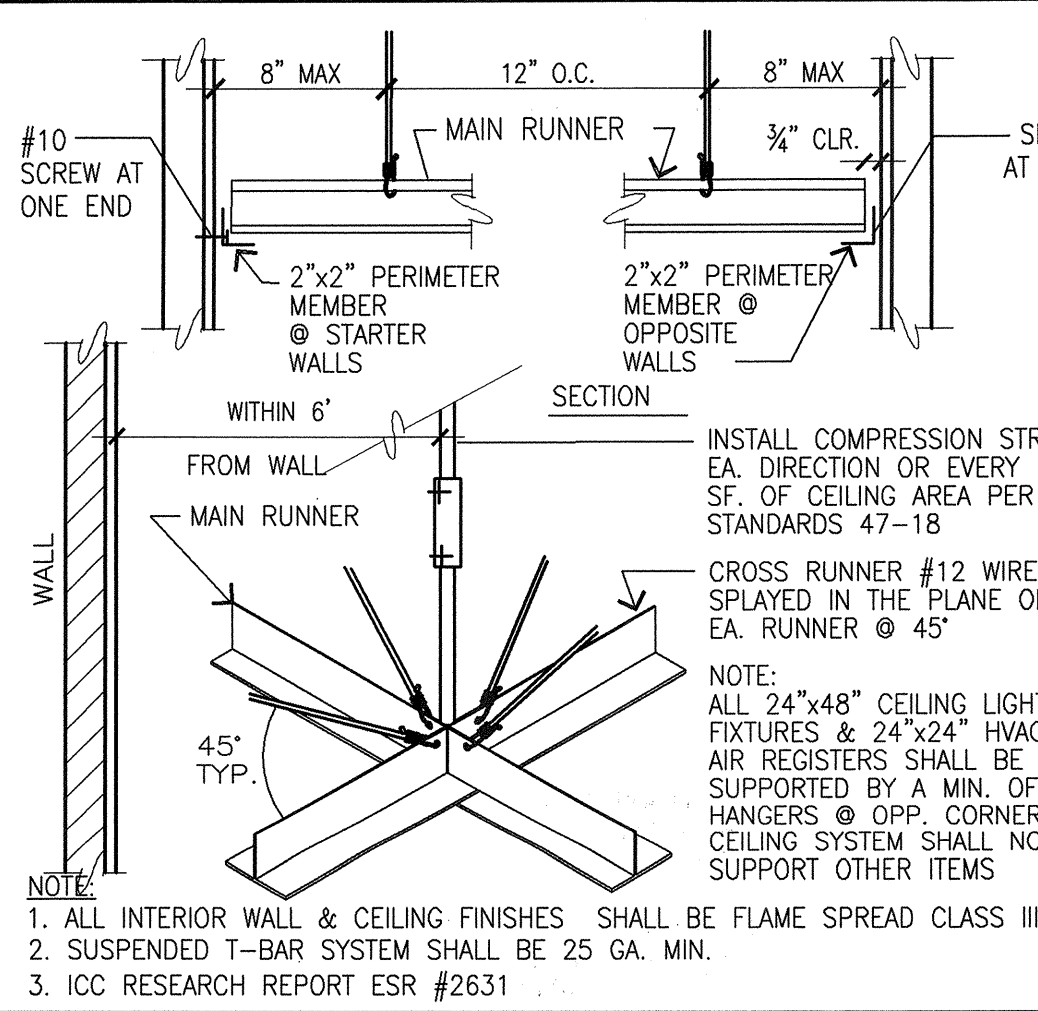
3" = 1'-0"

16

ACCESSIBLE SIGNAGE

1/4" = 1'-0"

11



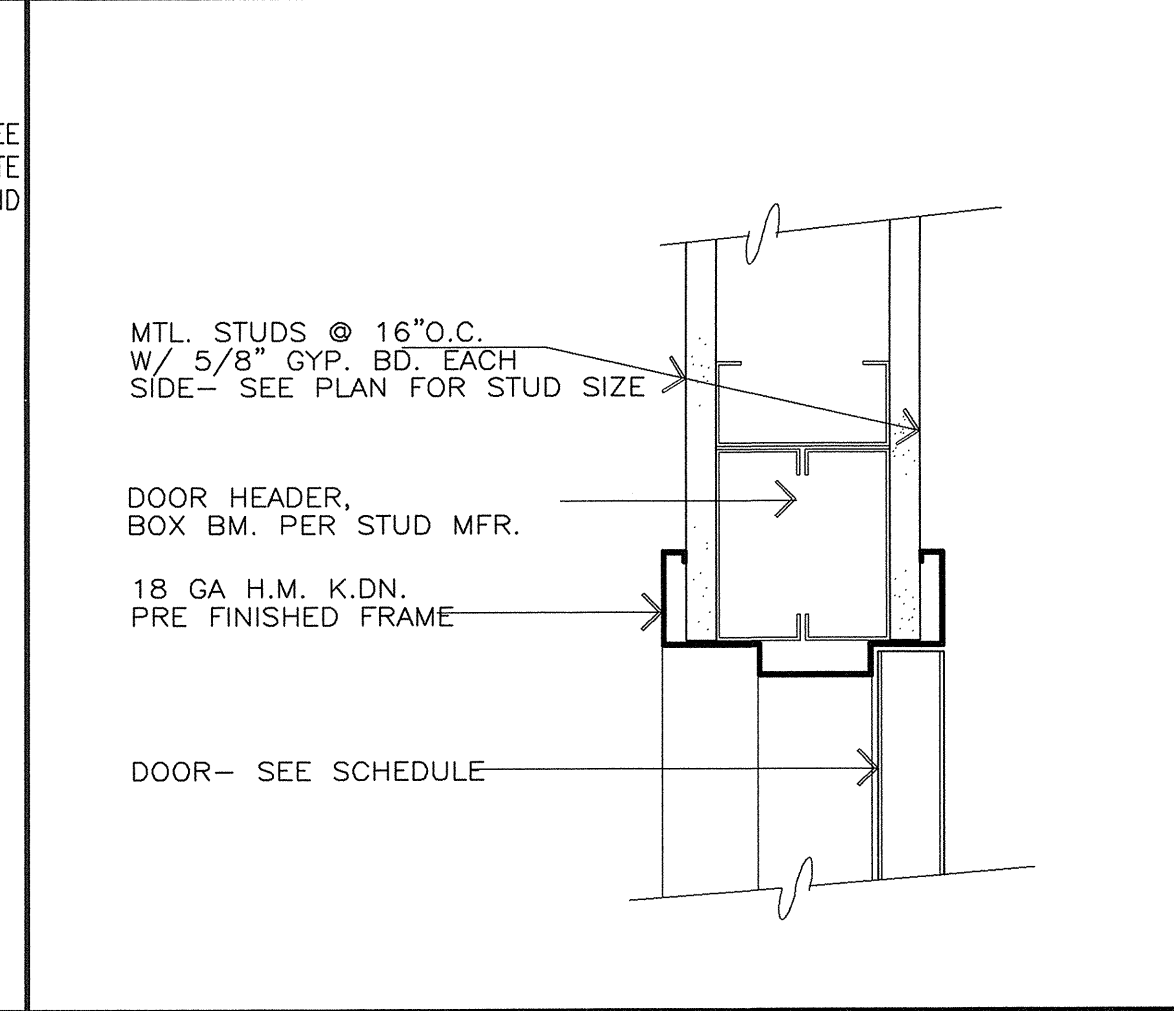
SUSPENDED CEILING DETAIL

12" = 1'-0"

12

DOOR SCHEDULE

3



INT. DOOR HEAD/JAMB

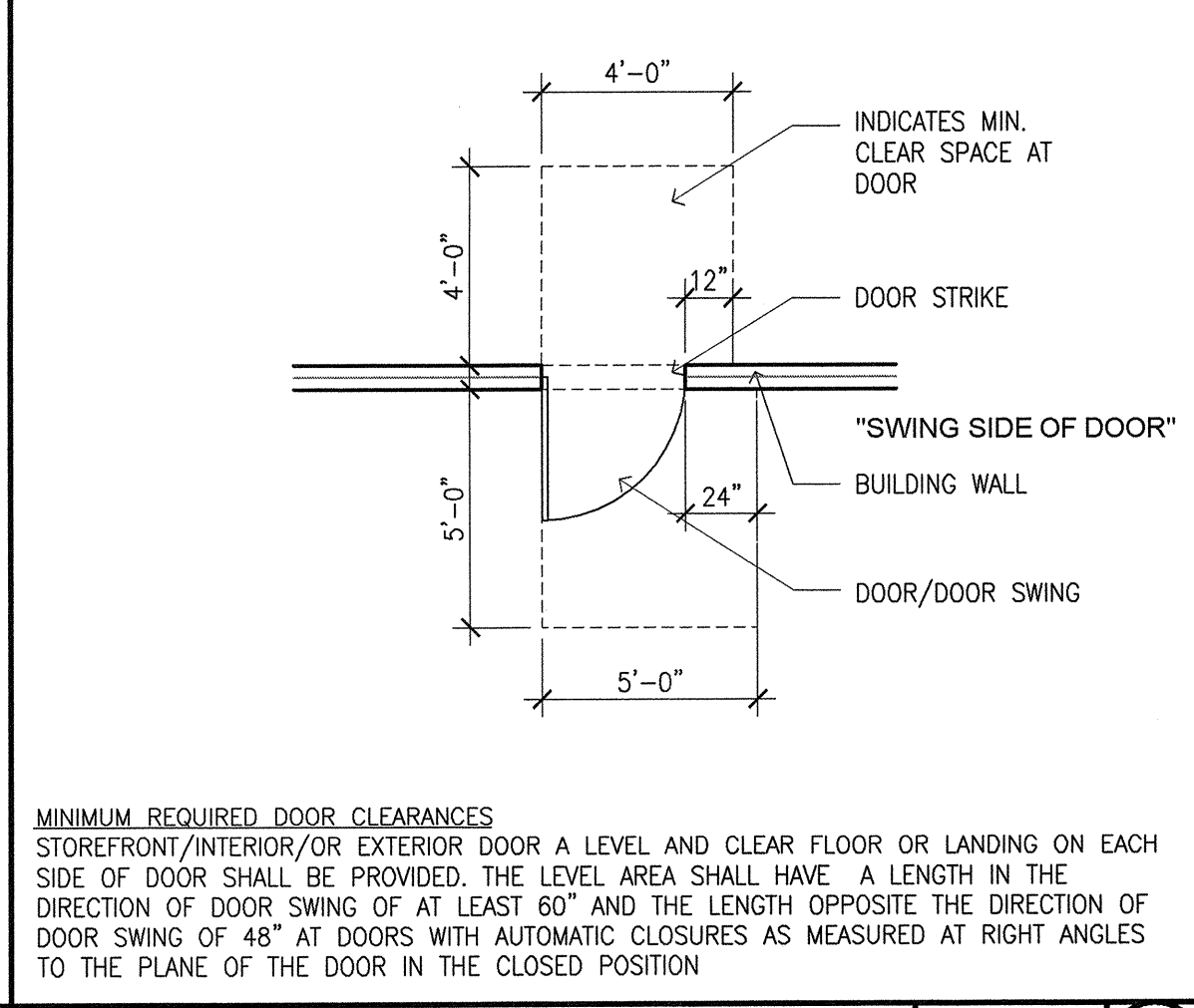
1/4" = 1'-0"

8

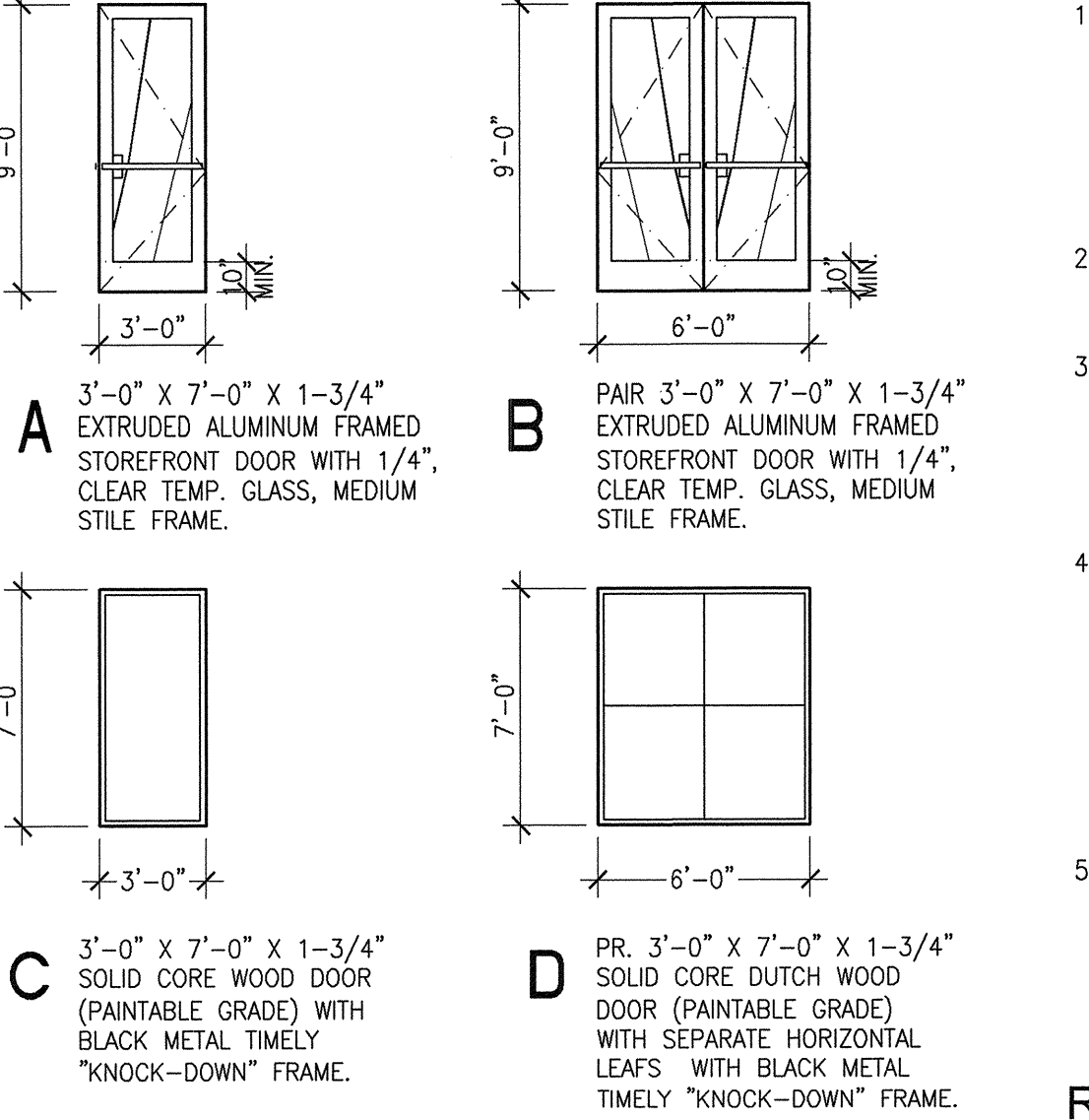
MIN. DOOR CLEARANCES

1/4" = 1'-0"

4



DOOR TYPES



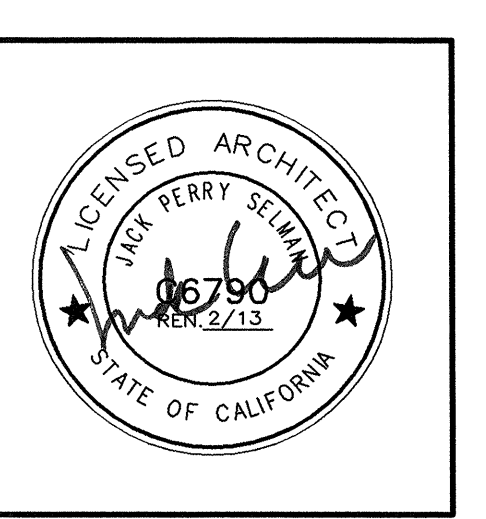
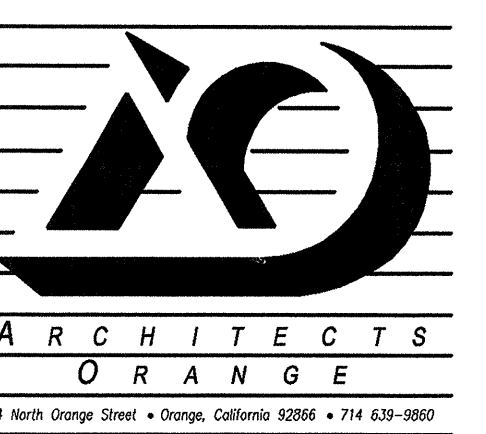
DOOR NOTES

- EVERY REQUIRED ENTRANCE, "EXIT", PASSAGE DOORWAY, OR GATE SHALL BE OF A SIZE AS TO PERMIT THE INSTALLATION OF A DOOR NOT LESS THAN 3 FEET IN WIDTH AND NOT LESS THAN 5 FEET, 8 INCHES IN HEIGHT. DOORS SHALL BE CAPABLE OF OPENING AT LEAST 90 DEGREES AND SHALL BE MOUNTED SO THAT THE CLEAR WIDTH OF THE DOORWAY IS NOT LESS THAN 32 INCHES MEASURED BETWEEN THE FACE OF THE DOOR AND THE OPPOSITE STOP. FOR HINGED DOORS, THE OPENING WIDTH SHALL BE MEASURED WITH THE DOOR POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- WHERE A PAIR OF DOORS ARE UTILIZED, AT LEAST ONE OF THE DOORS SHALL PROVIDE A CLEAR UNOBSTRUCTED OPENING WIDTH OF 32 INCHES WITH THE LEAF POSITIONED AT AN ANGLE OF 90 DEGREES FROM ITS CLOSED POSITION.
- ALL BUILDING AND FACILITY ENTRANCES THAT ARE ACCESSIBLE TO AND USABLE BY PERSONS WITH DISABILITIES AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL SHALL BE IDENTIFIED WITH A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY AND ADDITIONAL DIRECTIONAL SIGNS, AS REQUIRED, TO BE VISIBLE TO PERSONS ALONG APPROACHING CIRCULATION PATHS. PROVIDE ACCESSIBLE DECAL AT FRONT DOOR.
- MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 LBS. FOR EXTERIOR DOORS, AND 5 LBS. FOR INTERIOR DOORS SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLE TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN THE FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 LBS. (CBC 1133B.2.5)
- HAND-ACTIVATED DOOR-OPENING HARDWARE SHALL BE CENTERED BETWEEN 30 AND 44 INCHES ABOVE THE FLOOR. LATCHING AND LOCKING DEVICES THAT ARE HAND-ACTIVATED AND WHICH ARE IN A PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER-TYPE HARDWARE, PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE PER CBC SEC. 1133B.2.5.2.

REMARKS

- PROVIDE INTERNATIONAL HANDICAP SYMBOL OF APPROPRIATE SEX ON DOOR PER ADA REQUIREMENTS, PER DETAILS THIS SHEET.
- PROVIDE NON-ILLUMINATED EXIT SIGN OVER DOOR AS REQUIRED IN PUBLIC AREAS PER FIRE AND BLDG. DEPT.
- PROVIDE ILLUMINATED EXIT SIGN, SEE ELECTRICAL DRAWINGS, ABOVE DOOR AS REQUIRED IN ASSEMBLY AREAS PER FIRE AND BLDG. DEPT.
- PROVIDE SIGN ABOVE DOOR READING "This door to remain unlocked when the building is occupied" AS REQUIRED. SIGN MUST BE IN LETTERS (CAPITALS) NOT LESS THAN 1" HIGH ON A CONTRASTING BACKGROUND FINAL LOCATION TO BE DETERMINED BY BUILDING INSPECTOR OR BUILDING DEPT. OFFICIALS.
- PROVIDE AUTOMATIC DOOR CLOSER
- EXIT DOORS SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF ANY SPECIAL KEY, KNOWLEDGE OR EFFORT.
- PROVIDE ACCESSIBILITY SYMBOL AT TOILET ROOM DOORS PER DETAIL #14 AND/OR #15 THIS SHEET
- PROVIDE PANIC PUSH HARDWARE ON INTERIOR SIDE OF DOOR

NOTE: SEE 5/3.2 FOR DOOR HARDWARE TYPES



McFADDEN PLACE
1400 S. Village Way
Santa Ana, CA 92705

BUILDING "H"
TENANT IMPROVEMENT FOR
Habitat for Humanity

BRISTOL GROUP, INC.
400 MONTGOMERY STREET
SAN FRANCISCO, CA 94104

INTER. DETAILS DOOR SCHED.

© 2011 Architects Orange
These plans are copyright protected. Under such protection unauthorized use is not permitted. These plans shall not be reproduced or used without written permission by Architects Orange.

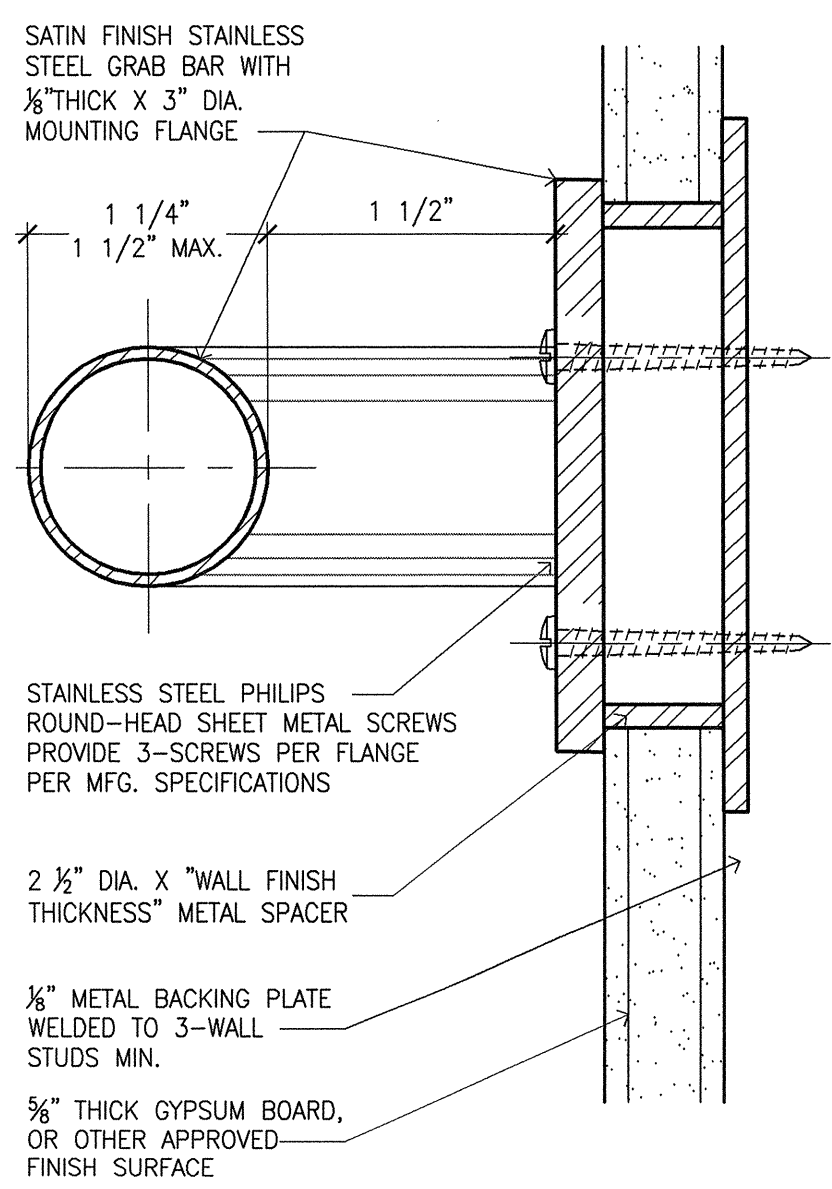
D A T E

Plan Check	
Set	
Final	
2011-453	Project Number
02/17/12	Drawing Name
	Plot Date

S H E E T

A3.1

Tuesday, October 19, 2011 10:53 AM
 P:\2011-453 HABITAT FOR HUMANITY\CD\2011-453 INTER DETAILS A3.2.DWG



NOTES

1115B.8.3 STRUCTURAL STRENGTH. THE STRUCTURAL STRENGTH OF GRAB BARS, TUB AND SHOWER SEATS, FASTENERS, AND MOUNTING DEVICES SHALL MEET THE FOLLOWING SPECIFICATIONS:

1. BENDING STRESS IN A GRAB BAR OR SEAT INDUCED BY THE MAXIMUM BENDING MOMENT FROM THE APPLICATION OF A 250-POUND (1112 N) POINT LOAD SHALL BE LESS THAN THE ALLOWABLE STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT.

2. SHEAR STRESS INDUCED IN A GRAB BAR OR SEAT BY THE APPLICATION OF A 250-POUND (1112 N) POINT LOAD SHALL BE LESS THAN THE ALLOWABLE SHEAR STRESS FOR THE MATERIAL OF THE GRAB BAR OR SEAT, AND ITS MOUNTING BRACKET OR OTHER SUPPORT IS CONSIDERED TO BE FULLY RESTRAINED, THEN DIRECT AND TORSIONAL SHEAR STRESSES SHALL NOT EXCEED THE ALLOWABLE SHEAR STRESS.

3. SHEAR FORCE INDUCED IN A FASTENER OR MOUNTING DEVICE FROM THE APPLICATION OF A 250-POUND (1112 N) POINT LOAD SHALL BE LESS THAN THE ALLOWABLE LATERAL LOAD OF EITHER THE FASTENER OR MOUNTING DEVICE OR THE SUPPORTING STRUCTURE, WHICHEVER IS THE SMALLER ALLOWABLE LOAD.

4. TENSILE FORCE INDUCED IN A FASTENER BY A DIRECT TENSION FORCE OF A 250-POUND (1112 N) POINT LOAD, PLUS THE MAXIMUM MOMENT FROM THE APPLICATION OF A 25-POUND (1112 N) POINT LOAD, SHALL BE LESS THAN THE ALLOWABLE WITHDRAWAL LOAD BETWEEN THE FASTENER AND SUPPORTING STRUCTURE.

5. GRAB BARS SHALL NOT ROTATE WITHIN THEIR FITTINGS.

1115B.8.4 SURFACE. A GRAB BAR AND ANY WALL OR OTHER SURFACE ADJACENT TO IT SHALL BE FREE OF ANY SHARP OR ABRASIVE ELEMENTS. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8 INCH (3.2

GRAB BAR REINFORCEMENT

- 1 CONCEALED MOUNTING 36" GRAB BAR SEE DETAIL 8/3.2
- 2 CONCEALED MOUNTING 42" GRAB BAR SEE DETAIL 8/3.2
- 3 INSULATE HOT WATER & DRAIN PIPES
- 4 TANK TYPE TOILET
- 5 MIRROR WITH BRUSHED STAINLESS STEEL FRAME
- 6 TOILET PAPER HOLDER
- 7 W.R. GYP. BOARD - PAINTED
- 8 60" DIAMETER A.D.A. TURN DIAMETER
- 9 WALL HUNG LAVATORY
- 10 F.R.P. WAINSCOT (TYPICAL AT RESTROOM WALLS)
- 11 ACCESSIBLE SIGNAGE AFFIXED TO TOILET ROOM DOOR - REFER TO DETAIL 14 & 15 ON SHEET A3.1
- 12 SHEET VINYL FLOOR FINISH WITH COVED BASE
- 13 ACCESSIBLE SIGNAGE AFFIXED TO WALL ADJACENT TO DOOR - REFER TO DETAIL 11/A3.1

TYPICAL FIXTURE MOUNTING

- FIXTURE MOUNTING HEIGHTS**
- ALL DIMENSIONS ARE FROM FACE OF FINISH WALL SURFACE. CONTRACTOR TO FIELD COORDINATE.
 - NOTE: ALL TOILET ROOM ACCESSORIES TO BE PROVIDED WITH A BRUSHED STAINLESS STEEL FINISH U.N.O.
- A.D.A. NOTES**
- WHERE URINALS ARE PROVIDED AT LEAST ONE SHALL BE ACCESSIBLE PER CBC.
 - 60" DIAMETER OR 56" X 63" CLEAR SPACE, CLEAR OF OBJECTS FROM THE FLOOR TO A HEIGHT OF 27".
 - DOORS OTHER THAN THE DOOR TO THE ACCESSIBLE TOILET COMPARTMENT IN ANY POSITION SHALL NOT ENCRUCH INTO THE REQUIRED CLEAR SPACE MORE THAN 12".
 - ALL PLUMBING FIXTURES SHALL HAVE A 30" X 48" MINIMUM CLEAR SPACE. FIXTURE CLEAR SPACE MAY OVERLAP BUT DOORS CAN NOT SWING INTO CLEAR SPACE.
- GENERAL NOTES:**
- THIS DETAIL REPRESENTS A.D.A. STANDARD FIXTURE MOUNTING HEIGHTS.
 - EACH SEX SHALL HAVE SEPARATE TOILET FACILITIES WHERE THE NUMBER EMPLOYED EXCEEDS FOUR AND BOTH SEXES ARE EMPLOYED. CBC Sec. 705.
 - TOILET ROOMS SHALL BE VENTILATED WITH MECHANICAL EXHAUST SYSTEMS CAPABLE OF PROVIDING A COMPLETE CHANGE OF AIR EVERY 15 MINUTES. CBC Sec. 705
- SEE 7 FOR KEY NOTES

TOILET GRAB BAR DETAIL

RESTROOM KEYNOTES

HARDWARE GROUP #1 (STOREFRONT)

EACH PAIR TO HAVE:
 O.H. CONCEALED CLOSER: (2) LCN 2030-OP, HOLD OPEN PIVOT: (2) DOOR-O-MATIC 019AC
 LOCK-NARROW BACKSET: (1) ADAMS-RITE MS 1851S, L/C CYLINDER: (2) SCHLAGE 20-001
 FLUSH BOLTS: (1) ADAMS-RITE MS 4015 AND 4085
 EXIT INDICATOR: (1) ADAMS-RITE 4089
 CYLINDER GUARD: (1) ADAMS-RITE 4043
 PULLS: (2) TRIMCO 1191
 THRESHOLD: (1) SEALS BY DOOR MANUFACTURER
 SIGNAGE: "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS"

HARDWARE GROUP #2

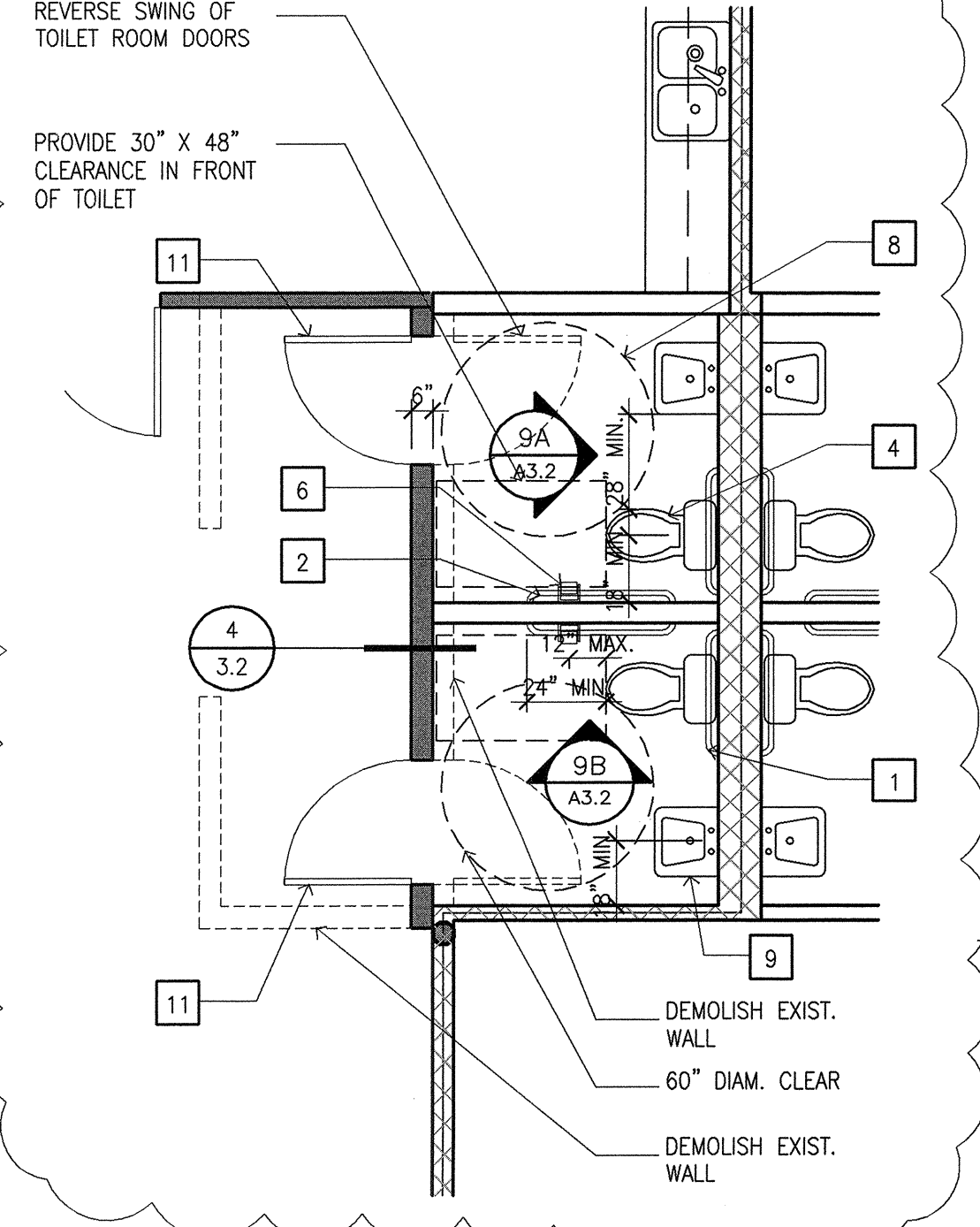
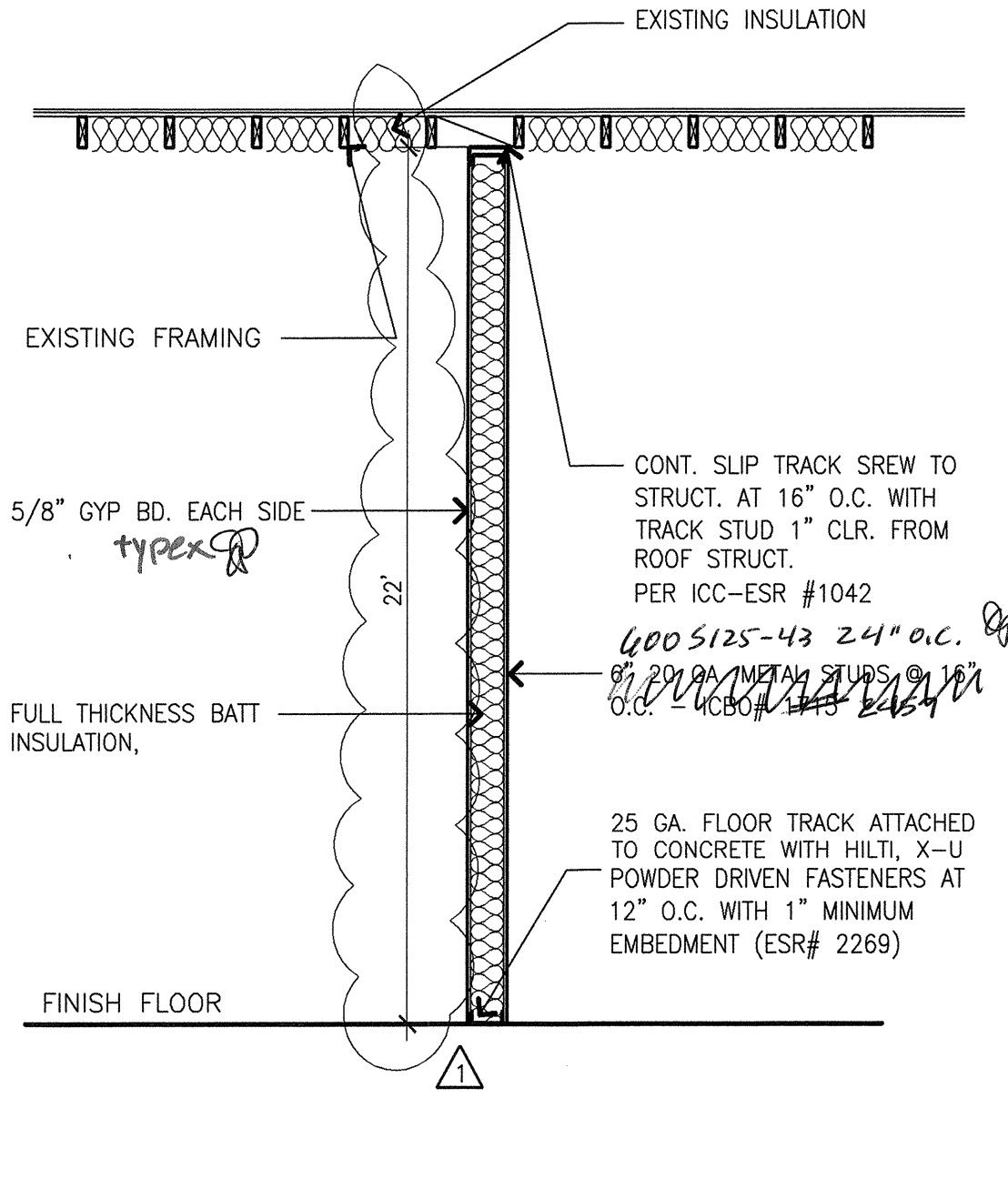
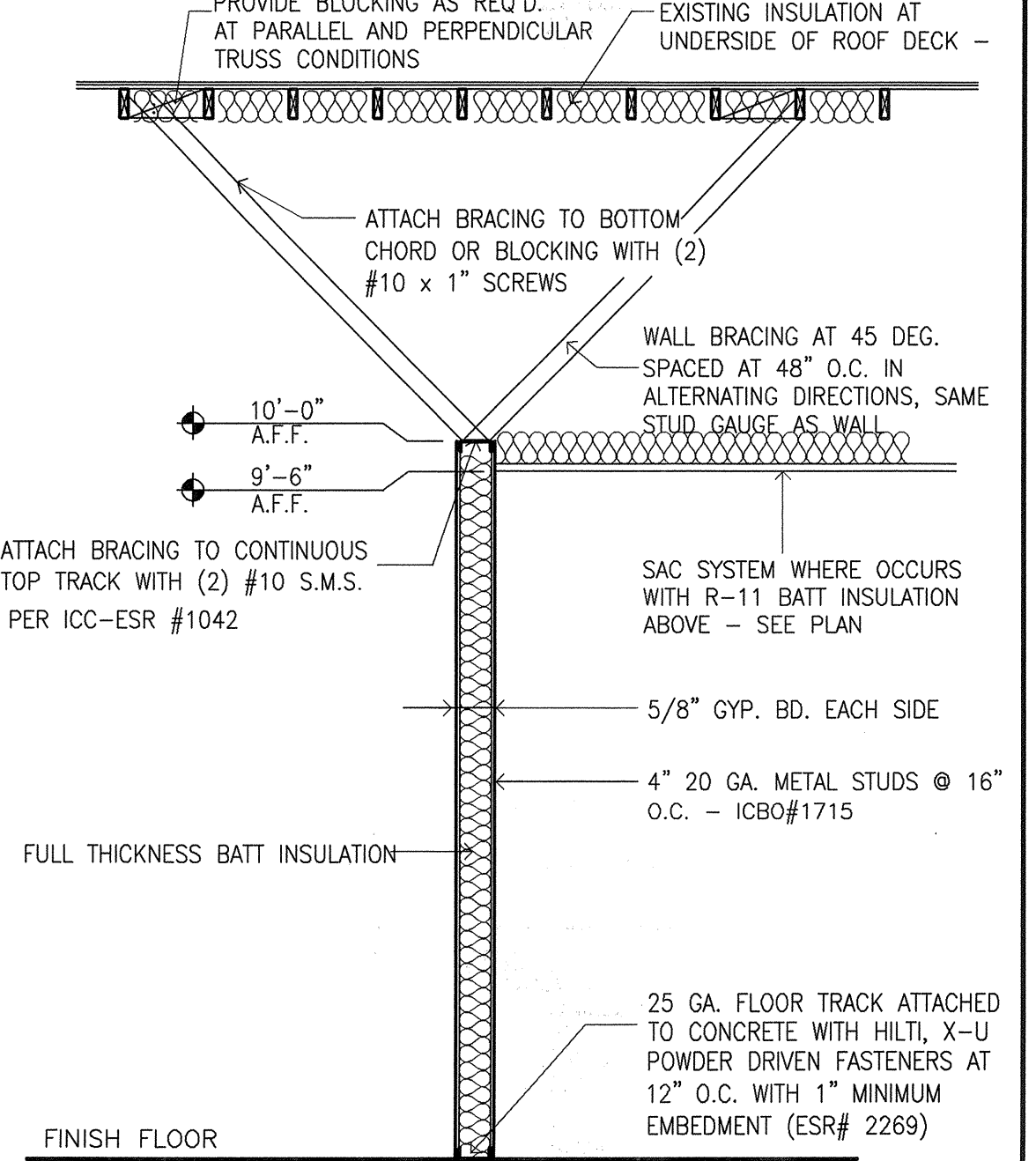
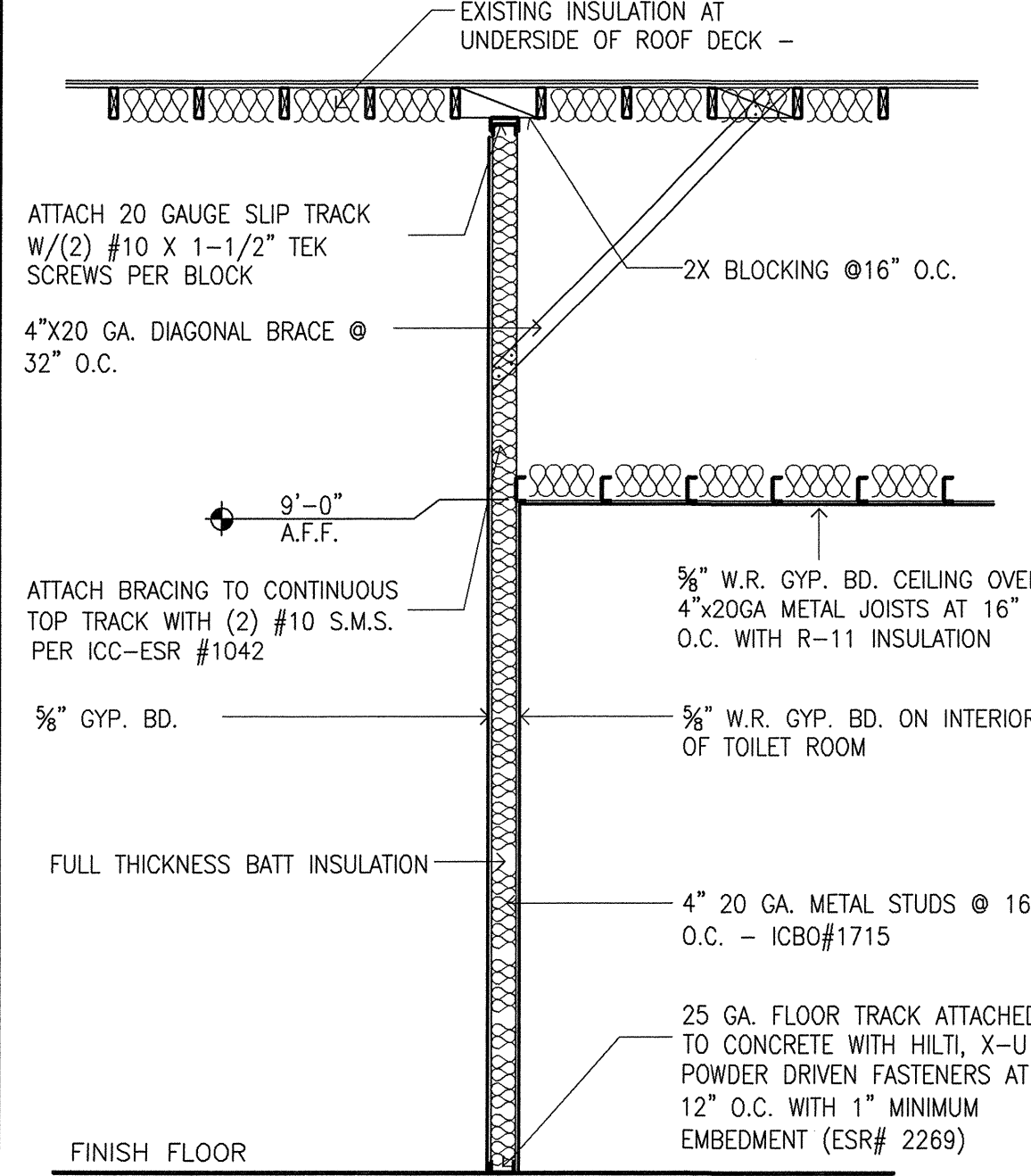
O.H. CONCEALED CLOSER: LCN 2030-OP, HOLD OPEN PIVOT: DOOR-O-MATIC 019AC
 LOCK-NARROW BACKSET: ADAMS-RITE MS 1851S, L/C CYLINDER: SCHLAGE 20-001
 FLUSH BOLTS: ADAMS-RITE MS 4015 AND 4085
 EXIT INDICATOR: ADAMS-RITE 4089
 CYLINDER GUARD: ADAMS-RITE 4043
 PULL: TRIMCO 1191
 THRESHOLD: (1) SEALS BY DOOR MANUFACTURER

HARDWARE GROUP #3 (SALES-STOCK-OFFICE)

EACH DOOR TO HAVE:
 HINGE: (3) F179-4 1/2"
 PRIVACY LOCK (1): AL40-S SAT

HARDWARE GROUP #3 (TOILET ROOMS)

EACH DOOR TO HAVE:
 HINGE: (3) F179-4 1/2"
 PRIVACY LOCK (1): AL40-S SAT
 FLOOR STOP (1):
 SIGN-UNISEX (WALL): (1)
 SIGN-UNISEX (DOOR): (1)



WALL & CEILING ASSEMBLY NOTES

- ALL INTERIOR WALLS TO HAVE GYPSUM BOARD EXTEND TO PROVIDE TIGHT BUTT JOINT TO FLOOR SLAB. NO GAP IN EXCESS OF 1/4" WILL BE ALLOWED.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT THE INTERIORS OF ALL TOILET ROOMS.
- USE 5/8" THICK GYPSUM BOARD THROUGHOUT EITHER TYPE "X" OR UN-RATED AS NOTED ON SHEET
- PROVIDE SOUND BATT INSULATION OVER ALL RESTROOM AND KITCHEN AREAS
- WALL ASSEMBLY TO COMPLY AT MINIMUM WITH CBC TABLE 720.1(2) ITEM 13-1.1

WALL & CEILING ASSEMBLY NOTES

- ALL INTERIOR WALLS TO HAVE GYPSUM BOARD EXTEND TO PROVIDE TIGHT BUTT JOINT TO FLOOR SLAB. NO GAP IN EXCESS OF 1/4" WILL BE ALLOWED.
- PROVIDE WATER RESISTANT GYPSUM BOARD AT THE INTERIORS OF ALL TOILET ROOMS.
- USE 5/8" THICK GYPSUM BOARD THROUGHOUT EITHER TYPE "X" OR UN-RATED AS NOTED ON SHEET
- PROVIDE SOUND BATT INSULATION OVER ALL OFFICE AREAS
- WALL ASSEMBLY TO COMPLY AT MINIMUM WITH CBC TABLE 720.1(2) ITEM 13-1.1

WALL ASSEMBLY NOTES

- ALL INTERIOR WALLS TO HAVE GYPSUM BOARD EXTEND TO PROVIDE TIGHT BUTT JOINT TO FLOOR SLAB. NO GAP IN EXCESS OF 1/4" WILL BE ALLOWED.
- USE 5/8" THICK GYPSUM BOARD THROUGHOUT EITHER TYPE "X" OR UN-RATED AS NOTED ON FLOOR PLAN
- WALL ASSEMBLY TO COMPLY AT MINIMUM WITH CBC TABLE 720.1(2) ITEM 13-1.1

RESTROOM ACCESSORY SCHEDULE NOTES:

- ALL TOILET ROOM ACCESSORIES SHALL BE 'BOBRICK WASHROOM EQUIPMENT, INC.'
- ALL TOILET ROOM ACCESSORIES SHALL BE BRUSHED/ SATIN STAINLESS STEEL FINISH.

GRAB BARS (1) 36"L. AND (1) 42" L. PER A.D.A. STALL, #B5806

MIRROR (WITH 5" SHELF), #B-166

TOILET PAPER DISPENSER, #B-685

TOILET SEAT COVERS, #B-221

SOAP DISPENSER, #B-2111

TRASH CAN (13 GA.), #B-2260

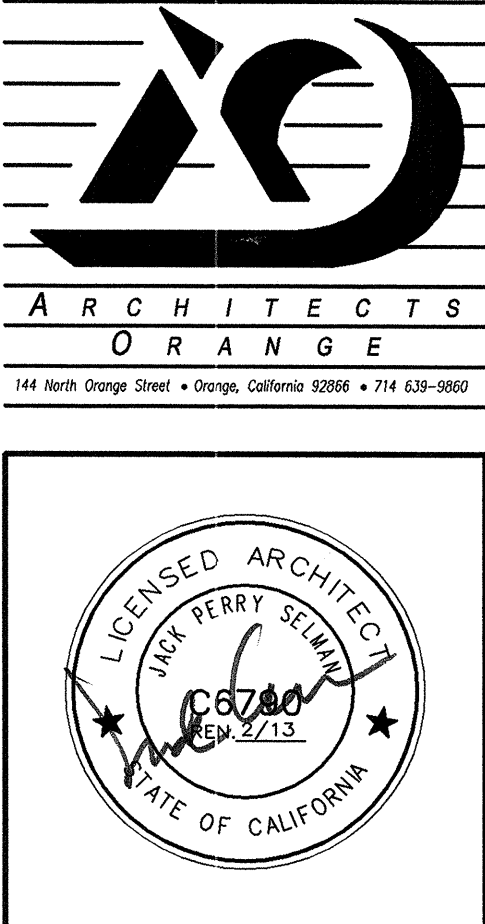
DOOR HARDWARE

TYPICAL PARTITION WALL

TYPICAL PARTITION WALL

TYPICAL DEMISING WALL

ENLARGED PLAN



McFADDEN PLACE
 1400 S. Village Way
 Santa Ana, CA. 92705

**BUILDING "H"
 TENANT IMPROVEMENT
 FOR
 Habitat for Humanity**

BRISTOL GROUP, INC.
 400 MONTGOMERY STREET
 SAN FRANCISCO, CA. 94104

**INTER. DETAILS
 WALL TYPES**

© 2011 Architects Orange
 These plans are copyright protected. Under any provision unless otherwise stated, no part of these plans shall be reproduced or used without written permission by Architects Orange.

DATE

_____	Plan Check
_____	Est Set
_____	Permit
2011-453	Project Number
2011-453-3.2	Drawing Name
02/17/12	Plot Date
02/13/12	PLAN CHECK CORR.

SHEET

A3.2