

EXPEDITED
PLAN CHECK

CITY OF SANTA ANA
BUILDING PERMIT WORKSHEET

PLEASE PRINT

1/14/09:forms/Bldg.App.Worksheet

PROJECT ADDRESS: 3621 S. HARBOR BLVD.	SUITE: 150	SAPIN # 10174235
USE OF BUILDING: RESIDENTIAL <u>COMMERCIAL</u> INDUSTRIAL OTHER	2012-101249 MASTER ID#	
NATURE OF WORK: NEW ADD <u>ALTER/I.</u> DEMO REROOF REPAIR SIGN MISC	VALUATION: \$ 27,455.00	

NEW/ADDITION/ALTERATION:

1ST FL.. _____ SF BASEMENT: YES/NO _____ SF NO. OF STORIES: _____

2ND FL.. _____ SF PATIO/ENCL. PATIO: _____ SF BLDG. HEIGHT: _____

TOTAL OF OTHER FLS: _____ SF RES. REMODEL: _____ SF PROPOSED USE: _____

GARAGE/CARPORT: _____ SF ALTER/I.: 1,222 USF (DEMISING WALLS ARE EXISTING)

JOB DESCRIPTION (non-residential projects see reverse side of this application): REPLACE EXISTING SINGLE ENTRY DOOR W/NEW DOUBLE RATED DOOR - PROVIDE INSULATION IN EXISTING DEMISING WALL; DEMO 3 INTERIOR WALLS, 2 DOORS AND ONE WINDOW; SOUNDPROOFING IN OPEN OFFICES; NEW FINISHES.

BUILDING OWNER'S NAME: (CONTACT: DYANA ELAM)
ARDEN REALTY

PHONE NO: (310) 966-2655

ADDRESS: 11601 WILSHIRE BLVD. 4TH FL. CITY: LOS ANGELES STATE: CA ZIP: 90025

TENANT'S NAME (Comm/Ind): (CONTACT: CHRISTINA LEAHY)
TRAINING CONSULTANTS

PHONE NO: (714) 963-3365

CONTRACTOR'S NAME: JAMES SCHIERMEYER@ ADVANCED BUILDERS

STATE CONTR. #: 341749

LICENSE CLASS: _____ **PHONE NO:** (949) 766-1146

ADDRESS: 359 SAN MIGUEL, SUITE 207 CITY: NEWPORT BEACH STATE: CA ZIP: 92660

WORKERS COMP. POLICY#: _____ **EXP. DATE:** _____ **INSURANCE COMPANY:** _____ **SANTA ANA BUS. LIC. #:** _____

ARCHITECT/ENGINEER: RANDALL PATRICK @ SPACES P&D

STATE LICENSE #: CCIDC # 6141

PHONE NO: (949) 724-1499

ADDRESS: 17780 FITCH, SUITE 150 CITY: IRVINE STATE: CA ZIP: 92614

CONTACT NAME: RANDALL PATRICK **PHONE NO:** (949) 724-1499 x1

E-MAIL ADDRESS: rand@spaces-oc.com **FAX NO:** (949) 724-1490

OFFICE USE ONLY: ACC OR SPC (CIRCLE ONE) 2 HRS PER FH BLDG. FEE \$ _____

ACC. GROUP: _____ **RECEIPT #:** 58704 **P/C FEE PD \$:** 391.04

TYPE OF CONSTR: _____ **VALUATION: \$:** 43,870 **SUBMITTAL DATE:** 1-26-12

FIRE SPKR: YES / NO **A/C: YES / NO** **FLOOD ZONE:** X **PROCESSED:** JULIUS

RES. DEV. FEE: YES / NO **PRIOR DWELLING UNIT: YES / NO** **COMMENTS:** _____

PLANNING OK TO CHECK & DATE: _____ **BLDG. DEPT. APPROVAL & DATE:** _____

PLANNING CONDITIONS: _____

PLEASE CHECK ALL THAT APPLY TO YOUR PROJECT

JOB DESCRIPTION CHECKLIST:

- | | |
|--|--|
| <input type="checkbox"/> Additional square footage | <input type="checkbox"/> Partition walls |
| <input type="checkbox"/> Awnings | <input type="checkbox"/> Rated corridors — ONLY REPLACE EXISTING SINGLE ENTRY DOOR WITH DOUBLE DOOR - DEMO SECTION OF WALL |
| <input type="checkbox"/> Canopy | <input type="checkbox"/> Rated shafts |
| <input type="checkbox"/> Ceiling work | <input type="checkbox"/> Roof mounted equipment |
| <input type="checkbox"/> Change of occupancy (use) | <input type="checkbox"/> Security bars |
| <input type="checkbox"/> Disabled accessible (H/C) restrooms | <input type="checkbox"/> Screening for equipment |
| <input type="checkbox"/> Dust collector | <input type="checkbox"/> Skylights |
| <input type="checkbox"/> Elevator shaft | <input type="checkbox"/> Stairs |
| <input type="checkbox"/> Exterior doors or windows | <input type="checkbox"/> Storefront/facade improvements |
| <input type="checkbox"/> Equipment pads | <input type="checkbox"/> Storage racks or shelving over 5'-9" |
| <input checked="" type="checkbox"/> Interior demo | <input type="checkbox"/> Walk-in coolers |
| <input type="checkbox"/> Kitchen equipment | |

ITEMS REQUIRING SEPARATE BUILDING PERMIT APPLICATIONS:

- Block wall
- Card readers
- Complete demo
- Fence
- Fire signaling system
- Fire sprinklers (BY OTHERS - REWORK EXISTING)
- Flagpole
- Lawn sprinkler system
- Light Standards
- Parking lot repaving
- Parking lot restriping
- Pedestrian protection
- Pool/Spa
- Signs
- Spray booth
- Temporary power pole
- Trash enclosure

CITY OF SANTA ANA PLAN CHECK - CHECKLIST

JOB ADDRESS: 3621 S Harbor #150
 TRACKING #: 10174235 DATE: 1-26-12

FOR PLANCHECK STATUS CALL (714) 647-5800

PLEASE INITIAL EACH ITEM BELOW

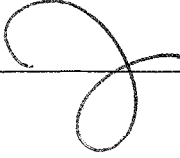
- MRS 1. I agree to pay a plancheck fee established for this project with the understanding that this payment is not a guarantee that a permit will be issued and that this fee is not refundable once a plancheck has commenced.
- MRS 2. I understand that I may request an "Accelerated Plancheck" at an additional cost to me. This plancheck will be performed by an in-house plan checker with the intention of reducing plancheck time for the Building & Safety Division.
- MRS 3. I understand that the project valuation (from which plancheck and permit fees are calculated) will be reviewed during the plancheck process and that said valuation shall be adjusted up or down in accordance with established fee computation regulations.
- MRS 4. I understand that I shall submit separate plans, applications and plancheck fees for the following when plan check is required:
 - a. Electrical Plans - 2 complete sets
 - b. Plumbing Plans - 3 complete sets
 - c. Mechanical Plans - 2 complete sets
 - d. Grading Plans - 3 complete sets
- MRS 5. I understand that I shall visit the Public Works Department to verify whether a field inspection of the property is required. I understand that prior to the issuance of the Building permit I am required to obtain Public Works Agency approval if my project valuation exceeds \$30,000 or has added plumbing fixtures, or added bedrooms, or exceeds 500 sq.ft.

AGREED TO BY APPLICANT OR AGENT

Applicant's Signature Margaret R. Sharpe
 Print Name MARGARET R. SHARPE Address 17780 FITCH #150 IRVINE CA 92614
 Telephone Number (949) 724-1499 Fax (949) 724-1490

FOR OFFICE USE ONLY: "Checklist of items discussed" APPROVALS & FEES REQUIRED: Y/N

- | | | |
|--|---|--|
| 1. <input checked="" type="checkbox"/> Planning Department | 7. <input type="checkbox"/> Title 24 (Energy) | 14. <input checked="" type="checkbox"/> Constr. Act. Req. |
| 2. <input checked="" type="checkbox"/> Public Works Agency | 8. <input checked="" type="checkbox"/> Title 24 (Disabled Access) | 15. <input type="checkbox"/> Res. Dev. Fees |
| 3. <input checked="" type="checkbox"/> Fire Department | 9. <input type="checkbox"/> Roof Mounted Equip. | 16. <input type="checkbox"/> SMIP |
| 4. <input type="checkbox"/> Police Department | 10. <input type="checkbox"/> List of Subcontr. | 17. <input checked="" type="checkbox"/> Microfilming |
| 5. <input type="checkbox"/> School District | 11. <input checked="" type="checkbox"/> Bldg. Pmt. Info. | 18. <input type="checkbox"/> Const. Debris Recyc. |
| 6. <input type="checkbox"/> Health Department | 12. <input type="checkbox"/> Summary of Appr. Req. | 19. <input type="checkbox"/> FCWP Surcharge |
| | 13. <input checked="" type="checkbox"/> FY Information | 20. <input checked="" type="checkbox"/> LOA/Owner-Builder Ver. |

PERMIT TECHNICIAN 

FEE CHECKLIST WORKSHEET

Received by:

[Signature]

SAPIN #:

10174235

FEE TYPE

REQUIRED

Yes No

Plan Check Fee

Disability Fee

SMIP Fee

Res. Dev. Fee

Fire Facility Fee

School Distr. Fee

Microfilm

FCWP Surcharge

CALCULATION AREA

COST/SQ FT X TOTAL SQ FT = VALUATION

$$1222 \times 35 \frac{90}{100} =$$

Counter computations/valuation \$ _____

Plan checker computation/final valuation \$ _____



Planning & Building Agency
 Permits & Plan Check Section
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

ACCELERATED PLAN CHECK REQUEST

HO18: 07-01-11

Project Address: 3621 S HARBOR #150

Misc. Receipt: 58704 Processed By: [Signature] Plan Checked By: _____

Cost: \$117.70 per hour for each discipline. The plan checker will estimate the number of hours for review. This fee is in addition to the regular plan check fee.

Type of Plan Check: Building 10174235 Electrical _____
 Est. Hrs. 2 Actual 2 KA Est. Hrs. _____ Actual _____
 Plumbing _____ Mechanical _____
 Est. Hrs. _____ Actual _____ Est. Hrs. _____ Actual _____

Owner/Representative Signature: Margaret Sharpe

Print Name: MARGARET SHARPE Date: 1/26/12

Telephone Number: (714) 724-1497 Fax Number: 949 724-1490

MBS

An accelerated plan check review will not include the following:

Fire, Police, Public Works, Planning or Landscaping Plan Check

Revisions: If requesting an "accelerated revision", the cost will be \$207.25 per hour in addition to the accelerated fee of \$117.70 per hour (total \$324.95).

INTERNAL USE ONLY

Name (Last, First, Initial)		Employee #	Division
From (Date & Time)	To (Date & Time)	Total Hours Worked	<input type="text"/> Comp Time Requested <input type="text"/> Overtime Requested
Employee Signature: _____ Date: _____			
AUTHORIZED <input type="text"/> Comp time <input type="text"/> Overtime Immediate Supervisor _____ Date _____		APPROVALS Division Manager _____ Date _____ Executive Director _____ Date _____	



Planning & Building Agency
 Building Safety Division
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

TENANT IMPROVEMENT PLAN CHECK COMMENTS

PLAN CHECK NO:	10174235		
PROJECT ADDRESS:	3621 S Harbor Blvd Unit# 150		
PLAN CHECK ENGINEER:	Ahangian, Kathy	TEL: 714	647-5812
		FAX: 714	647-5897
TYPE OF CONSTRUCTION:	V B, SPK		
OCCUPANCY CLASSIFICATION(S):	B		
PLAN CHECK DATES:		REMARKS/RECHECK ITEMS:	
APPLICATION	1/26/2012		
INITIAL REVIEW	2/5/2012		
EXPIRATION	7/24/2012		
RECHECKS:	1.	PROJECT APPLICANT CONTACT PERSON:	
	2.	Randall Patrick	
	3.	TEL:	(949)724-1499
		FAX:	(949)724-1877
VALUATION:	\$43,870.00	EMAIL:	rand@spaces-oc.com
FLOOD ZONE:	X-0602320258J		

**APPLICABLE CODE: 2010 CALIFORNIA BUILDING CODE (CBC) WITH
 CITY OF SANTA ANA AMENDMENTS**

1. All items noted on this plan check report must be addressed. If you feel that an item is not applicable to your project, note "N/A" and discuss the reason with the plan checker.
2. Please indicate the sheet number and detail to the right of each correction, or note the number on the plans where the correction is made. Resubmit marked original, calculations and this correction sheet. A separate sheet for response may be used.
- 3. Resubmit 3 corrected sets of plans.
- 4. Meetings between the project applicant/designer and the plan reviewer shall be by appointment only. Please call (714) 647-5812 for an appointment.
5. Please return marked up set of drawings with corrections.

6. The applicant shall obtain clearances/approvals for the following prior to building permit issuance:

- Planning Division approval on the corrected/final set of drawings (647-5804.) Previously approved plans should be submitted to expedite the process.
- Fire Department approval on the corrected/final sets of drawings (647-5839 or 647-5700)
- Police Department approval on the corrected/final set of drawings (647-5840)
- Public Works Agency approval (647-5039)
- Proof of Worker's Compensation Insurance shall be required at the time of permit issuance

✓ 7. Please fill out attached handicap compliance form.

2-21-12
OK
8. Clarify if existing K5 note (pony up) is low wall or full height wall, and change detail 2/A-5 accordingly. (In both situation the detail needs to be changed.)

KA
9. Show exit signs in the corridor. EXISTING DEMISING WALL IS PROBABLY BUILDING STANDARD FULL HEIGHT WALL. G.C. TO VERIFY & PONY UP TO THE DECK IF NEC/SEE REVISED KEYNOTE K5 ON A-1;

✓ 10. Show how required fire resistive integrity will be maintained for the corridor where the new door will be installed. AND NEW BRACING DETAIL (#3/A5)
SEE REVISED KEYNOTE K1 & GEN. NOTE #8 ON A-1, AND DOOR HARDWARE # 2 & DOOR ELEVATION "B" ON A-4.

TENANT

TRAINING CONSULTANTS SUITE 150

GENERAL NOTES

- 1. PRIOR TO SUBMISSION OF PRICING AND START OF CONSTRUCTION... 2. CONTRACTOR SHALL PROTECT AREA AND NEW OR EXISTING MATERIALS... 3. MATERIALS ARE SPECIFIED BY THEIR BRAND NAMES... 4. ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, ELECTRICAL, ETC., SHALL CONFORM TO THE APPROPRIATE BUILDING DEPARTMENT... 5. DIMENSIONS: A. ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD... 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL THE TRADES... 7. ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS... 8. UNLESS SPECIFIED TO BE SUPPLIED "BY THE TENANT" THE GENERAL CONTRACTOR IS TO PROVIDE AND INSTALL ANY ITEMS SPECIFIED ON THE CONSTRUCTION DOCUMENTS... 9. THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL FABRICATED ITEMS, CUTS OF ALL FIXTURES, EQUIPMENT AND SAMPLES OF ALL FINISHES CALLED FOR SPACES FOR APPROVAL PRIOR TO INSTALLATION... 10. THE GENERAL CONTRACTOR SHALL PROVIDE THE MINIMUM INSURANCE REQUIREMENTS SET FORTH IN ARTICLE II OF AIA DOCUMENT A201... 11. THE GENERAL CONTRACTOR SHALL MAINTAIN A PERMITTED AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION... 12. THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS OF ALL SUBCONTRACTORS AND TRADES... 13. ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED... 14. PLUMBING, ELECTRICAL, SPRINKLER AND HVAC SUBCONTRACTORS SHALL SECURE THEIR OWN SEPARATE PERMITS AND PLAN CHECK... 15. "EXIT" SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH 2010 CBC, CHAPTER 10, SECTION 1011.1... 16. COMPLIANCE TO 2010 CBC STANDARD 7-2, PART II SECTION 715.4.31 WILL BE PROVIDED... 17. NO HAZARDOUS MATERIALS, LIQUIDS, OR CHEMICALS SHALL BE STORED OR USED WITHIN THE SUBJECT BUILDING... 18. ALL INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST ALL LOADS... 19. CONSTRUCTION SHALL COMPLY TO SECTION 602, 2010 CBC... 20. COMPLIANCE TO SECTION 304.5 OF THE 2010 CBC AND STATE AMENDMENTS WILL BE PROVIDED... 21. "IN GROUP B OCCUPANCY BUILDINGS, ENCLOSED PORTIONS CUSTOMARILY OCCUPIED BY HUMAN BEINGS... 22. LIGHTING: EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT... 23. IF FIRE DAMPERS ARE REQUIRED, IT SHALL AUTOMATICALLY BE CLOSED BY 1) AN INCREASE IN TEMPERATURE AND 2) ACTIVATION OF SMOKE DETECTORS... 24. COMPLIANCE FOR ALL EQUIVALENT ACCESSIBLE FACILITIES WILL BE MET FOR THIS PROJECT... 25. UNDER 2010 CBC, SECTION 907.3.1 IS BEING APPLIED TO THE FOLLOWING ROOMS/EXIT WAYS... 26. THE CITY OF SANTA ANA PERFORMS A GENERAL REVIEW OF THE DRAWINGS AND CALCULATIONS... 27. TENANT'S SIGNAGE AND KEYING TO BE PROVIDED BY THE GENERAL CONTRACTOR AND COORDINATED BY PROPERTY MANAGER... 28. THE CONTRACTOR SHALL SUBMIT FOR APPROVAL A DETAILED CONSTRUCTION SCHEDULE SHOWING PHASING OF WORK... 29. ALL WALL FINISHES MUST COMPLY WITH CHAPTER 8 2010 CBC... 30. FOR DISABLED ACCESSIBILITY, THE AREA OF REMODEL, PATH OF TRAVEL DOORS, & RESTROOMS SHALL COMPLY WITH TITLE 24... 31. IF ANY PENETRATIONS ARE MADE TO THE FIRE ASSEMBLY, THE PENETRATION PIPES AND SIMILAR SYSTEMS THAT ARE MADE TO PENETRATE FIRE RESISTIVE MUST BE SEALED WITH APPROVED FIRE RESISTANT MATERIAL... 32. ANY ELECTRICAL, MECHANICAL, PLUMBING, COMMUNICATION CONDUITS, ASSEMBLIES ARE TO COMPLY WITH 2010 CBC... 33. COMPLIANCE TO SECTION 403 2010 CBC WILL BE PROVIDED FOR NEW HIGH RISE BUILDINGS.

FIRE DEPARTMENT NOTES

- 34. PROVIDE A 40BC MINIMUM RATED FIRE EXTINGUISHER IN KITCHEN. WHERE IF APPLICABLE... 35. FIRE DEPARTMENT FINAL INSPECTIONS ARE REQUIRED... 36. PROVIDE 2A 10BC MINIMUM RATED FIRE EXTINGUISHERS... 37. FIRE SPRINKLER SYSTEM(S) PER N.F.P.A. STANDARD 13 SHALL BE PROVIDED... 38. "EXIT" SIGNS SHALL BE IN BLOCK LETTERS A MINIMUM OF SIX (6) INCHES HIGH... 39. "EXIT" SIGNS SHALL BE ELECTRICALLY ILLUMINATED AND ENERGIZED FROM SEPARATE CIRCUITS... 40. DRAPERIES AND OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT... 41. STORAGE, DISPENSING, OR USE OF ANY FLAMMABLE, COMBUSTIBLE LIQUID, FLAMMABLE GASES, AND HAZARDOUS CHEMICALS SHALL COMPLY WITH 2010 CALIFORNIA BUILDING CODE REQUIREMENTS... 42. ALL EXITS SHALL BE OPEN-ABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT... 43. TENANT IMPROVEMENTS IN HIGH-RISE BUILDINGS SHALL HAVE LIFE SAFETY SPEAKERS... 44. COMPLIANCE TO CBC SECTION 1105.4.6 FOR HEARING IMPAIRED EMERGENCY SYSTEM WILL BE PROVIDED... 45. PLANS OF AUTOMATIC SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION... 46. PROVIDE SUITE NUMBERS THREE (3) INCHES HIGH... 47. FIRE ALARM SYSTEM REQUIRED PER CURRENT ADOPTED C.F.C. AND SANTA ANA STANDARDS, NFPA #72... 48. PLANS FOR BOTH ALARM AND THE SPRINKLER SYSTEM SHALL BE SUBMITTED (THREE COPIES) TO THE BUILDING DEPARTMENT... 49. A SIGN THAT READS "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" WITH A MINIMUM ONE (1) INCH LETTERS SHALL BE PROVIDED ADJACENT TO EXIT DOORS... 50. THE PATH OF TRAVEL (AT HARBOR CORPORATE PARK) FROM THE PARKING SPACE TO THE PRIMARY ENTRANCE TO THE TENANT SUITE (REMODELED AREA) CURRENTLY HAS DISABLED ACCESS...

PROJECT TEAM

OWNER: ARDEN REALTY 11601 WILSHIRE BLVD., 4TH FLOOR LOS ANGELES, CA 90025 (310) 966-2655 PHONE (310) 961-8281 FAX DYANA ELAM, ASST. PROPERTY MANAGER DYANA@ARDENREALTY.COM ARCHITECT: SPACES 17780 FITCH, SUITE 150 IRVINE, CALIFORNIA 92614 (949) 724-1499 PHONE (949) 724-1490 FAX RANDALL PATRICK RAND@SPACES-OC.COM GENERAL CONTRACTOR: ADVANCED BUILDERS 359 SAN MIGUEL, SUITE 207 NEWPORT BEACH, CA 92660 (949) 760-1146 PHONE (949) 760-1107 FAX JAMES SCHIERMEYER ADVBUILD@EARTHLINK.NET ELECTRICAL ENGINEER: HACKNEY ELECTRIC, INC. 23286 ARROYO VISTA RANCHO SANTA MARGARITA, CA 92688 (949) 264-4000 PHONE (949) 264-4011 FAX GUY ZINN GUY@HEIRSM.COM MECHANICAL ENGINEER: COMPLETE THERMAL SERVICES 11105 KNOTT AVE., SUITE E CYPRESS, CA 90630 (714) 891-2265 PHONE (714) 891-2068 FAX DENNIS COHEN DENNIS@COMPLETETHERMAL.COM FIRE SPRINKLERS: FIRE PROTECTION SPECIALISTS, 2810 E. MIRALOMA AVE. ANAHEIM, CA 92806 (714) 635-6500 PHONE (714) 635-4422 FAX DAN DAN@FIREPROTECTIONSPECIALISTS.COM

PROJECT

ARDEN REALTY, INC. HARBOR CORPORATE PARK 3621 SOUTH HARBOR BOULEVARD SANTA ANA, CA 92705

TENANT

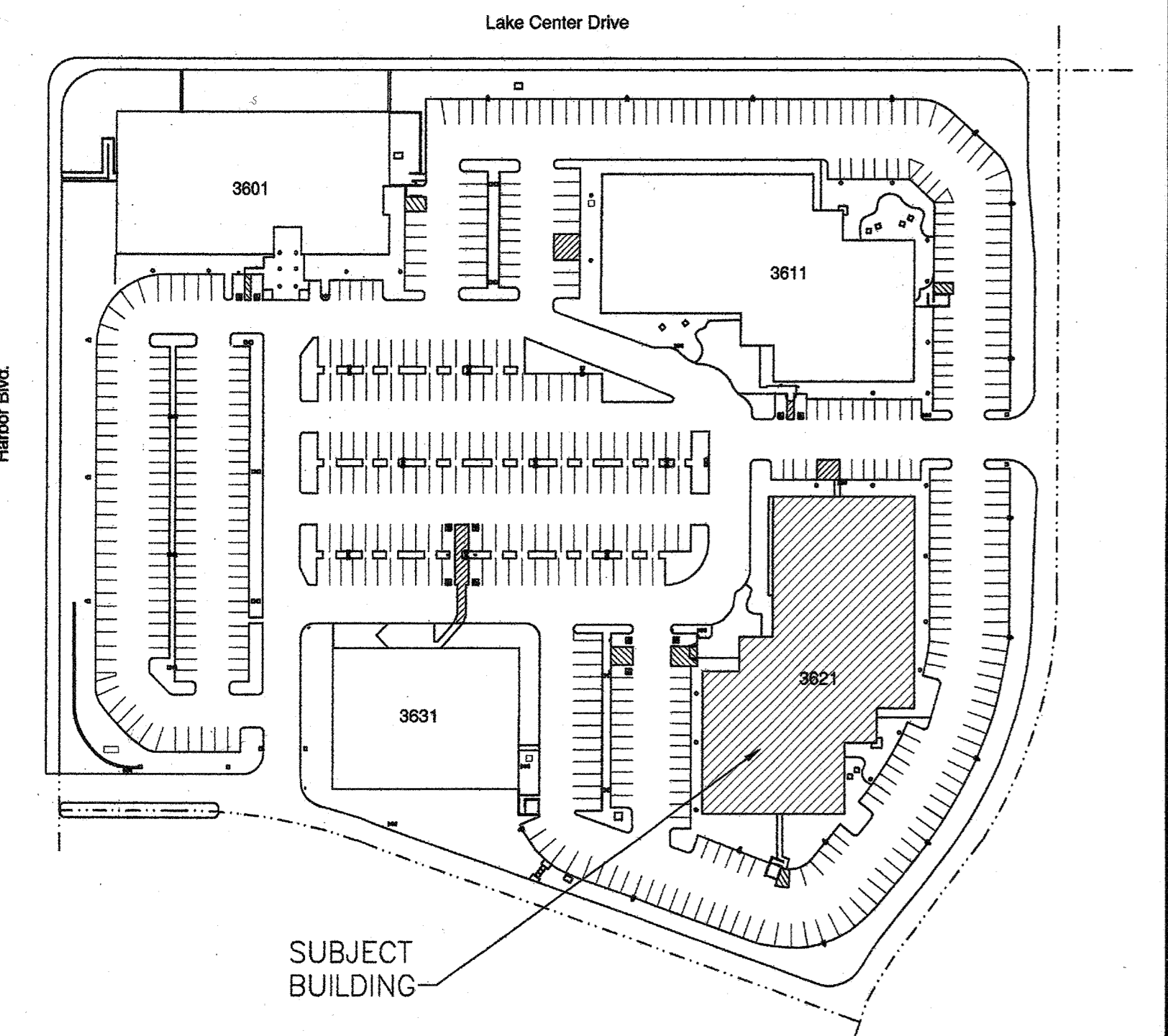
TRAINING CONSULTANTS SUITE 150

AGREED: ACCEPTED THIS DAY OF 2012

COMMENT: UPON SIGNING THESE DRAWINGS ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULLY AGREED TO BE BOUND BY THE TERMS OF THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO BE THE TENANT.

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF SPACES AND THEIR USE AND REPRODUCTION SHALL BE RESTRICTED TO THE ORIGINAL SPACE AND SUITE FOR WHICH THEY WERE PREPARED. NO REPRODUCTION, COPIES, OR PUBLICATION BY ANY MEANS OR BY ANY NAME, IN ANY MANNER, IS PERMITTED WITHOUT THE WRITTEN CONSENT OF SPACES. TITLE TO THESE PLANS AND/OR SPECIFICATIONS SHALL REMAIN WITH SPACES. NO VISA CHECK OR ANY OTHER CHECK SHALL CONSTITUTE FINAL ACCEPTANCE OR ACCEPTANCE OF THESE RESTRICTIONS.

SITE PLAN



FOR REFERENCE ONLY-SEE SITE PLAN ON ST-1 AND FLOOR PLANS FOR MORE ACCURATE LAYOUT.

VICINITY MAP



LEGAL DESCRIPTION

PARCEL NUMBER: 414-261-07 LEGAL DESCRIPTION: P BK 198 PG 1 PAR 3

SPACES'S DESIGN AND CONSTRUCTION DRAWINGS HAVE BEEN DESIGNED TO SUBSTANTIALLY CONFORM TO CALIFORNIA TITLE 24 ACCESSIBILITY CODES. ANY TENANT MODIFICATIONS TO THESE DRAWINGS WILL BE THE TENANT'S LIABILITY...

NOTE: *TENANT IS REQUIRED TO APPLY FOR CERTIFICATE OF OCCUPANCY WITH CITY OF SANTA ANA, BEFORE BUILDING PERMIT CAN BE ISSUED. *IT IS THE TENANT'S RESPONSIBILITY TO NOTIFY VENDORS THAT THE CITY OF SANTA ANA BLDG. DEPT. REQUIRES A PERMIT FOR ANY INSTALLATION OF LOW VOLTAGE SYSTEMS OR FURNITURE SYSTEMS REQUIRING POWER.

PROJECT DATA

BUILDING CODE: 2010 CBC AND TITLE 24 CONSTRUCTION BUILDING OCCUPANCY: B NUMBER OF STORIES: 2 CONSTRUCTION TYPE: V-B BUILDING SQUARE FOOTAGE: 44,836 SF

- Subject To The Following Approvals: Planning Department, Fire Department, Police Department, Public Works Agency, Grading Permit, County of Orange Health Department, Cal / OSHA, Flood Plain, School District, Park Acquisition and Development

SHEET INDEX

- A-0 COVER SHEET ST-1 SITE PLAN ST-2 TITLE 24 ACCESSIBLE PARKING DETAILS RR-1 TITLE 24 ACCESSIBLE RESTROOM DETAILS A-1 PARTITION/DEMOLITION PLAN A-2 REFLECTED CEILING PLAN A-3 TELEPHONE & ELECT. PLAN A-4 DOOR SCHEDULE & FINISH PLAN A-5 WALL DETAIL SHEET E-1 GENERAL NOTES & SYMBOLS PLAN E-2 SINGLE LINE DIAGRAM & PANEL SCHED. PLAN E-3 REFLECTED CEILING PLAN E-4 TELEPHONE/ELECTRICAL PLAN M-2 HVAC PLAN

*FIRE SPRINKLER DRAWINGS TO BE SUBMITTED SEPARATELY BY FIRE PROTECTION SPECIALISTS

PERMIT TYPE: MECH GRADING PERMIT 10174235 OCC GROUP: B CONSTR. TYPE: VB-SPK CODE EDITION: CBC 2010 FLOOD ZONE: FLOOD ZONE CERTIF. REQ'D: YES NO MICROFILM: YES NO RADIANT BARRIER @ ROOF: YES NO RESIDENTIAL DEV. FEE: YES NO SCHOOL DISTRICT: YES NO

APPROVED PLANS SHALL BE ON JOB SITE AT ALL TIME

APPROVED PLANS SHALL BE ON JOB SITE AT ALL TIMES

RECEIVED JAN 26 2012 City of Santa Ana

INTERIOR PLANNING & DESIGN SPACES P&D INC. 17780 FITCH, SUITE 150 / IRVINE, CA 92614 949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE USABLE: 1,222 SF

FIRST FLOOR COVER SHEET

Sheet Title Project Number 2778.17 Sheet Number A-0

10174235 FIRE

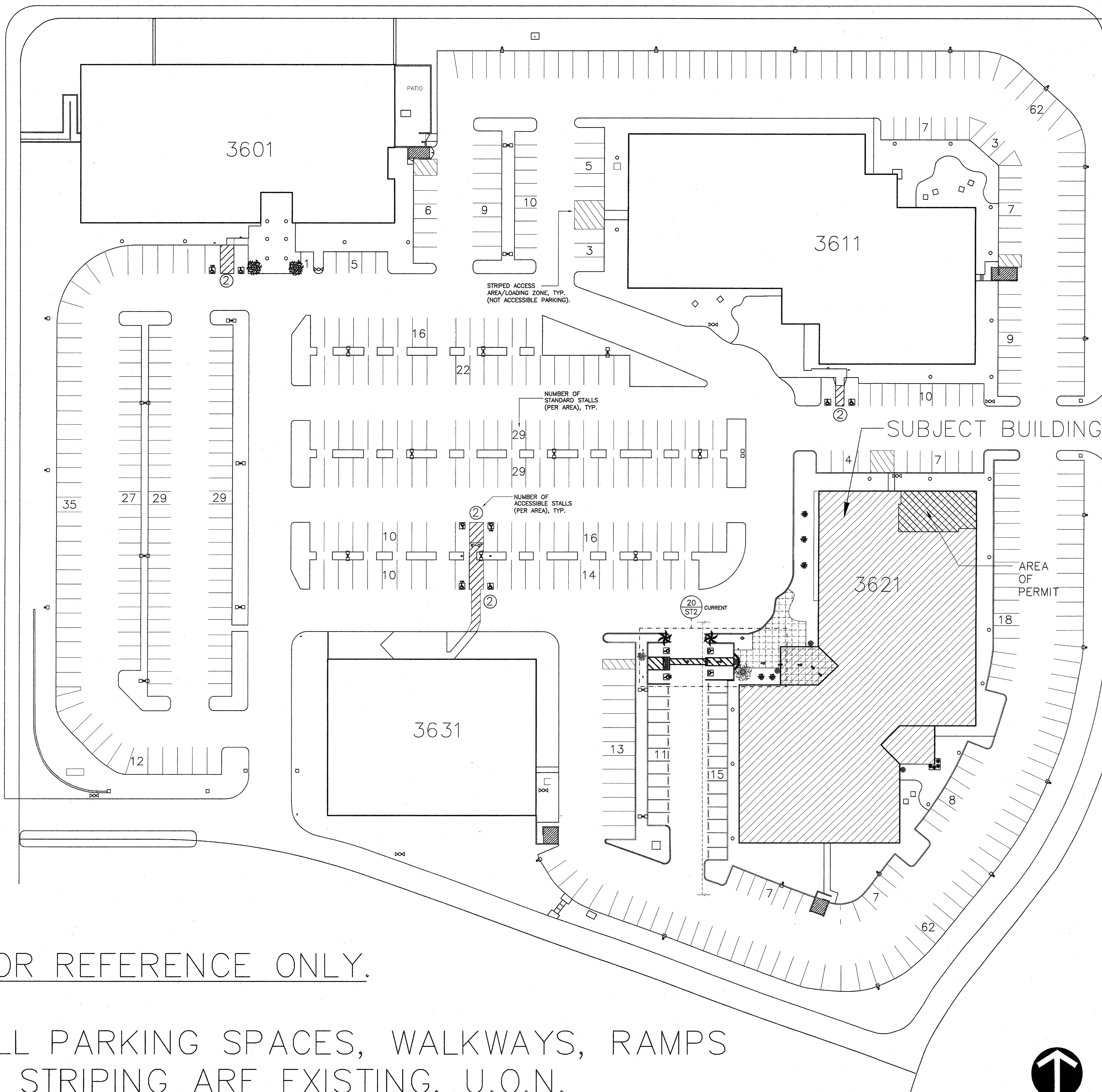
ARCHITECT: ACCEPTED

Table with columns for City, Date Issued, and other project details.

Table with columns for NO., DESCRIPTION, and DATE, listing various plan check corrections and approvals.

LAKE CENTER DRIVE

HARBOR BLVD.

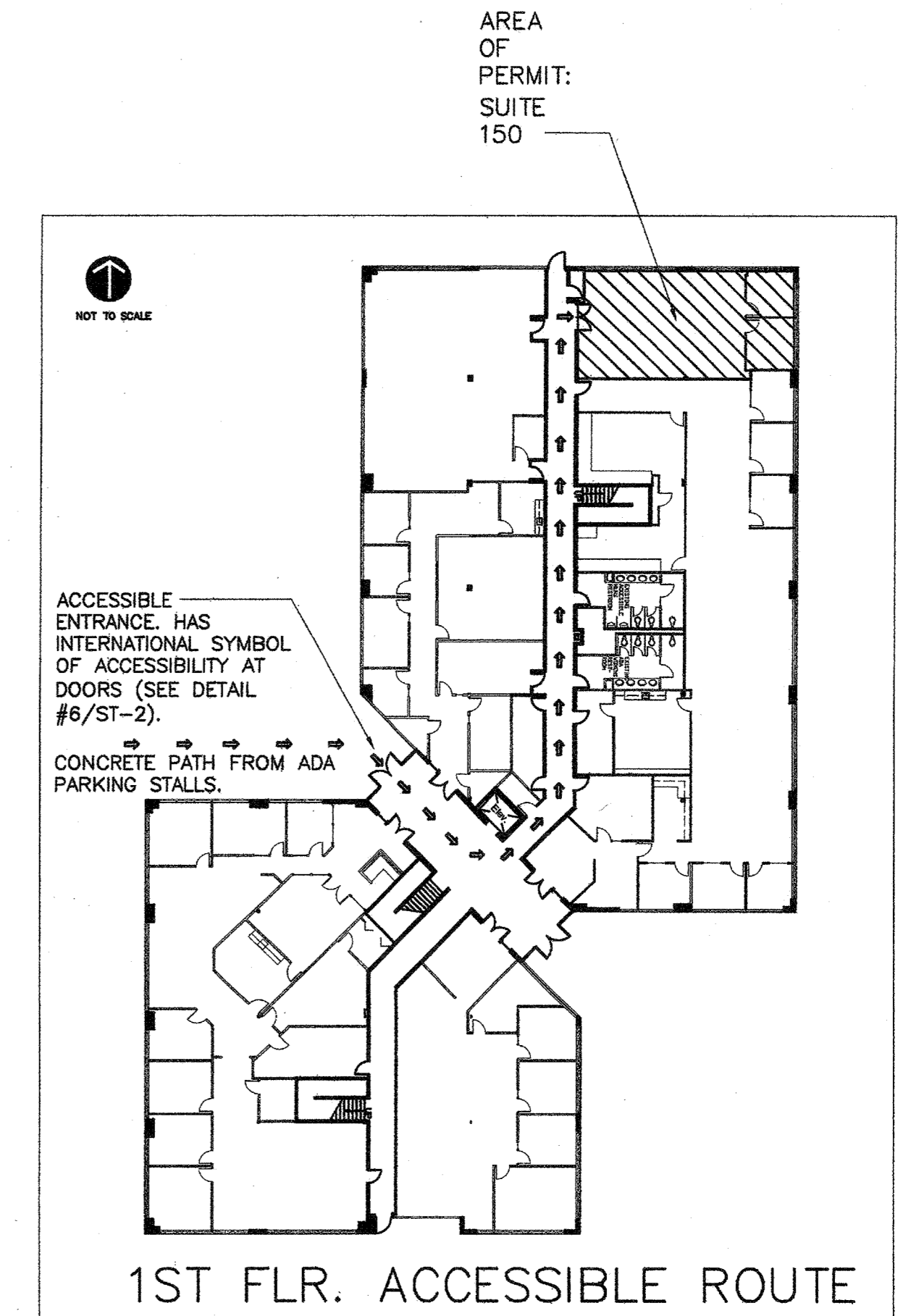


LEGEND

- SITE LIGHT FIXTURE
- ⊕ FIRE HYDRANT
- ↑ SIGNAGE
- BOLLARD
- ⊠ TRANSFORMER
- ▨ TRASH ENCLOSURE

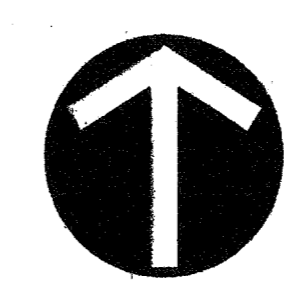
STANDARD ACCESSIBLE PARKING:	9
VAN ACCESSIBLE PARKING:	3
TOTAL ACCESSIBLE PARKING:	12
STANDARD STALLS:	567
TOTAL PARKING STALLS:	579

[TOTALS ABOVE INCLUDE 1 REGULAR ADA PARKING STALL ADDED PER RECENT SITE WORK AT BUILDING 3621 FOR BELMONT PUBLISHING IN JULY 2011.]



FOR REFERENCE ONLY.

ALL PARKING SPACES, WALKWAYS, RAMPS & STRIPING ARE EXISTING, U.O.N.



NOT TO SCALE

PROJECT



HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS

SUITE 150

AGREED:
ACCEPTED THIS DAY OF _____, 2012
BY: _____
TITLE: _____
COMMENT:
UPON REVIEW THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULLY AGREED TO THE USE OF CONSTRUCTION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL CHARGE/CONSTRUCTION COST TO THE TENANT.

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS OR INSTRUMENTS OF SERVICE ARE THE SOLE PROPERTY OF SPACES AND THEIR USE AND REPRODUCTION SHALL BE RESTRICTED TO THE ORIGINAL SPACE OR SUITE FOR WHICH THEY WERE PREPARED. NO USE, REPRODUCTION, OR PUBLICATION OF THESE DRAWINGS OR SPECIFICATIONS IN ANY MANNER OR FOR ANY PURPOSE OTHER THAN THAT SPECIFICALLY AUTHORIZED BY SPACES SHALL BE PERMITTED. ANY VIOLATION OF THESE TERMS SHALL CONSTITUTE FRAUD AND BE SUBJECT TO LEGAL ACTION WITHOUT NOTICE.

NO.	DESCRIPTION	DATE
△	PLAN CHECK SUBMITTAL	01.23.12
△	RELEASED FOR ENGINEERING	01.13.12
REVISIONS		
DRAWN		RP/MS
DATE		10.06.11
CHECKED		RP
PRINT DATE		01.20.12

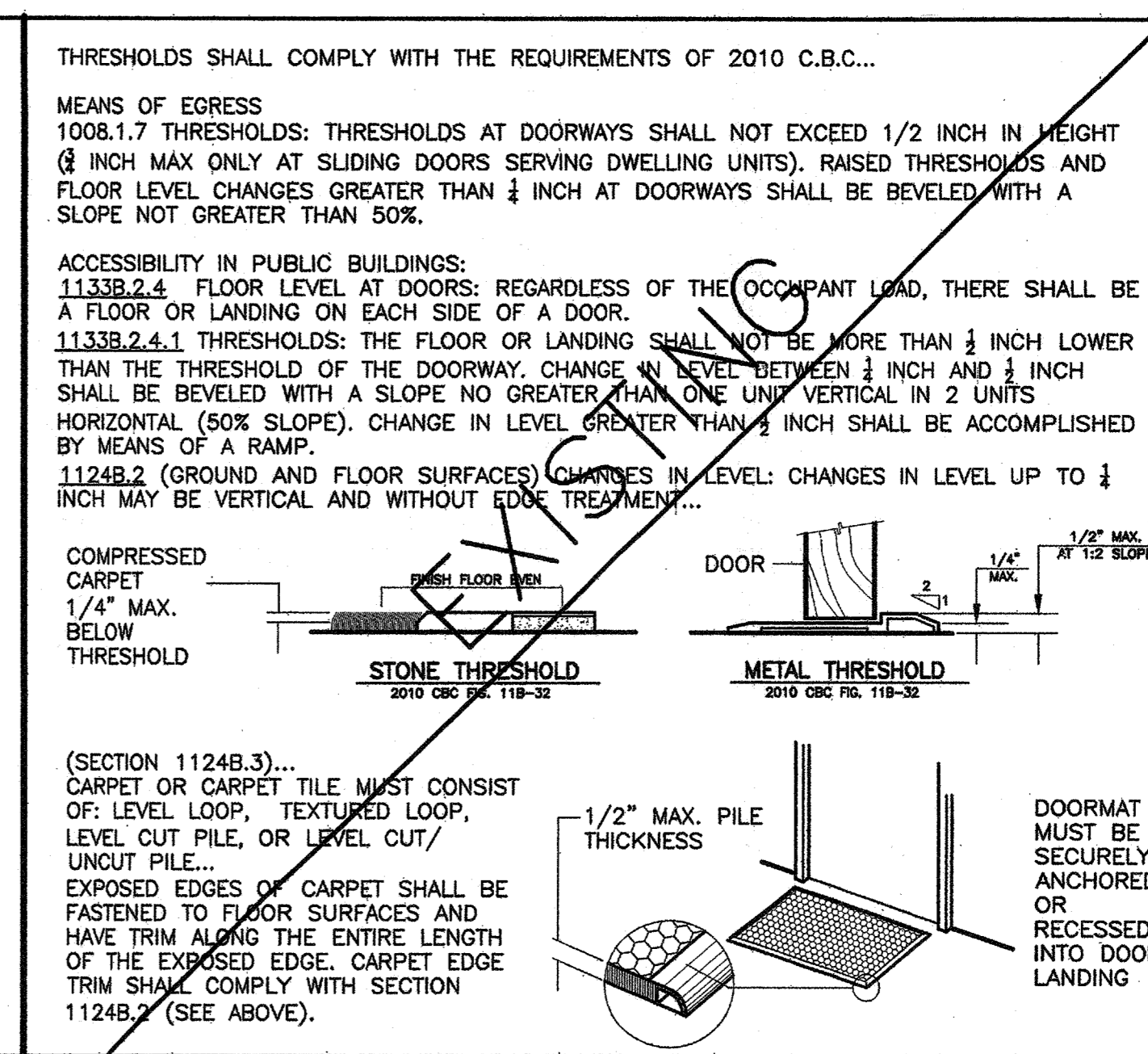
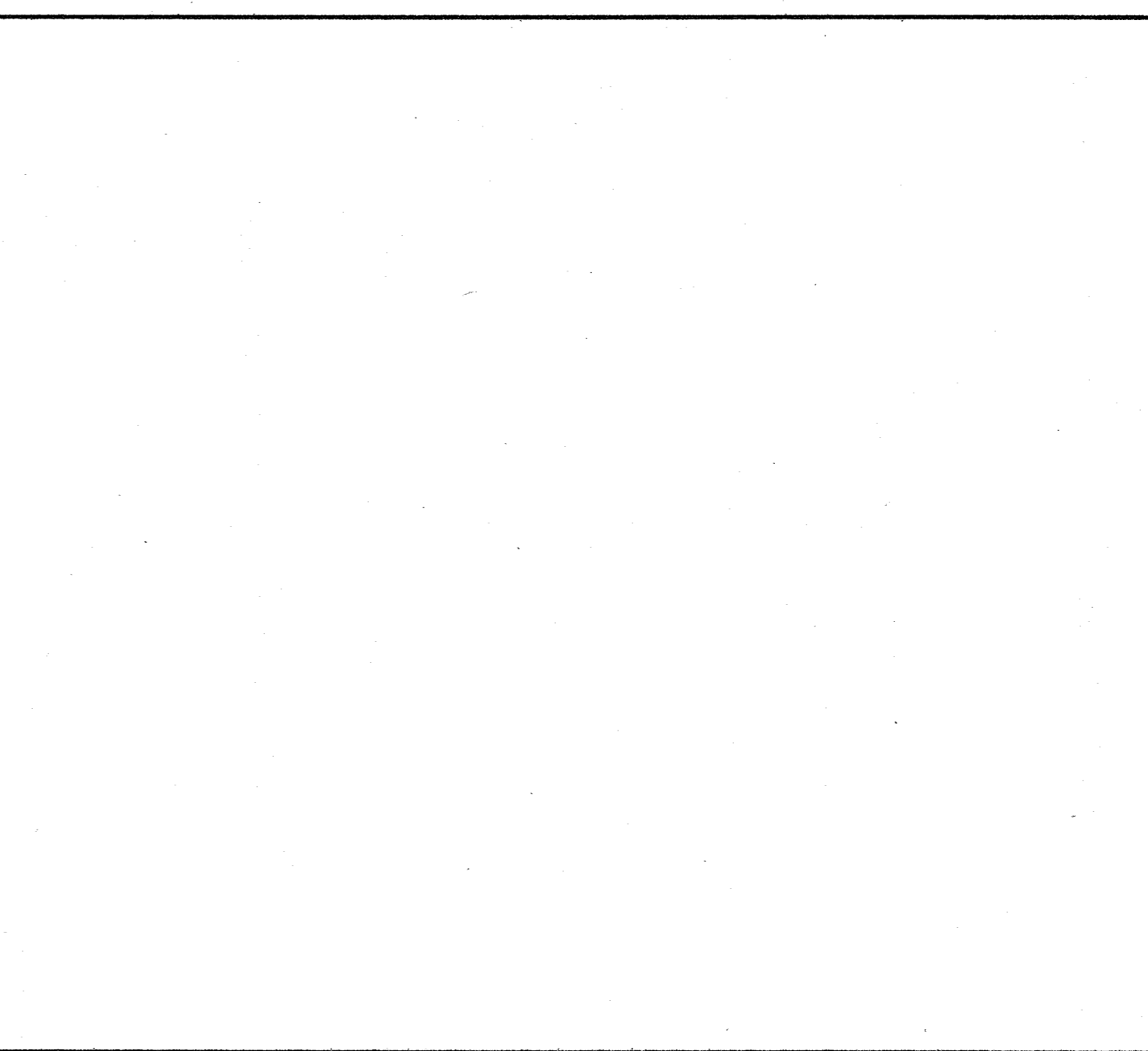
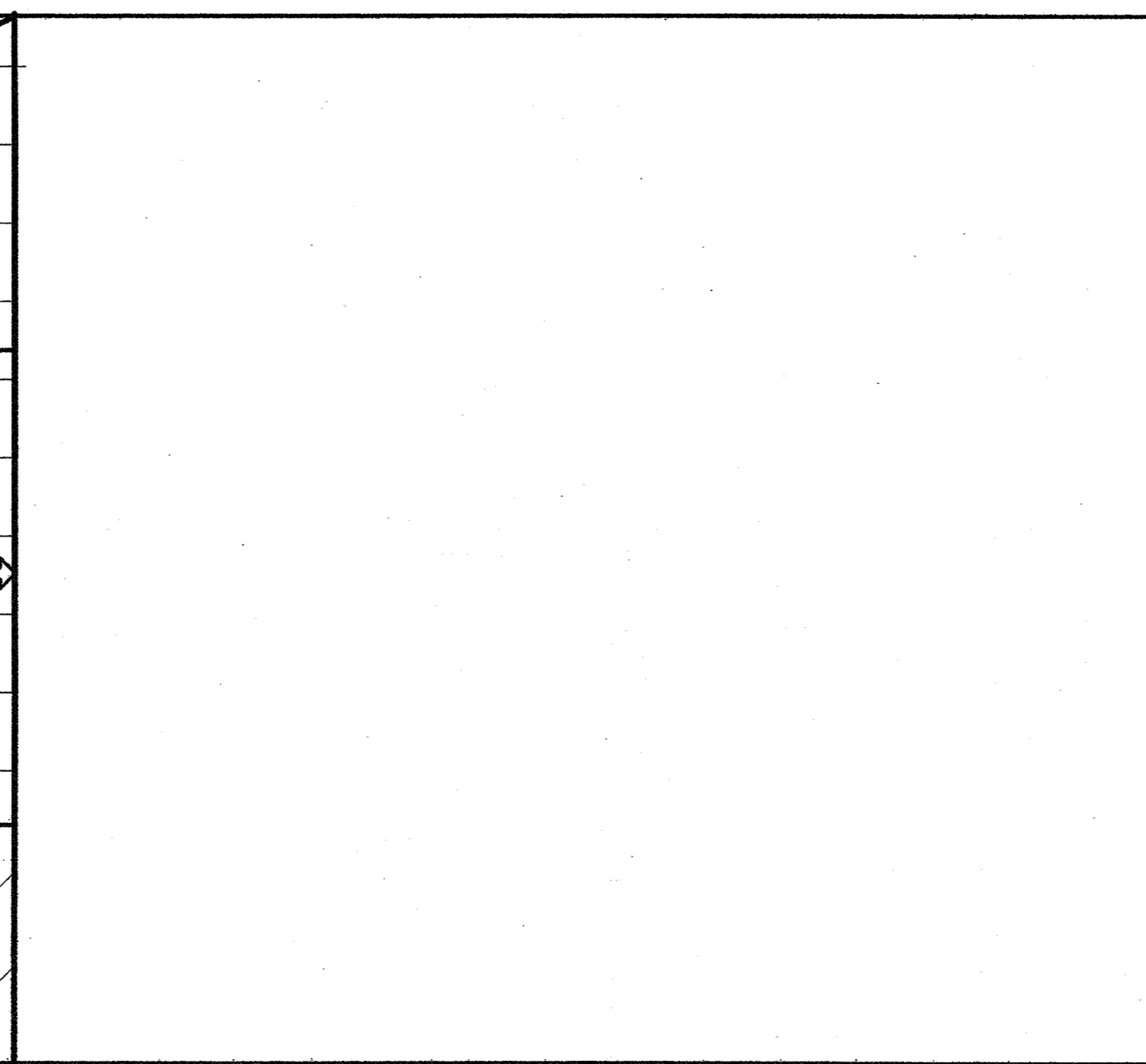
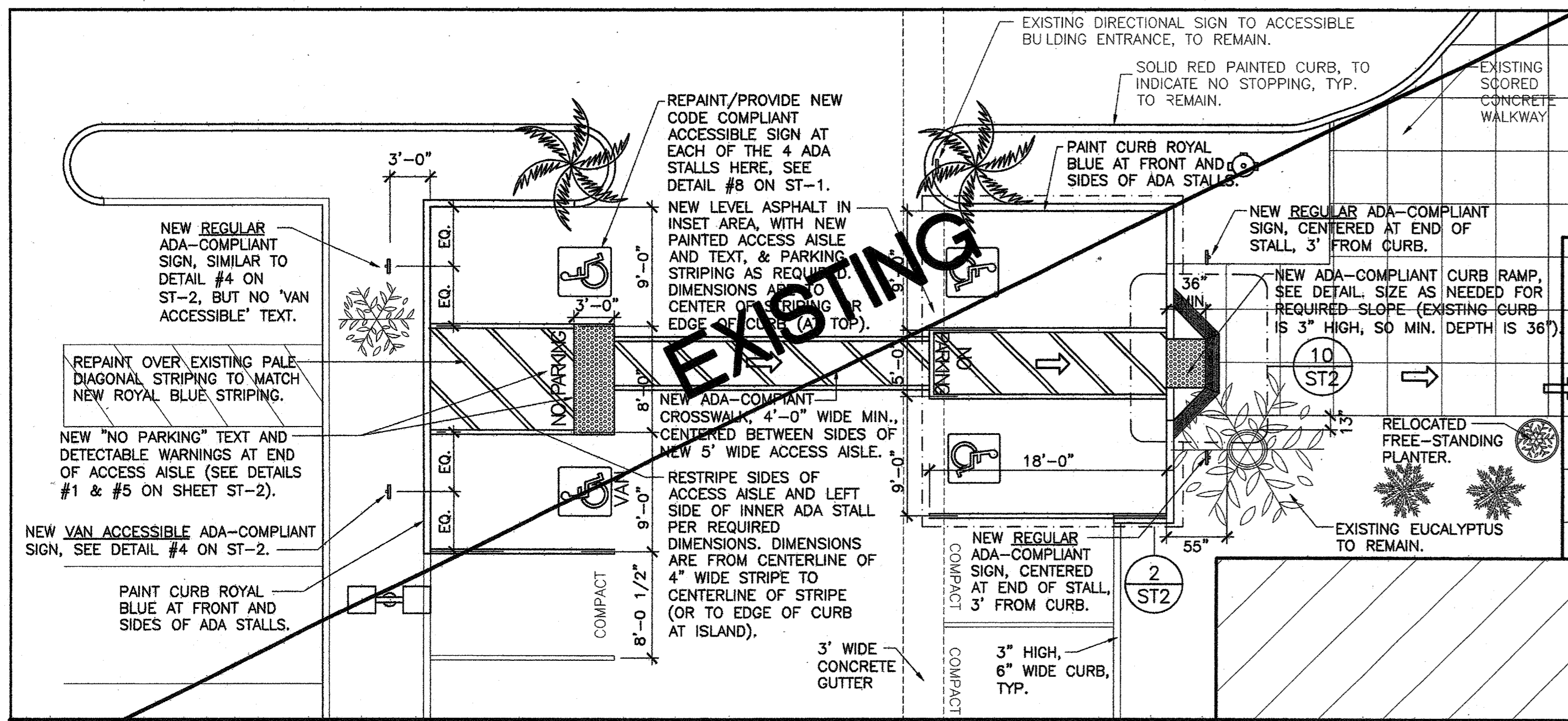
INTERIOR PLANNING & DESIGN

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SQUARE FOOTAGE
USABLE: 1,222 SF

FIRST FLOOR
EXISTING SITE PLAN

Sheet Title
Project Number 2778.17
Sheet Number ST-1



PROJECT

ARDEN REALTY, INC.

HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

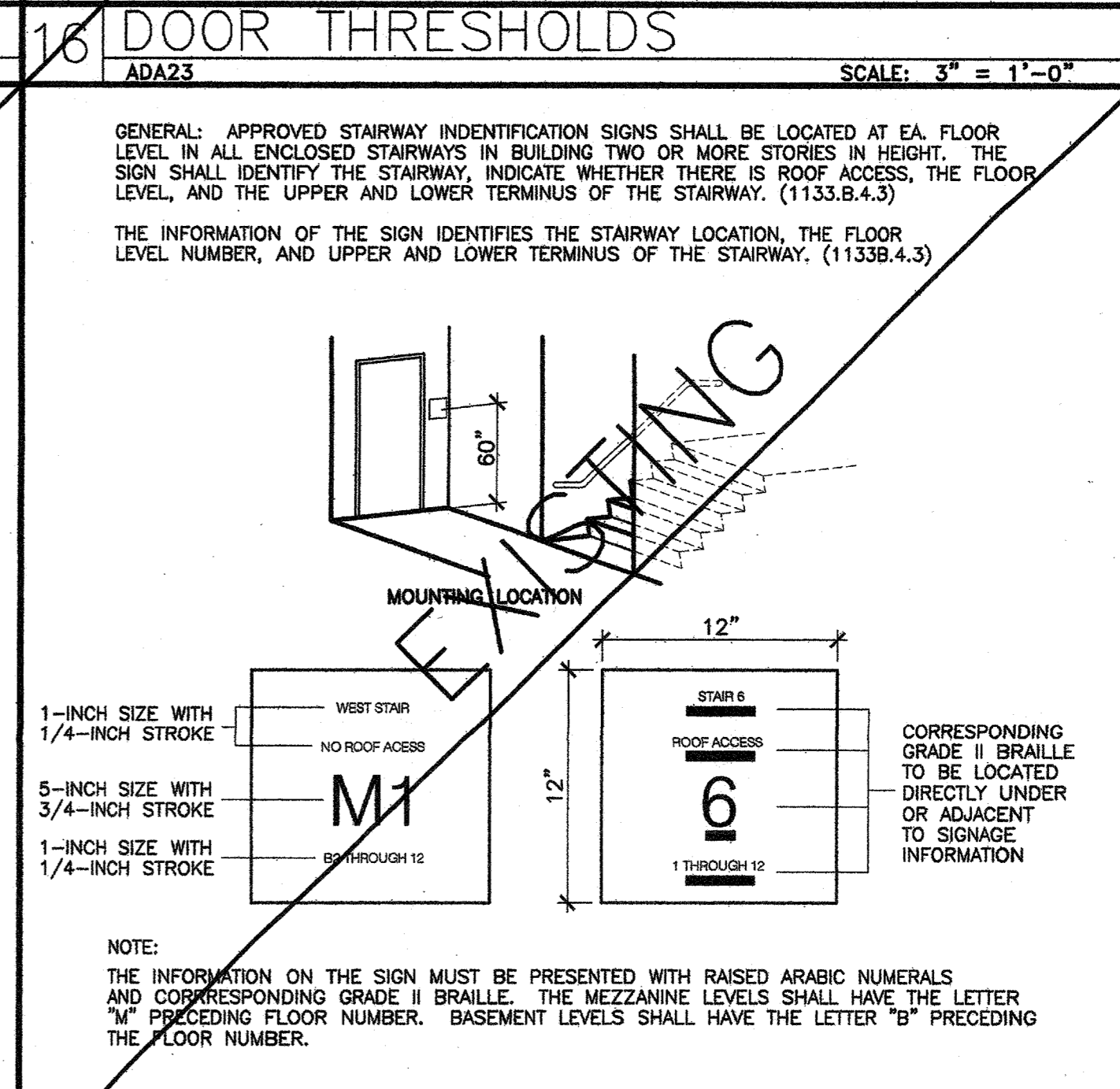
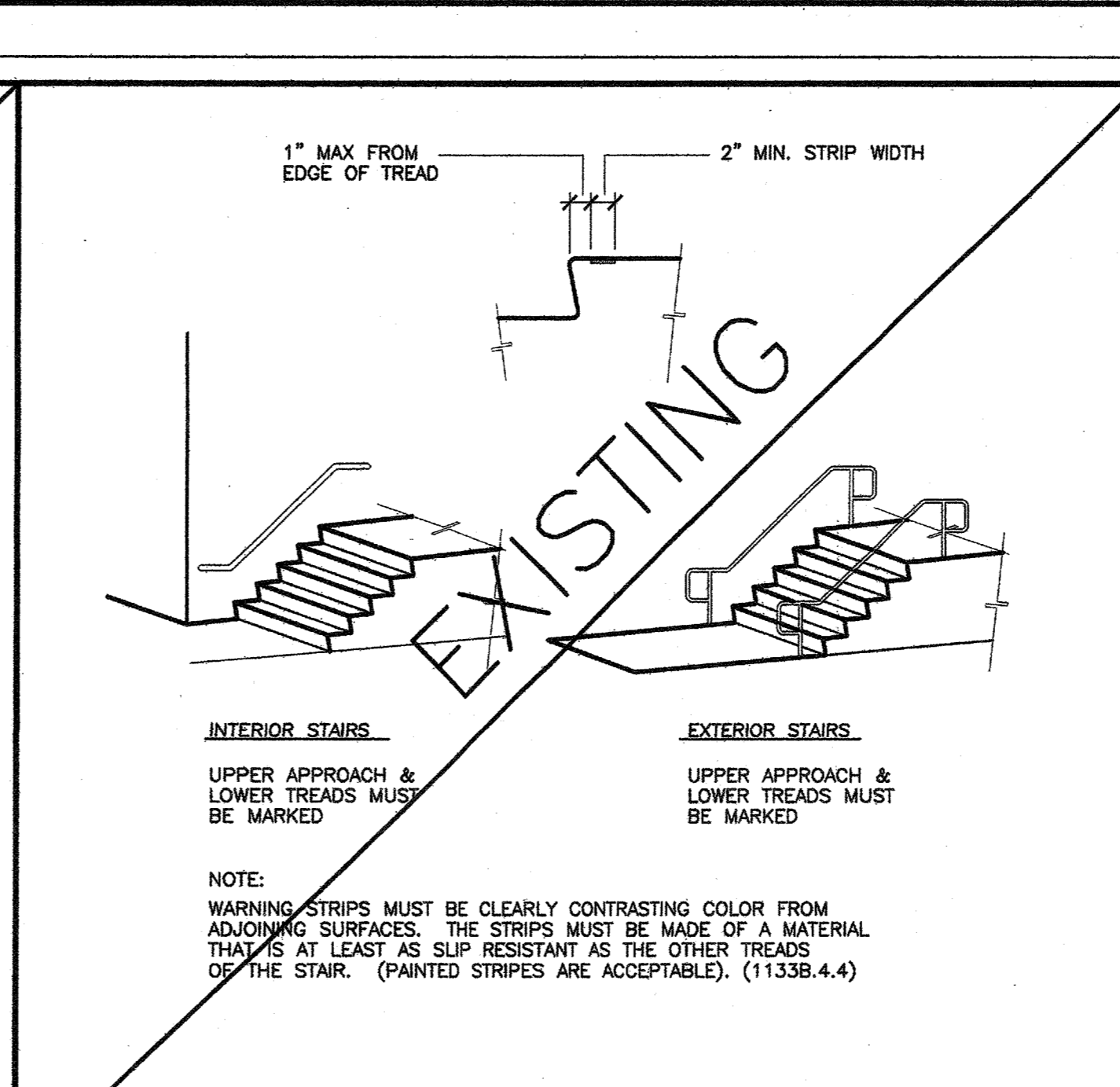
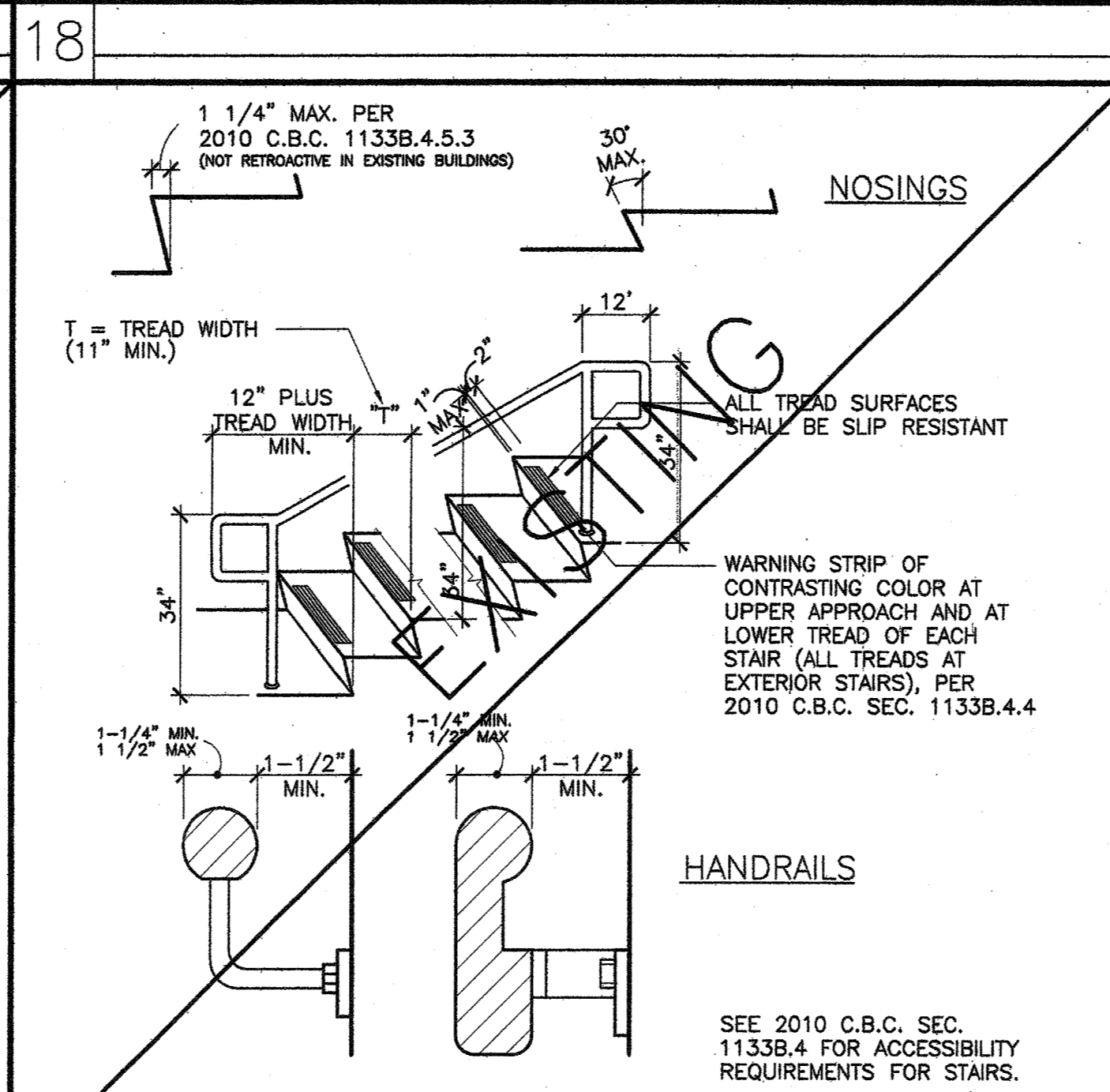
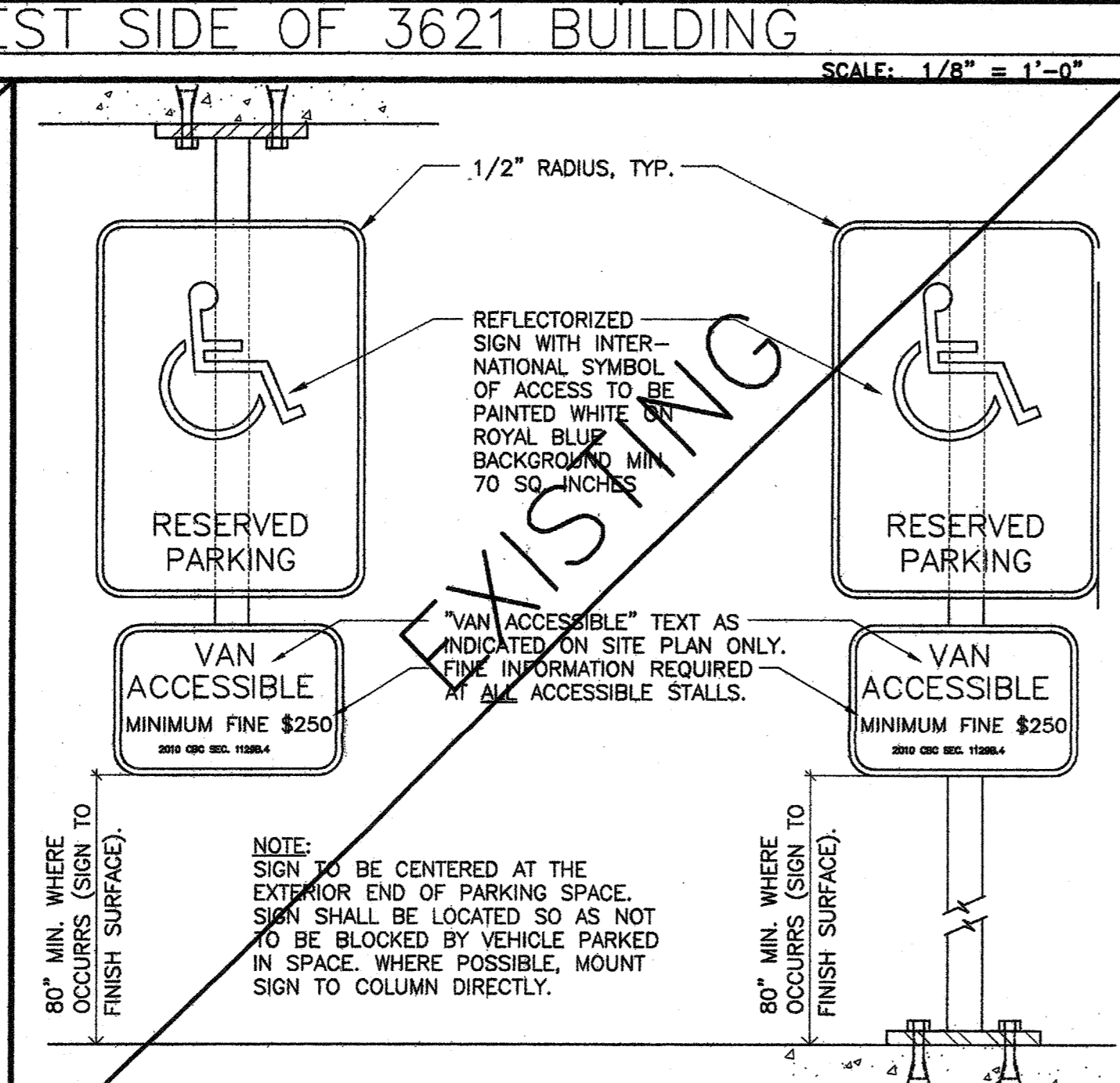
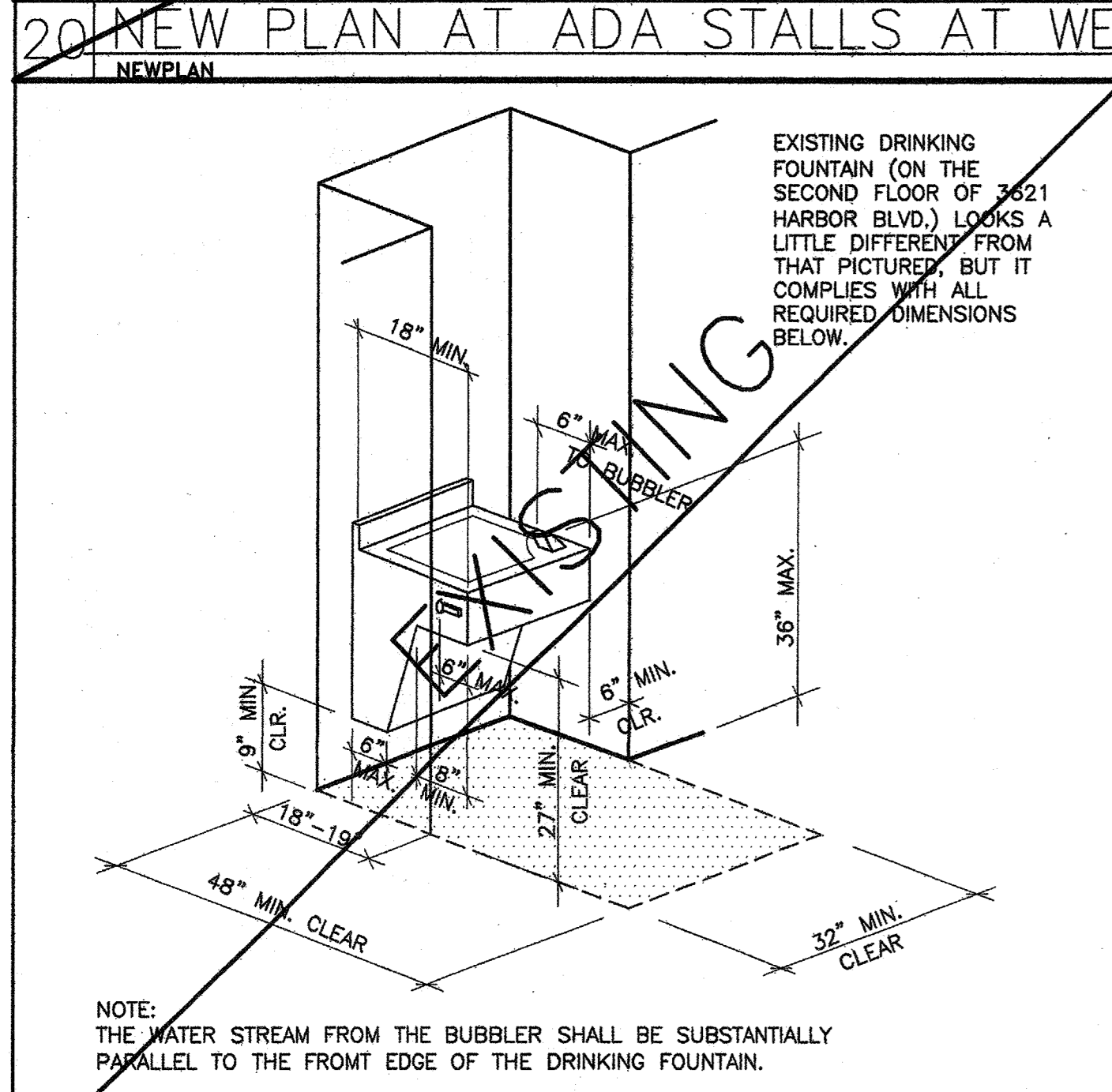
TRAINING CONSULTANTS

SUITE 150

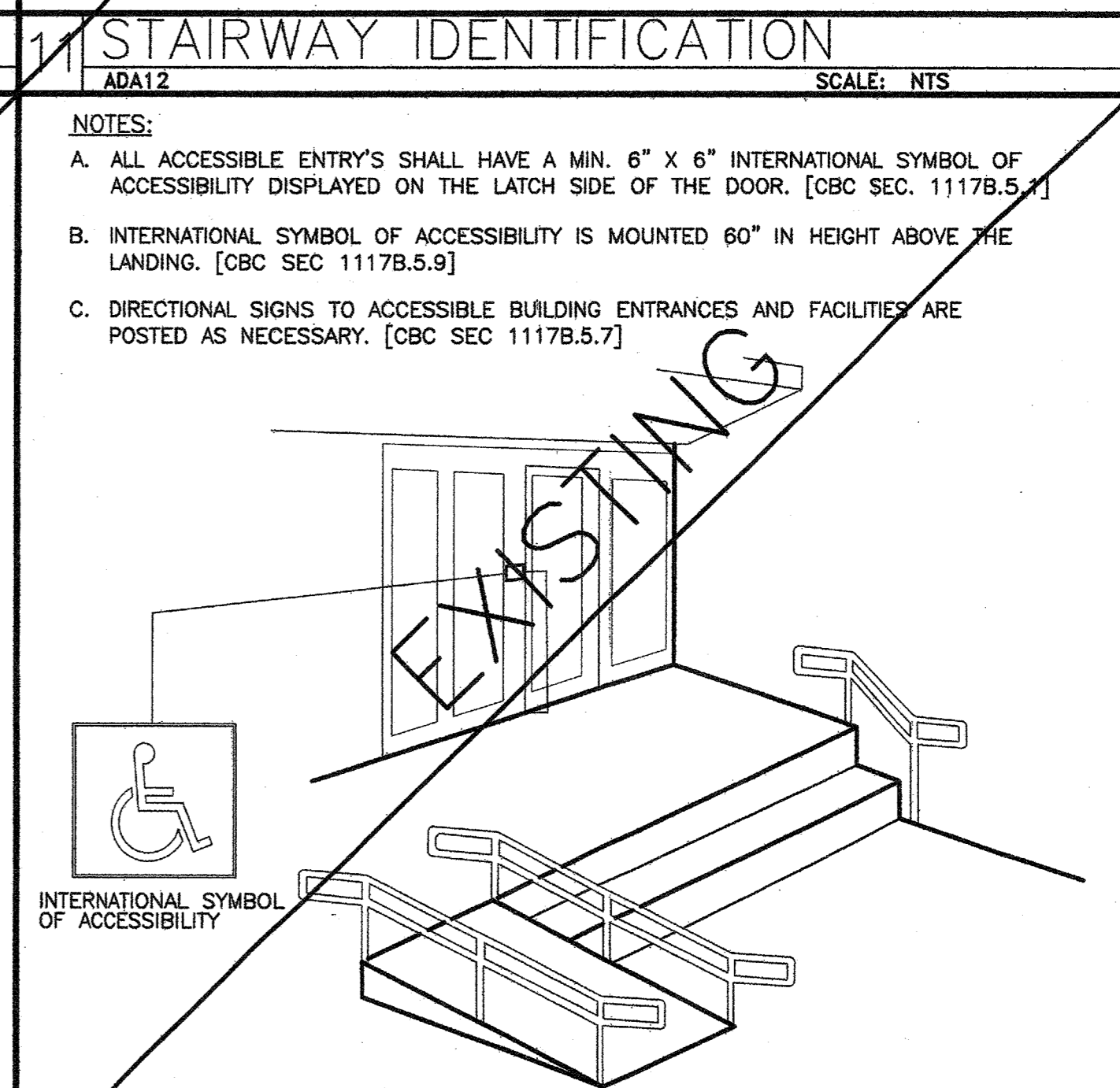
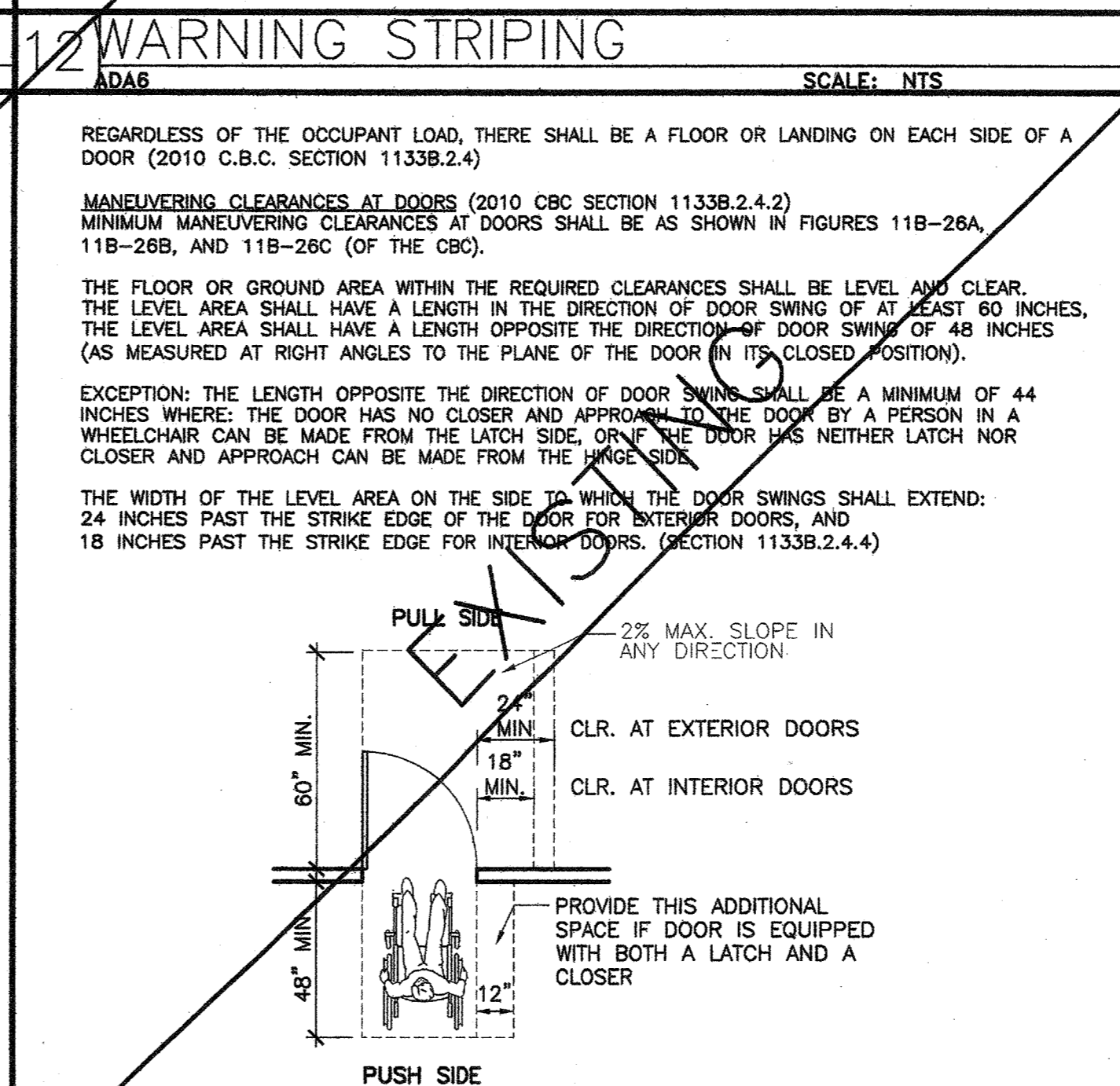
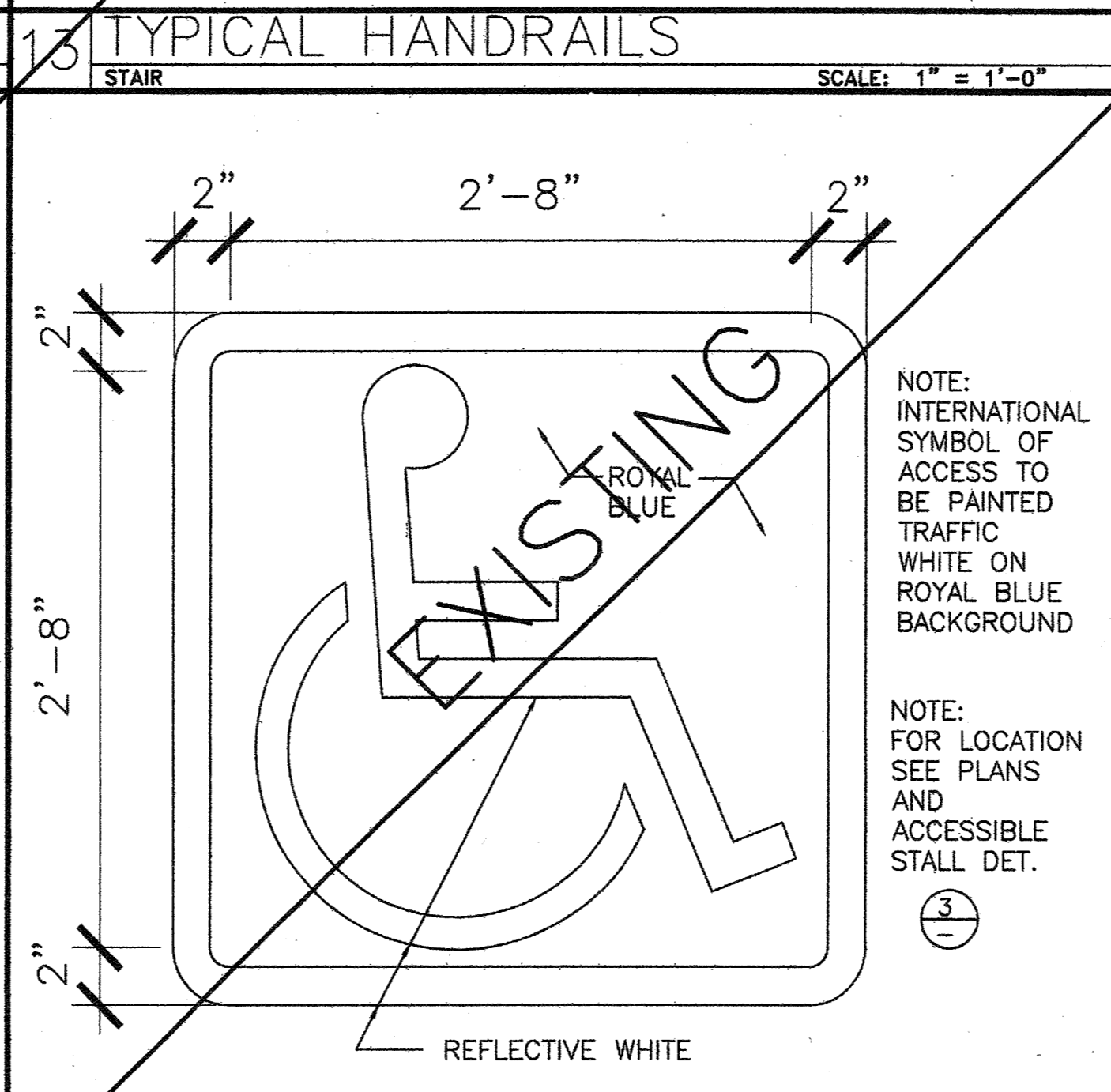
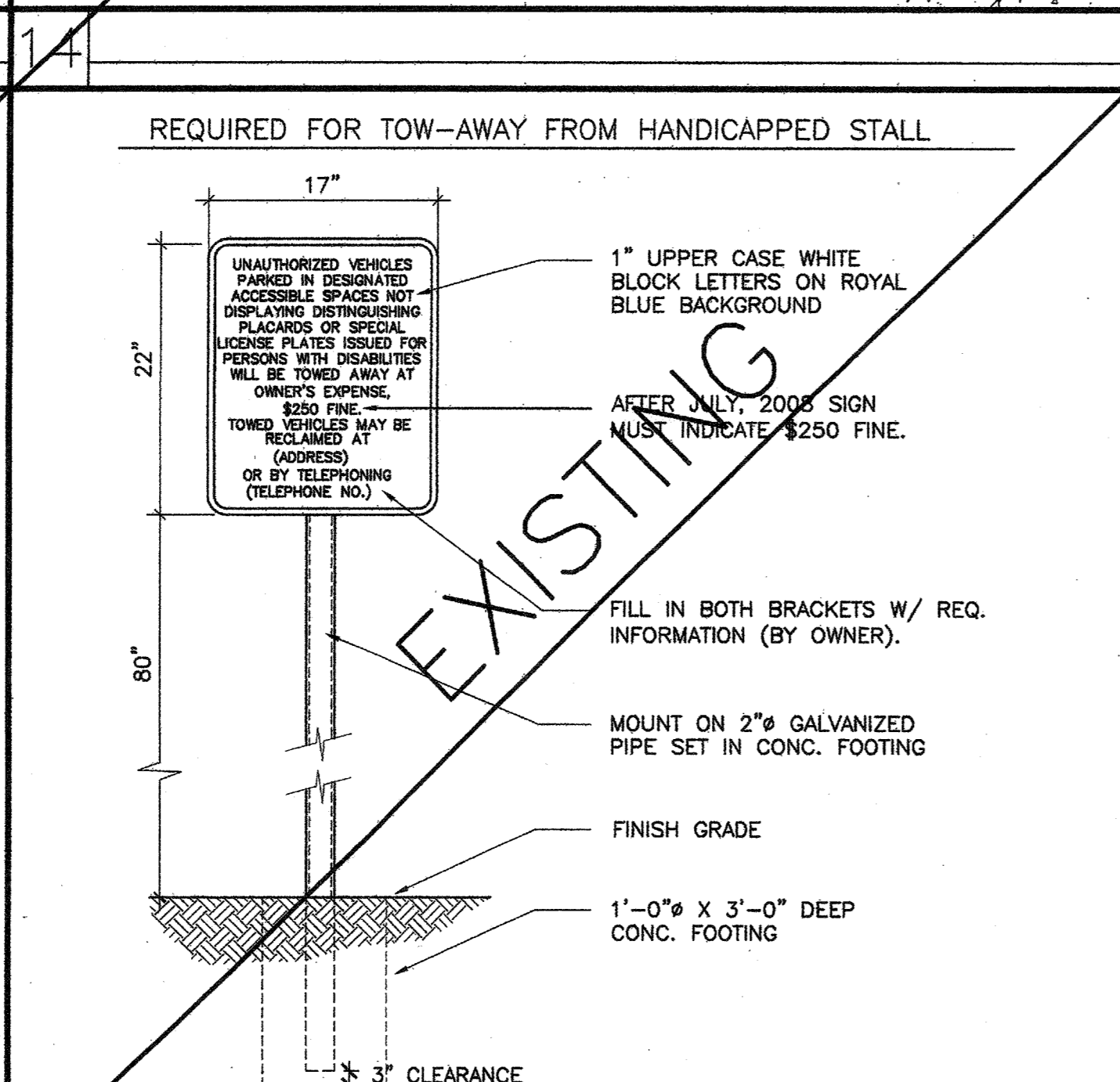
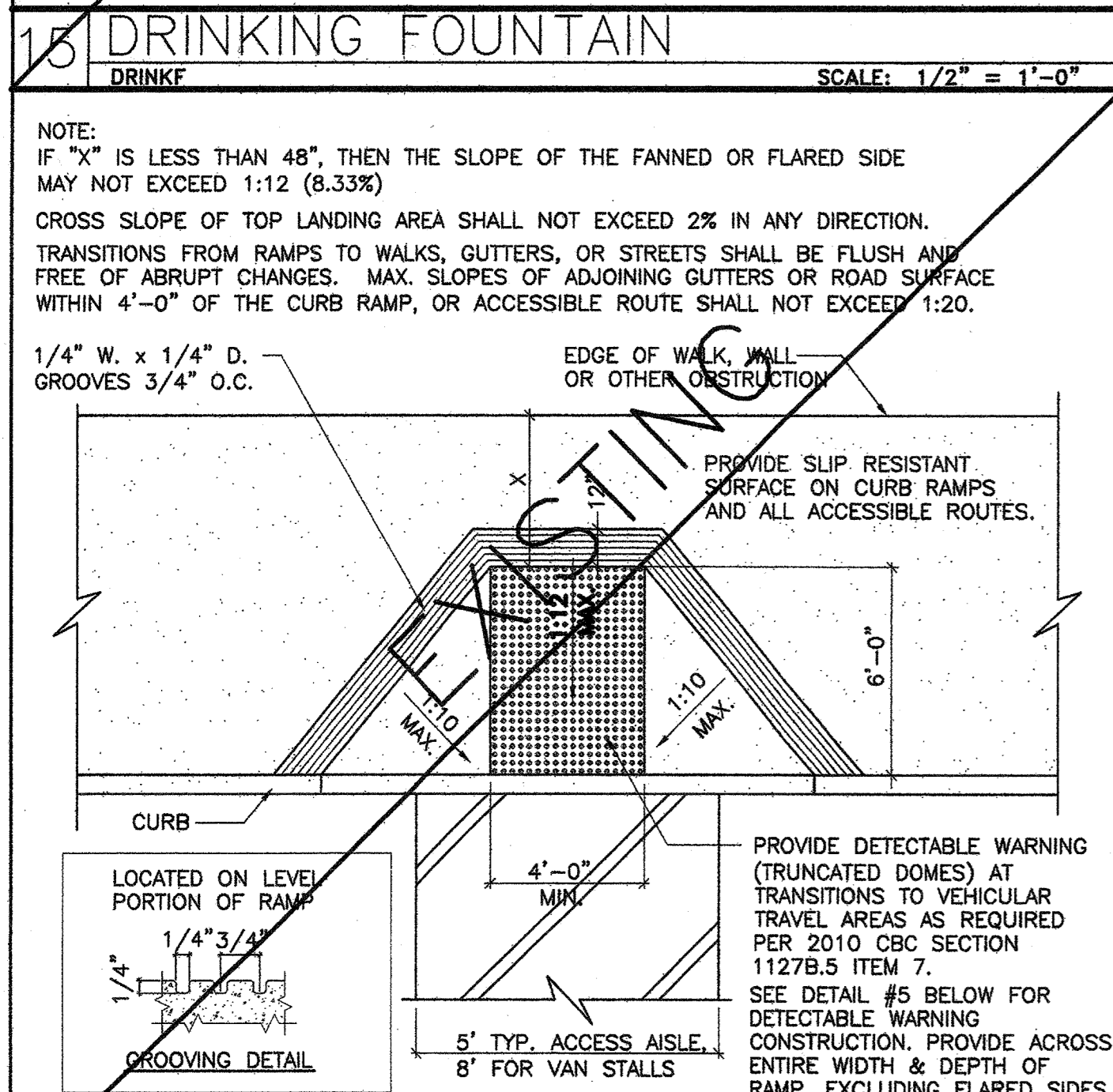
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ACCEPTED THIS _____ DAY OF _____, 2012
TENANT: _____
BY: _____
TITLE: _____
COMMENT: _____

NEW SIGNING THIS DRAWING ALL OF MY RECORDS HAVE BEEN REVIEWED AND I HAVE FULL AUTHORITY TO SIGN AND CONSENT TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO THE TENANT.

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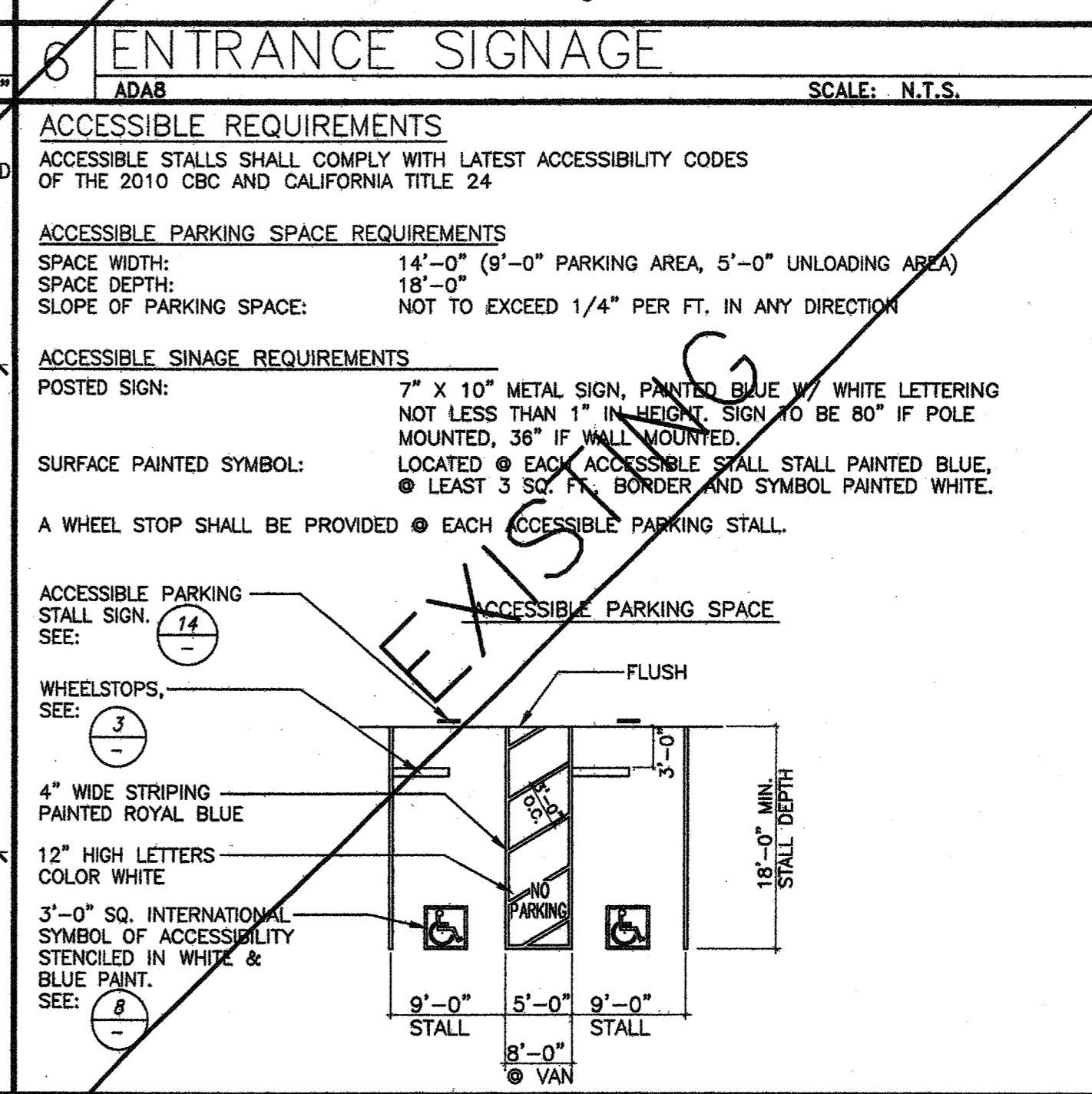
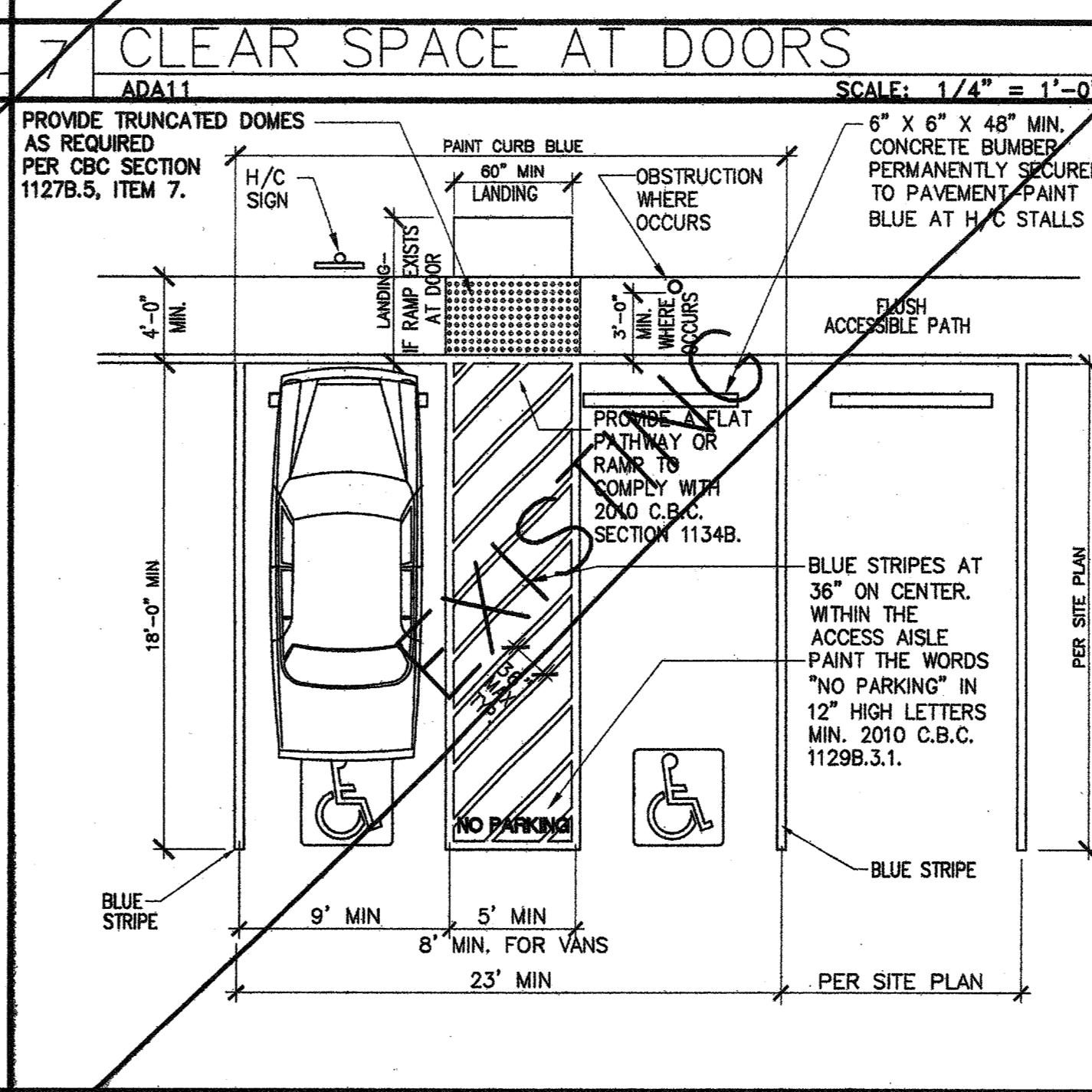
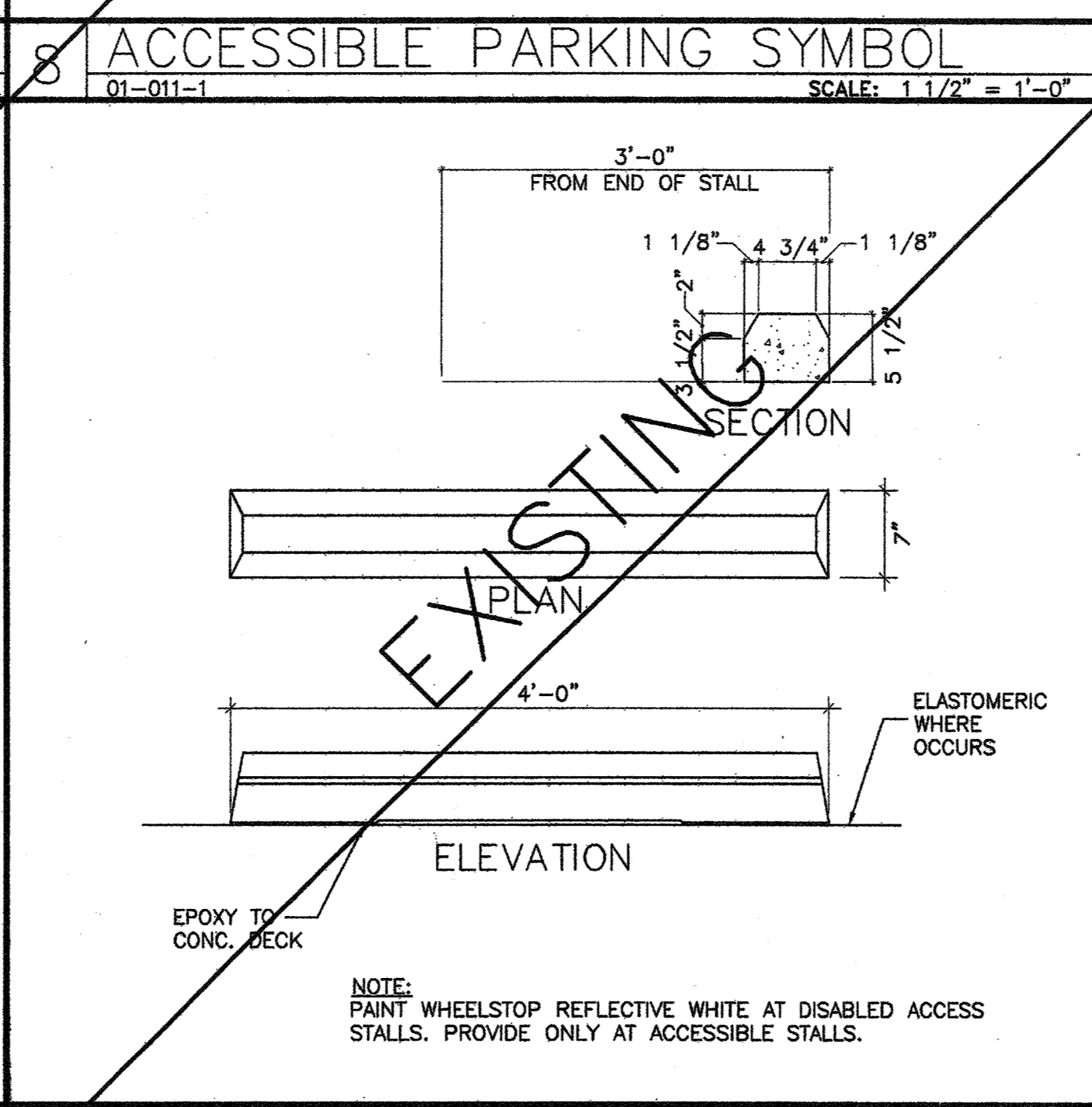
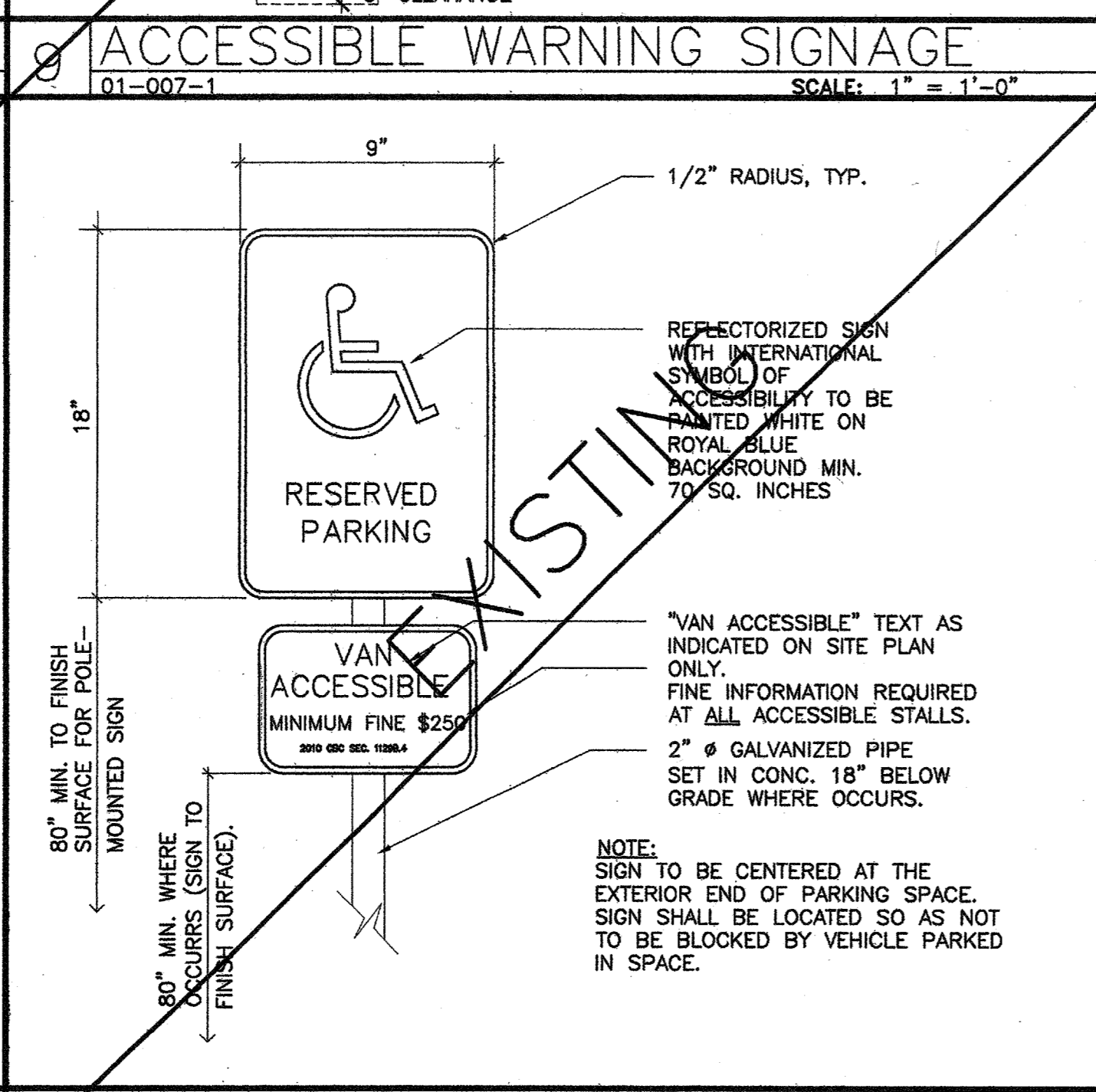
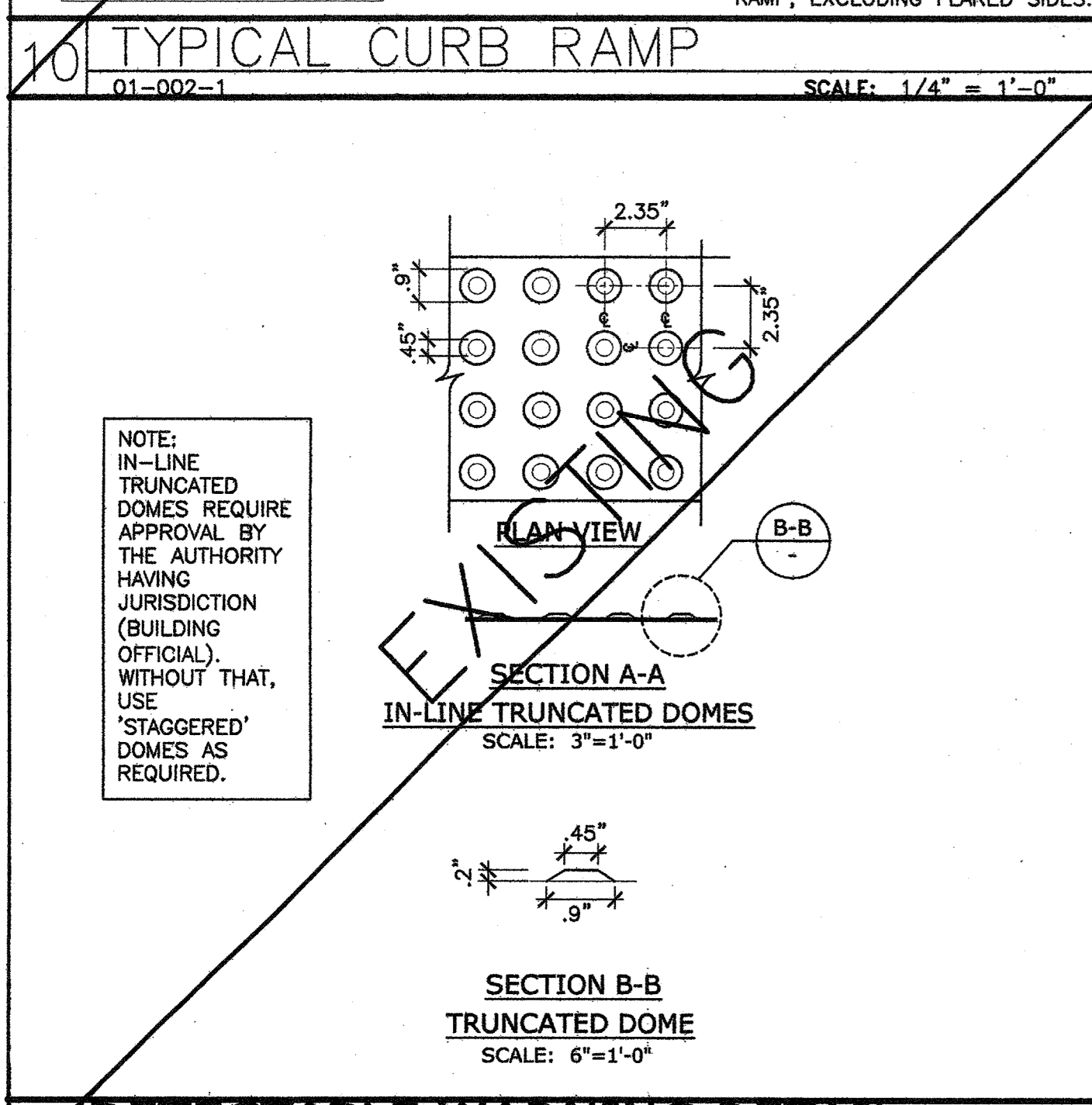
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SQUARE FOOTAGE

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FIRST FLOOR

ACCESSIBLE PARKING DETAILS

Sheet Title _____
Project Number 2778.17
Sheet Number ST-2

JAN 23 2012



HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TRAINING CONSULTANTS
SUITE 150

AGREED:
ACCEPTED THIS DAY OF _____, 2012
BY: _____
TITLE: _____
COMMENT: _____

THIS DRAWING AND/OR THE ACCOMPANYING SPECIFICATIONS IS/ARE HEREBY ACCEPTED BY THE CLIENT AS THE BASIS FOR THE DESIGN AND CONSTRUCTION OF THE PROJECT. THE CLIENT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

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DATE 10.06.11	
PRINT DATE 01.20.12	

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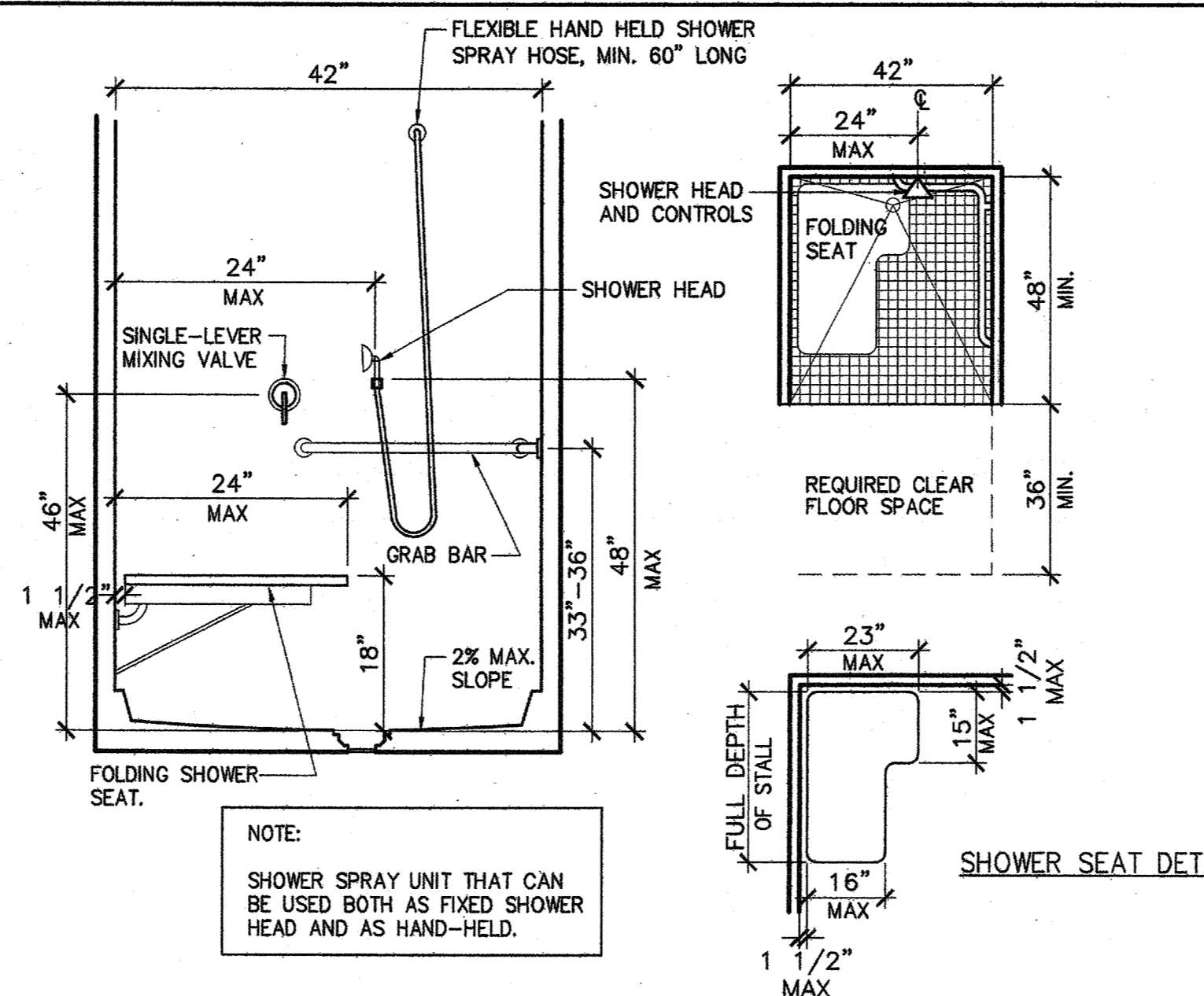
SQUARE FOOTAGE
USABLE: 1,222 SF

FIRST FLOOR
ACCESSIBLE RESTROOM DETAILS

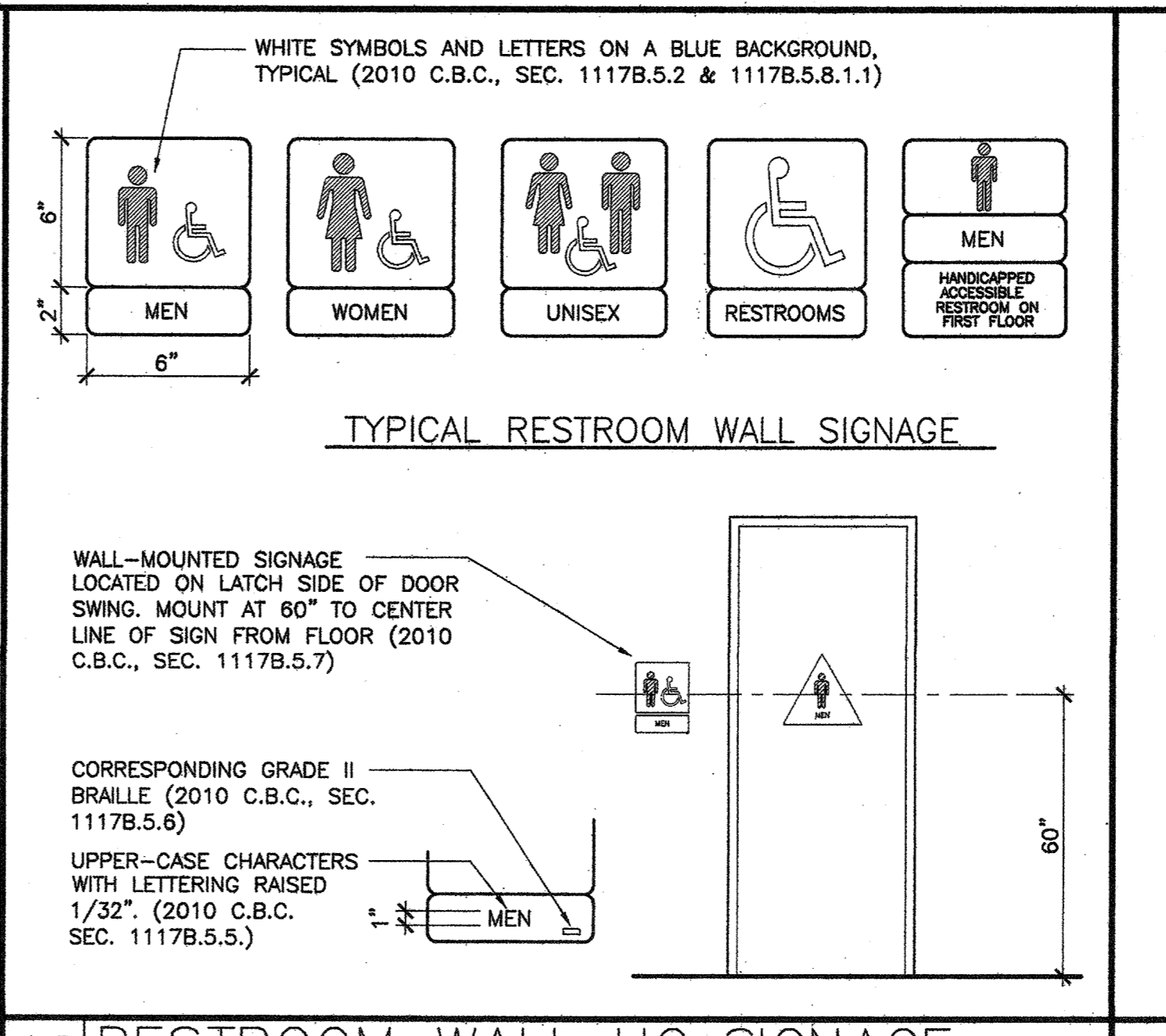
Sheet Title
Project Number 2778.17
Sheet Number RR-1

- F. SOAP DISH MOUNTED ON THE CONTROL WALL AT 40" MAXIMUM HEIGHT. 1115B.4.4.9
- G. ENCLOSURES, IF PROVIDED, DO NOT OBSTRUCT CONTROLS OR TRANSFER FROM WHEELCHAIRS ONTO SHOWER SEATS. 1115B.4.4.10
- H. WHERE LOCKERS ARE PROVIDED FOR THE PUBLIC, CLIENTS, EMPLOYEES, MEMBERS OR PARTICIPANTS, AT LEAST ONE AND NOT LESS THAN 1% OF ALL LOCKERS ARE ACCESSIBLE. A PATH OF TRAVEL NOT LESS THAN 36" IN CLEAR WIDTH IS PROVIDED TO THESE LOCKERS. 1115B.6.4
- I. WALLS AND FLOORS WITHIN SHOWER COMPARTMENTS ARE FINISHED TO HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIAL TO A HEIGHT OF NOT LESS THAN 70" ABOVE THE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS USED IN SHOWER WALLS ARE OF A TYPE NOT ADVERSELY AFFECTED BY MOISTURE. 1115B.3.2.5
- J. DOORS AND PANELS OF SHOWER ENCLOSURES ARE SUBSTANTIALLY CONSTRUCTED FROM APPROVED, SHATTER-RESISTANT MATERIALS. HINGED DOORS SHALL OPEN OUTWARDS. 1115B.2.2
- K. GLAZING USED IN DOORS AND PANELS OF SHOWER ENCLOSURES IS FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC (SHATTER-RESISTANT TYPE). WHEN GLASS IS USED, IT HAS A MINIMUM THICKNESS OF NOT LESS THAN 1/4" WHEN FULLY TEMPERED, OR 1/4" WHEN LAMINATED, AND SHALL PASS THE REQUIREMENTS OF 2010 CBC STANDARD 1115B.2.3

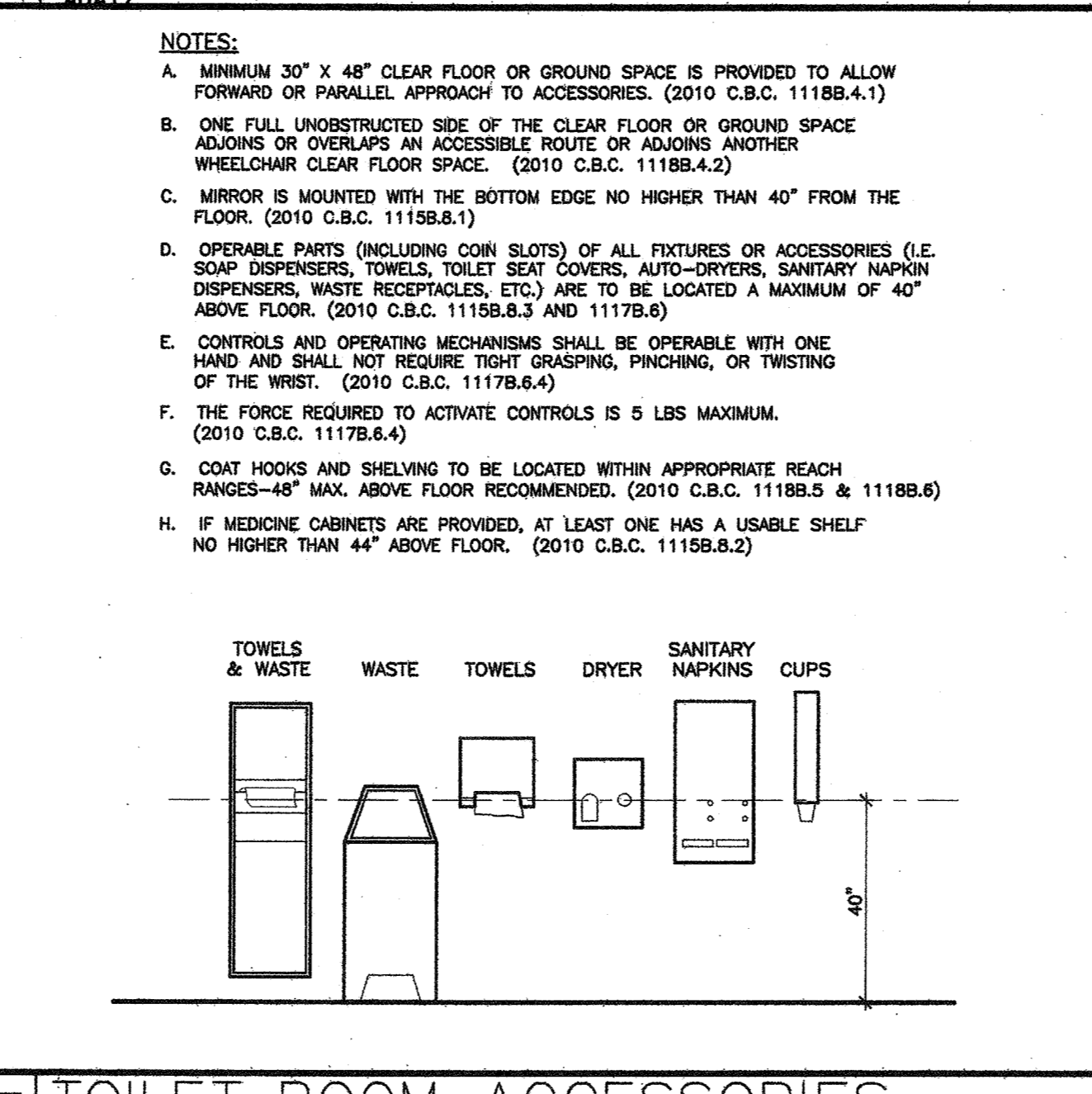
- A. SURFACE SLOPE DOES NOT EXCEED 1.50 (2%) IN ANY DIRECTION (THRESHOLDS ARE NOT ALLOWED). 2010 CBC SECTION 1115B.4.4.7
- FLOOR SURFACES ARE CARBORUNDUM OR GRT-FACED TILE OR MATERIAL PROVIDING EQUIVALENT SLIP-RESISTANCE. 807.1.1
- GRAB BAR LOCATED ON WALLS ADJACENT TO AND OPPOSITE THE SEAT. GRAB BARS ALSO COMPLY WITH THE DIAMETER, LOADING AND PROJECTION REQUIREMENTS OF SECTIONS 1115B.7.1, 1115B.7.2, AND 1115B.7.3.
- GRAB BAR SHALL BE MOUNTED BETWEEN A MIN. OF 33" AND A MAX. 36" ABOVE THE SHOWER FLOOR WITH AN L-SHAPED GRAB BAR MOUNTED ON WALLS OPPOSITE AND ADJACENT TO THE FRONT EDGE OF THE SEAT, BUT NOT EXTENDED TO INCLUDE THAT PORTION OF WALL OVER THE SEAT. 2010 CBC SECTION 1115B.4.4.8.2
- WATER VALVE CONTROL IS SINGLE LEVER TYPE. 1115B.4.4.4
- 5 LBS. MAXIMUM OPERATING FORCE. 1115B.4.1.5
- 40" MAXIMUM HEIGHT ABOVE FLOOR. 1115B.4.4.4
- SHOWER SEAT IS FOLDING TYPE AND IS LOCATED ON THE WALL ADJACENT TO THE CONTROLS. 1115B.4.4.8.1
- SHOWER SEAT PROVIDES MINIMUM STRUCTURAL STRENGTH TO SUPPORT A 250 LBS. POINT LOAD. 1115B.7.2



18 TYPICAL CALIFORNIA TITLE 24 COMPLIANT SHOWER - FOR REFERENCE ONLY

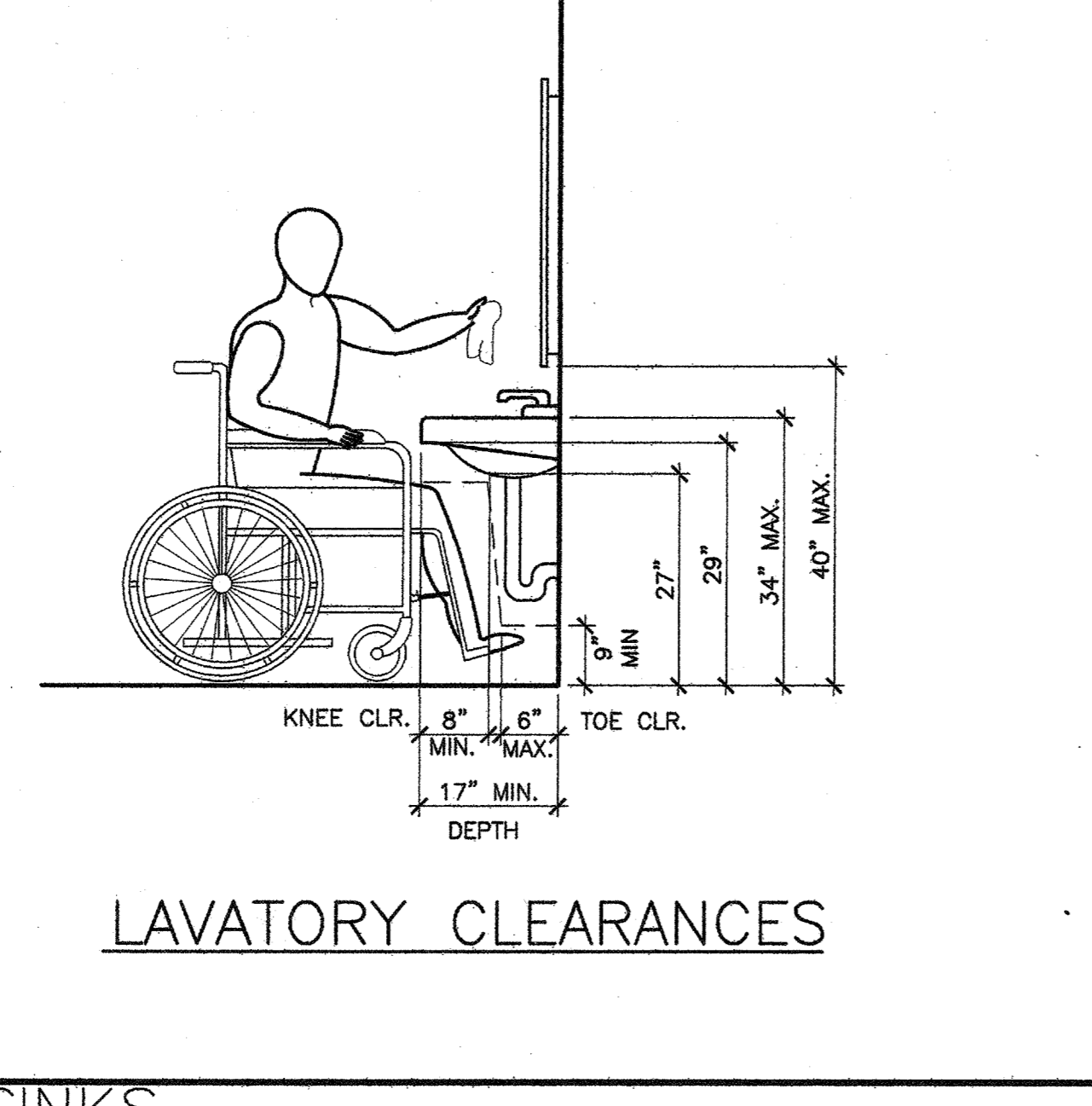


THIS SHEET IS FOR REFERENCE ONLY - RESTROOMS ARE EXISTING.

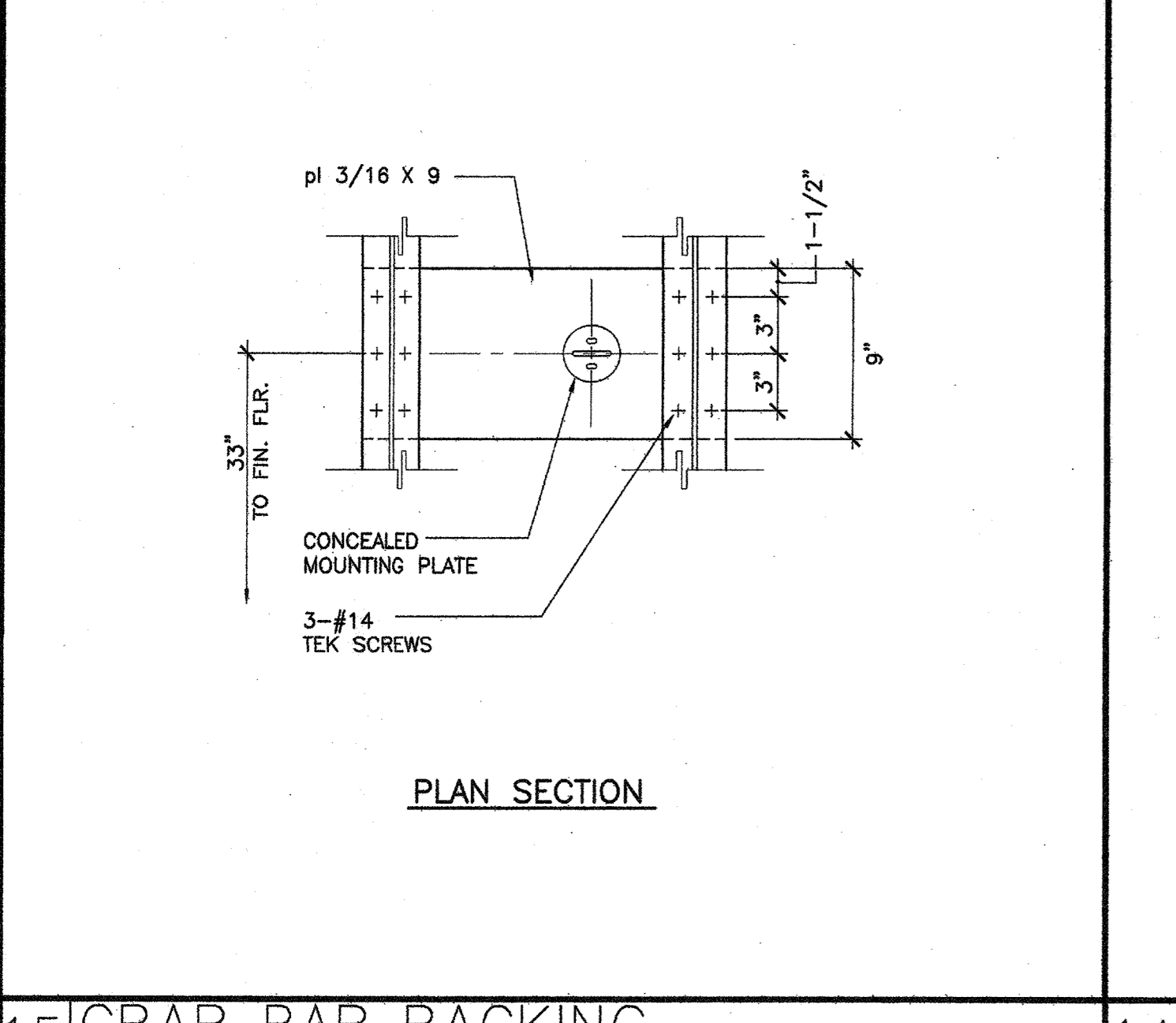
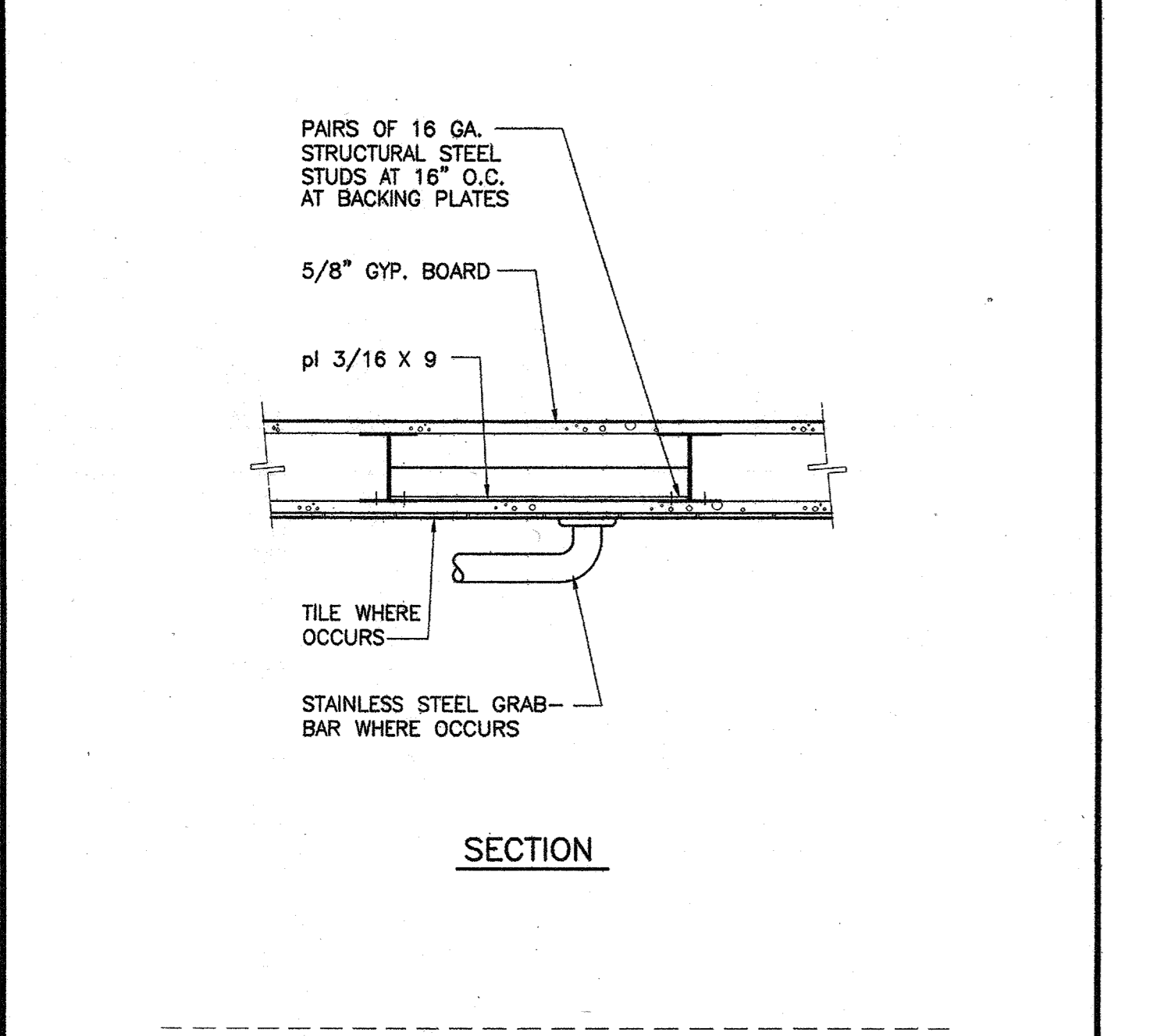


12 RESTROOM WALL HC SIGNAGE

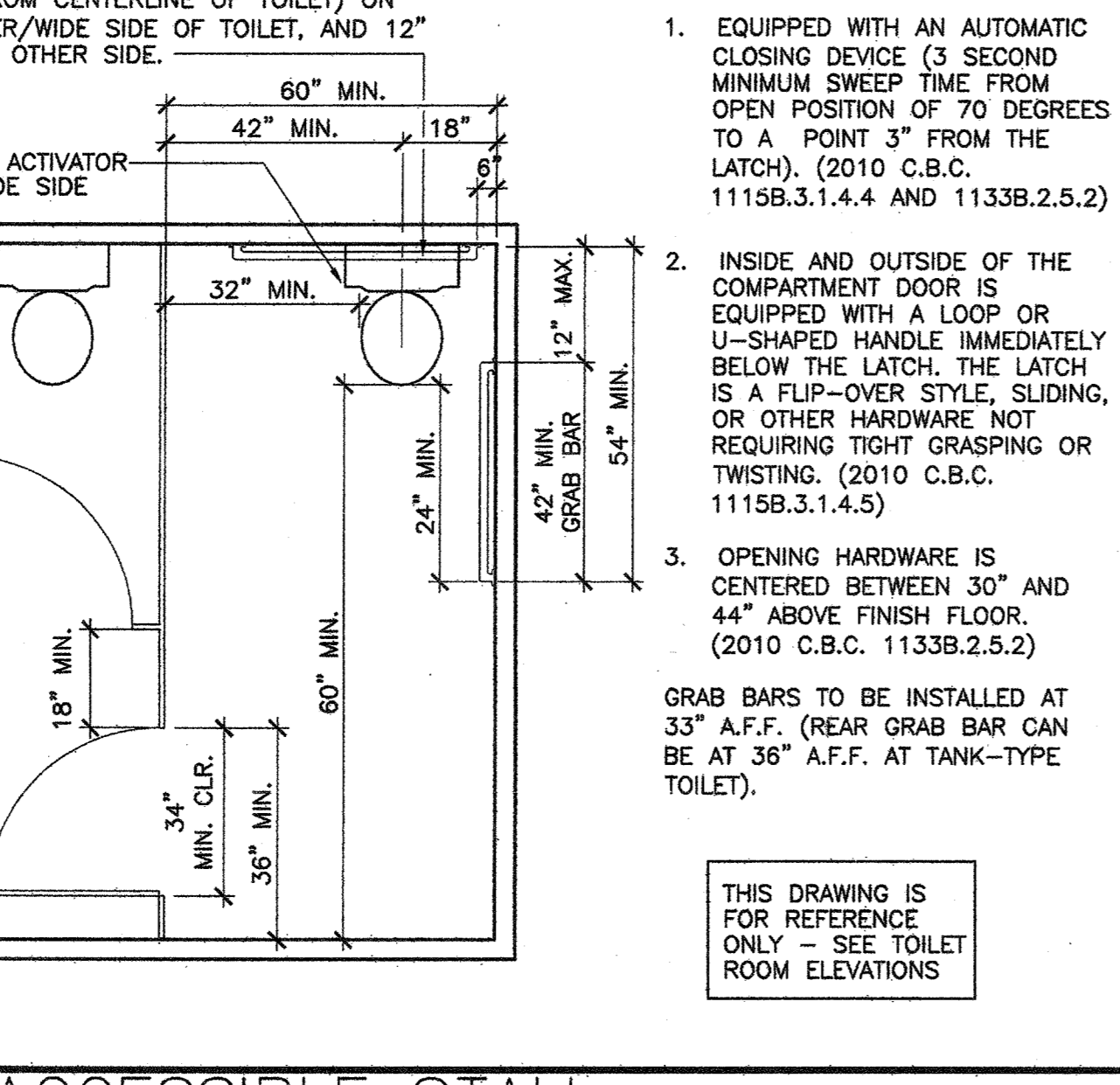
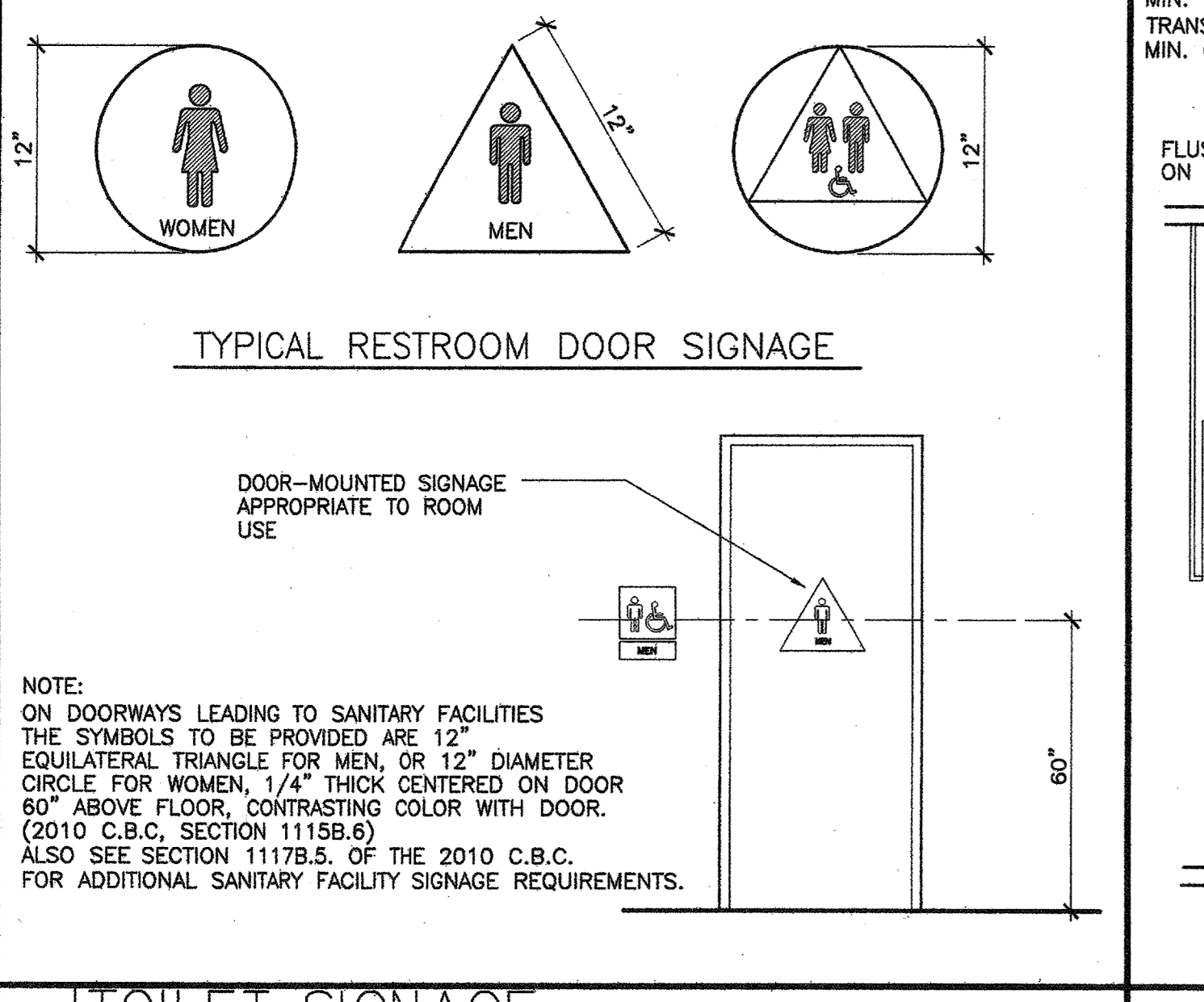
- NOTES:
- A. MINIMUM 30" X 48" CLEAR SPACE IS PROVIDED IN FRONT OF SINK THAT ALLOWS FORWARD APPROACH. (2010 C.B.C. SEC. 1115B.4.3.3)
 - B. REQUIRED CLEAR SPACE ADJOINS OR OVERLAPS AN ACCESSIBLE ROUTE AND EXTENDS 19" MAX. UNDER LAVATORY. (2010 C.B.C. SEC. 1115B.4.3.3)
 - C. LAVATORIES ADJACENT TO SIDE WALL SHALL HAVE 18" MIN. FROM WALL TO CENTER OF LAV. (2010 C.B.C. SEC. 1115B.4.3.2)
 - D. SINK IS A MAXIMUM OF 6 1/2" DEEP.
 - E. KNEE CLEARANCE UNDER SINK IS A MINIMUM OF 30" WIDE. A 27" MIN. VERTICAL CLEARANCE MUST BE PROVIDED FROM THE FINISH FLOOR TO BOTTOM OF SINK, WITH A 29" MAXIMUM VERTICAL CLEARANCE TO BOTTOM OF APRON/COUNTER. (2010 C.B.C. SEC. 1115B.4.3.2)
 - F. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED TO PROTECT AGAINST CONTACT. (2010 C.B.C. SEC. 1115B.4.3.42)
 - G. NO SHARP OR ABRASIVE SURFACES ARE ALLOWED UNDER LAVATORIES AND SINKS. (2010 C.B.C. SEC. 1115B.4.3.4)
 - H. FAUCETS ARE LEVER TYPE, ELECTRONICALLY ACTIVATED OR APPROVED SELF CLOSING VALVES (MIN. 10 SECOND OPEN FLOW).
 - I. FAUCETS ARE OPERABLE WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. (2010 C.B.C. SEC. 1115B.4.3.1)
 - J. 5 LBS. MAXIMUM FORCE REQUIRED TO ACTIVATE CONTROLS. (2010 C.B.C. SEC. 1115B.4.3.1)
 - K. MIRROR SHALL BE MOUNTED SO BOTTOM EDGE IS NO HIGHER THAN 40" TO FLOOR. (2010 C.B.C. SEC. 1115B.8.1)



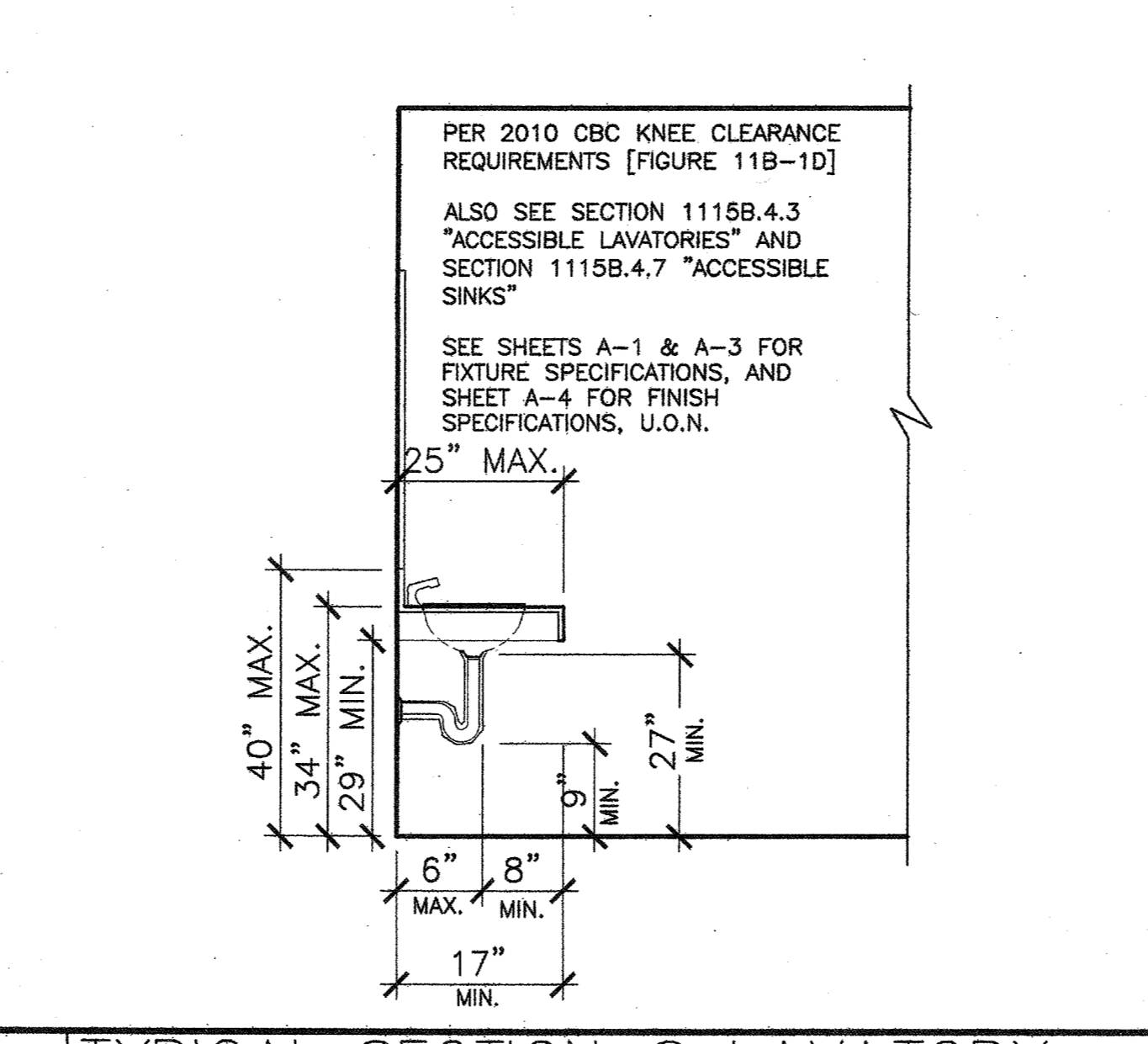
14 SINKS



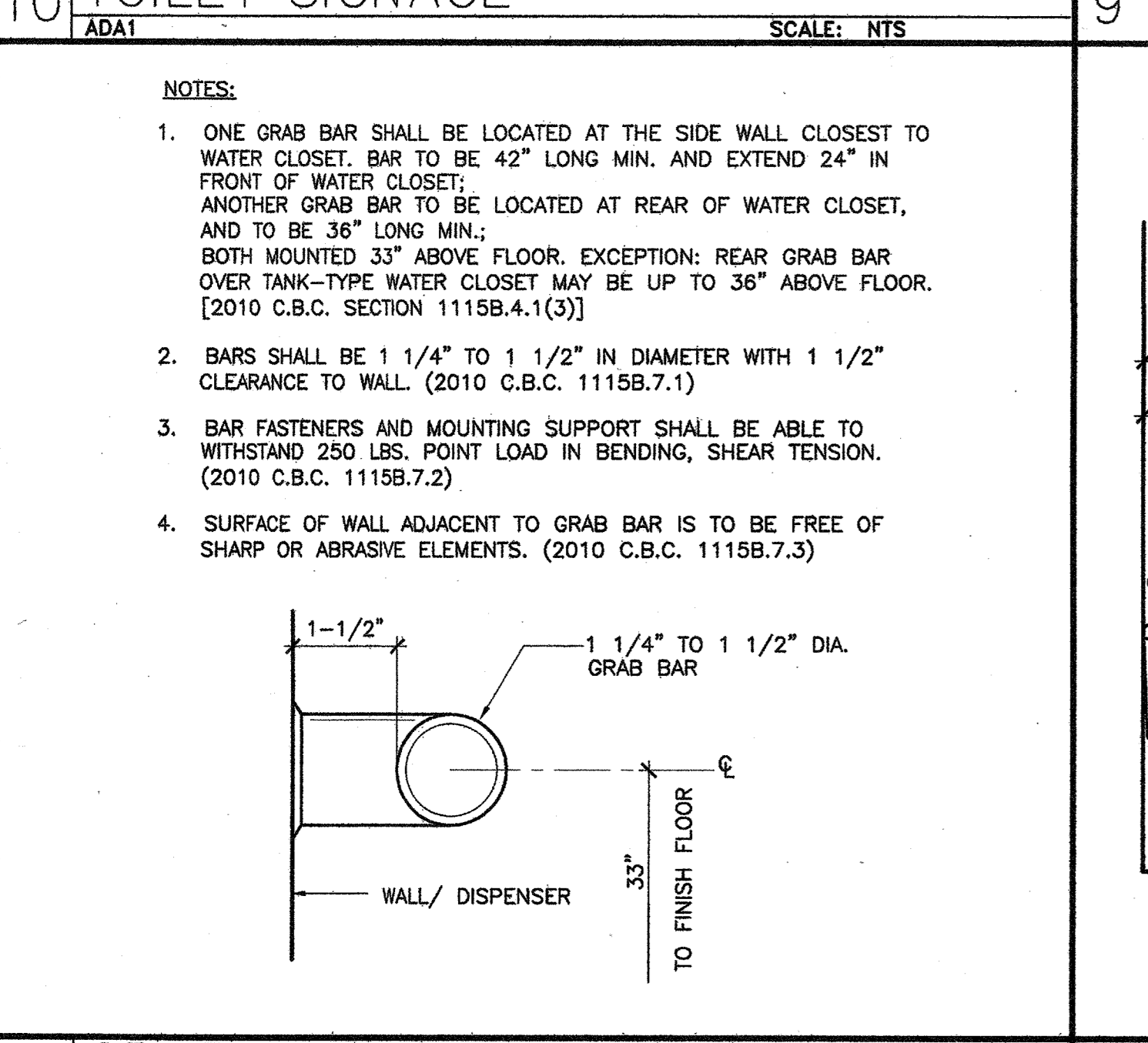
15 GRAB BAR BACKING



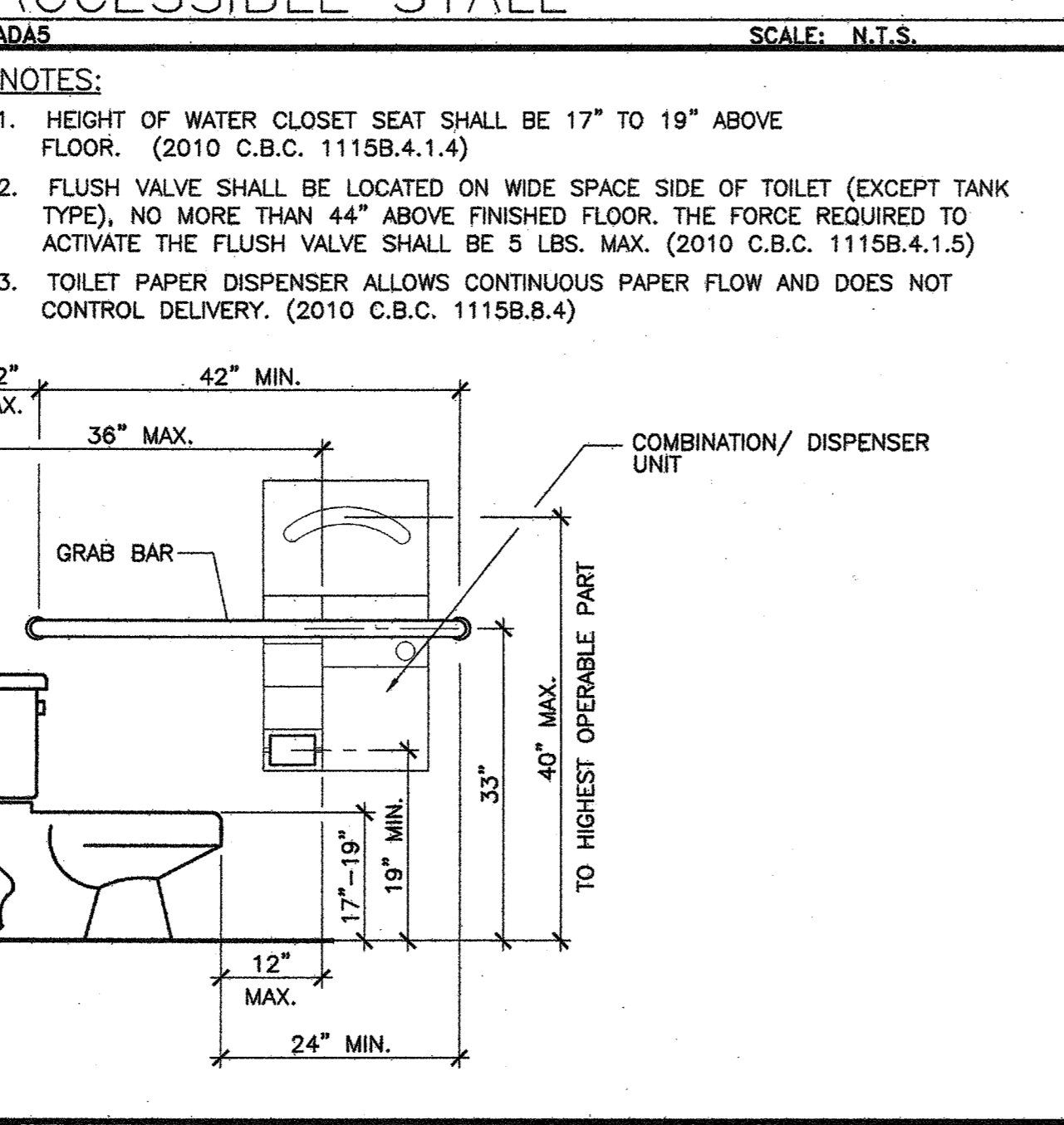
9 ACCESSIBLE STALL



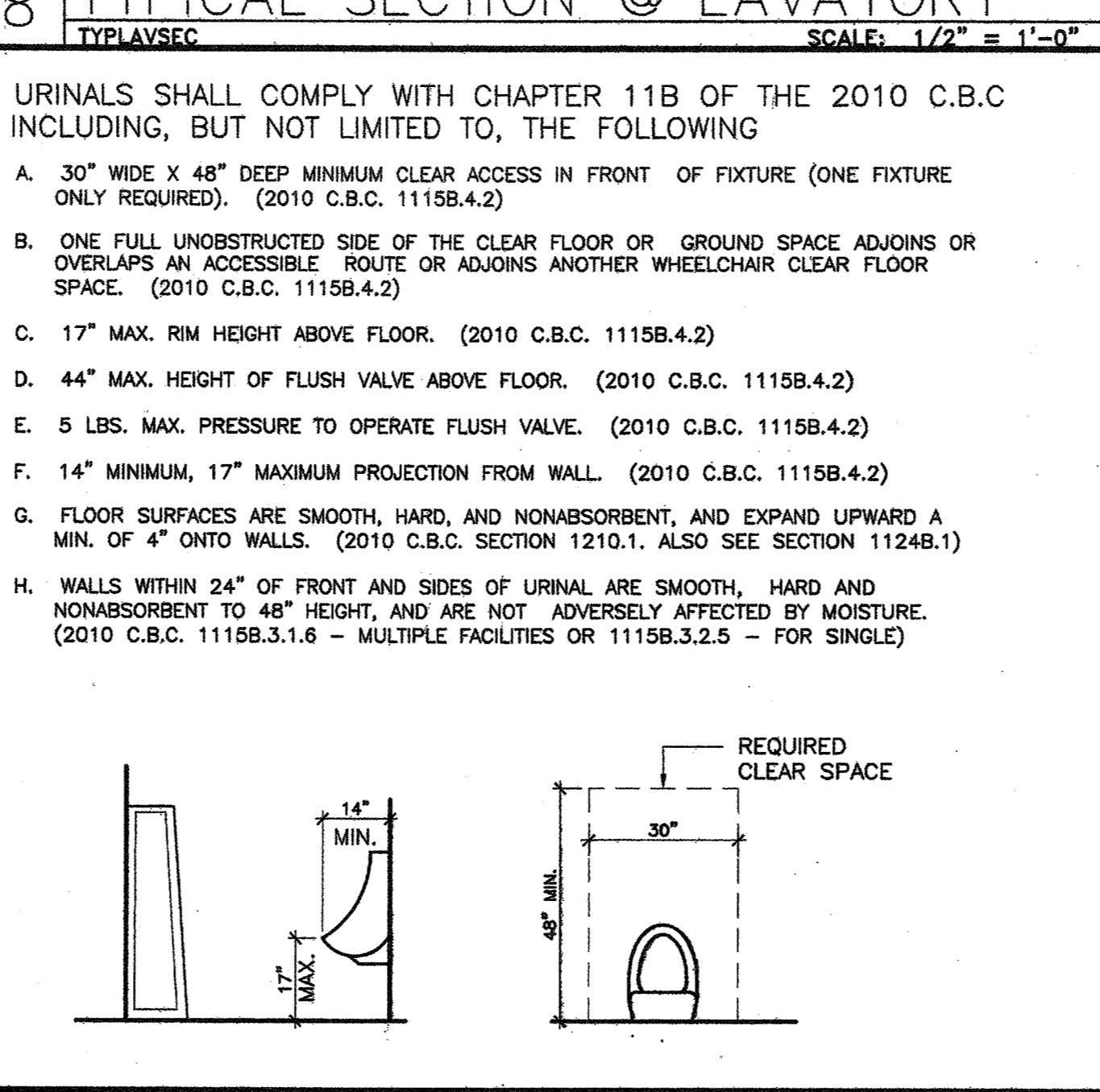
8 TYPICAL SECTION @ LAVATORY



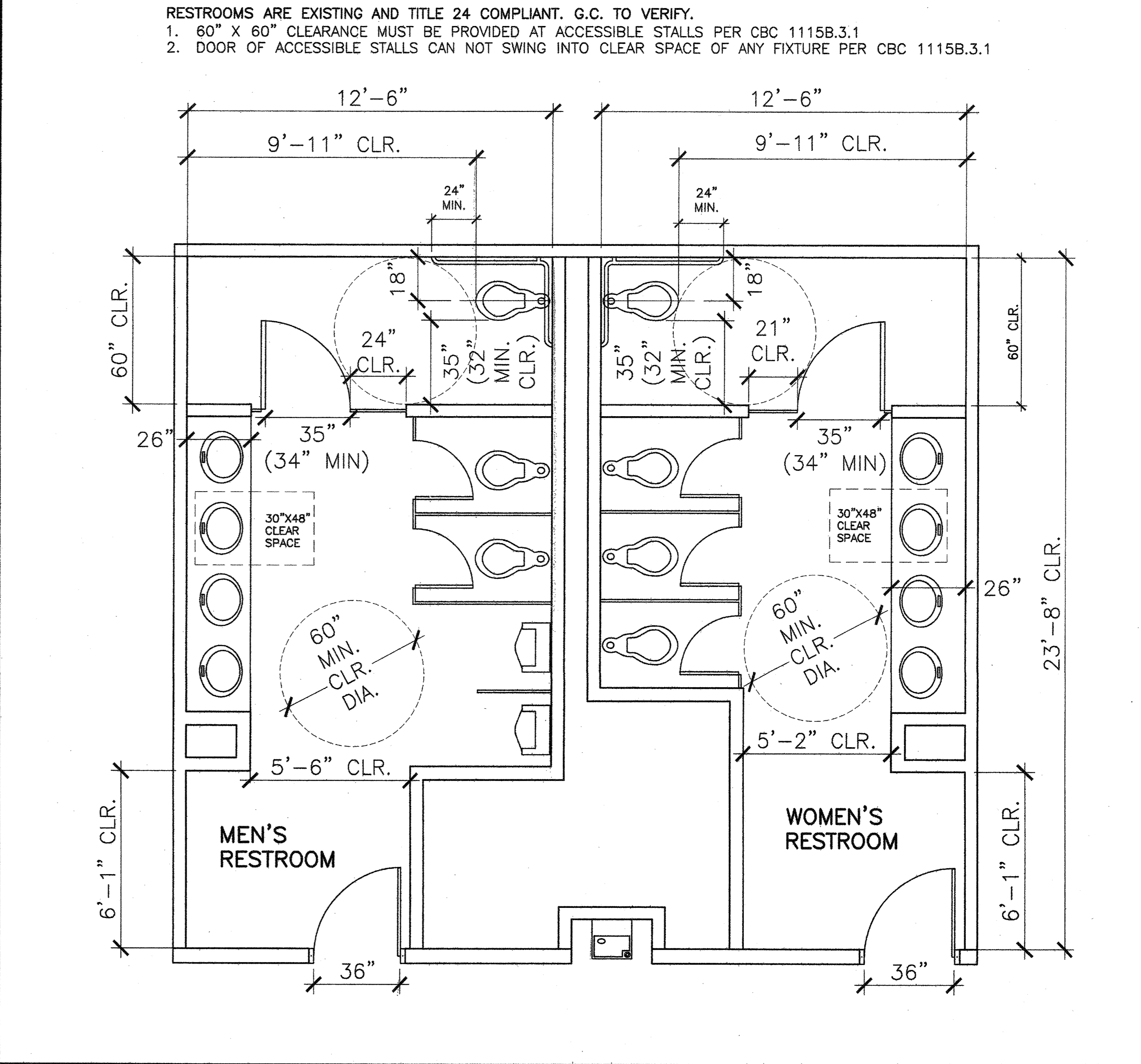
5 GRAB BAR DETAIL



4 TYPICAL ADA DIMENSIONS



3 URINALS



2 EXISTING ACCESSIBLE RESTROOMS

OCCUPANT LOAD INFORMATION

SUITE 150-1,222 SF.

B OCCUPANCY LOAD: 12 PER SUITE
 EXITS REQUIRED: ONE (ONE PROVIDED)
 MAX OCCUPANT LOAD PER ROOM/AREA

ROOM #	S.F.	OCC. LOAD FACTOR	OCC. LOAD
OPEN OFFICE 150	914	100	9 OCC.
OFFICE 151	108	100	1 OCC.
OFFICE 152	128	100	1 OCC.

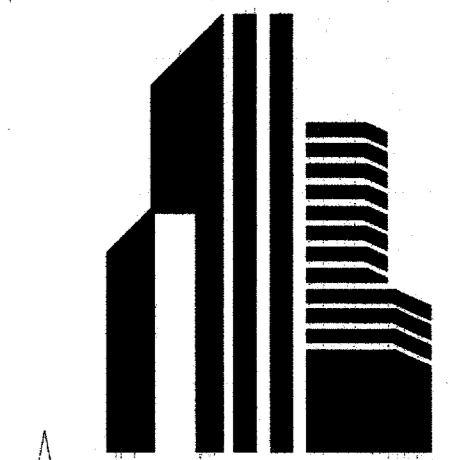
A-1 KEY NOTES:

- (K1) NEW 20 MIN RATED DOUBLE DOOR ENTRY (BUILDING STANDARD). DOOR ASSEMBLY TO BE 20-MIN RATED, WITH STRUCTURAL SUPPORT AS NEEDED AND FIRE CAULKING FOR PATCHING. EXIT DOORS TO BE INSTALLED WITH NON-REMOVABLE HINGES PINS PER THE CITY OF SANTA ANA. REPAIR CORRIDOR FINISHES TO MATCH EXISTING. REPAIR OR PREP INTERIOR WALLS FOR NEW FINISHES.
- (K2) PROVIDE CONDUIT CONNECTION FROM TEL/DATA ROOM TO SUITE 225 (ABOVE) FOR TENANT DATA AND TELEPHONE CABLING BETWEEN THE TWO SUITES. CONDUIT SIZE TO BE DETERMINED PER TENANT'S CABLING NEEDS.
- (K3) RELOCATE EXISTING WINDOW IN FRAME TO SUITE 225. SEE SUITE 225 PLAN FOR LOCATION.
- (K4) PROVIDE VC FLOORING AT COPY AREA, 3 FEET FROM THE OUT SIDE EACH OF COPIERS (SEE A-3 FOR APPROXIMATE LOCATIONS). EXACT SIZE TO BE DETERMINED DURING CONSTRUCTION.
- (K5) PONY-UP EXISTING INTERIOR DEMISING WALL TO BECOME FULL-HEIGHT SOUND-INSULATED BUILDING STANDARD DEMISING WALL-IF NOT ALREADY. SEE DETAIL #2 ON SHEET A-5 FOR TYPICAL BUILDING STANDARD DEMISING WALL CONSTRUCTION. INSULATION TO EXTEND TO DECK ABOVE. IF EXISTING WALL IS NOT FULL HEIGHT, EXTEND WALL TO DECK ABOVE, AND PROVIDE BRACING AS REQUIRED FOR STRUCTURAL STABILITY. SEE BRACING DETAIL #3 ON A-5.
- (K6) PROVIDE OPEN OFFICE WITH INSULATION SOUND CONTROL
 - SOUND BATT INSULATION IN EXISTING DEMISING WALL (TO DECK ABOVE).
 - INSTA-OUIL ABOVE CEILING.
 - SOUND BOOTS IN AIR VENTS.
 - SOUND GASKET AROUND DOOR FRAME. (AT ENTRY DOORS)
 - SOUND SWEEPS ON DOORS. (AT ENTRY DOORS)

LEGEND:

- EXISTING WALLS TO REMAIN
 - DEMO EXISTING WALLS/ITEMS
 - (N/A) NEW INTERIOR PARTITION
 - INTERIOR WINDOW
 - BUILDING STANDARD DOOR
 - DOOR NUMBER
 - HARDWARE TYPE
 - DOOR TYPE
 - ALIGN
 - TELEPHONE BACKBOARD
 - TACTILE EXIT SIGN (PROVIDE AS REQ.)
 - FIRE EXTINGUISHER
 - ER EXISTING TO BE RELOCATED
 - R RELOCATED
 - D DEMOLISH
 - N NEW
 - L PROVIDE LOCK ON DOOR (IF NOT ALREADY EXISTING)
- SEE PLAN
 SEE DETAIL #1/A-5
 SEE KEYNOTE K3
 FOR NEW DOORS, SEE PLAN AND SHEET A-4 FOR SPECIFICATIONS.
 SPEC #1, KEYNOTE K2
 SEE DETAILS ON A-4
 SPEC #2, NOTE #7
- ALL ITEMS TO REMAIN U.O.N.

PROJECT



ARDEN REALTY, INC.
 HARBOR CORPORATE PARK
 3621 SOUTH HARBOR BOULEVARD
 SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS

SUITE 150

AGREED: _____ DAY OF _____, 2012
 TENANT: _____
 BY: _____
 TITLE: _____
 COMMENT: _____

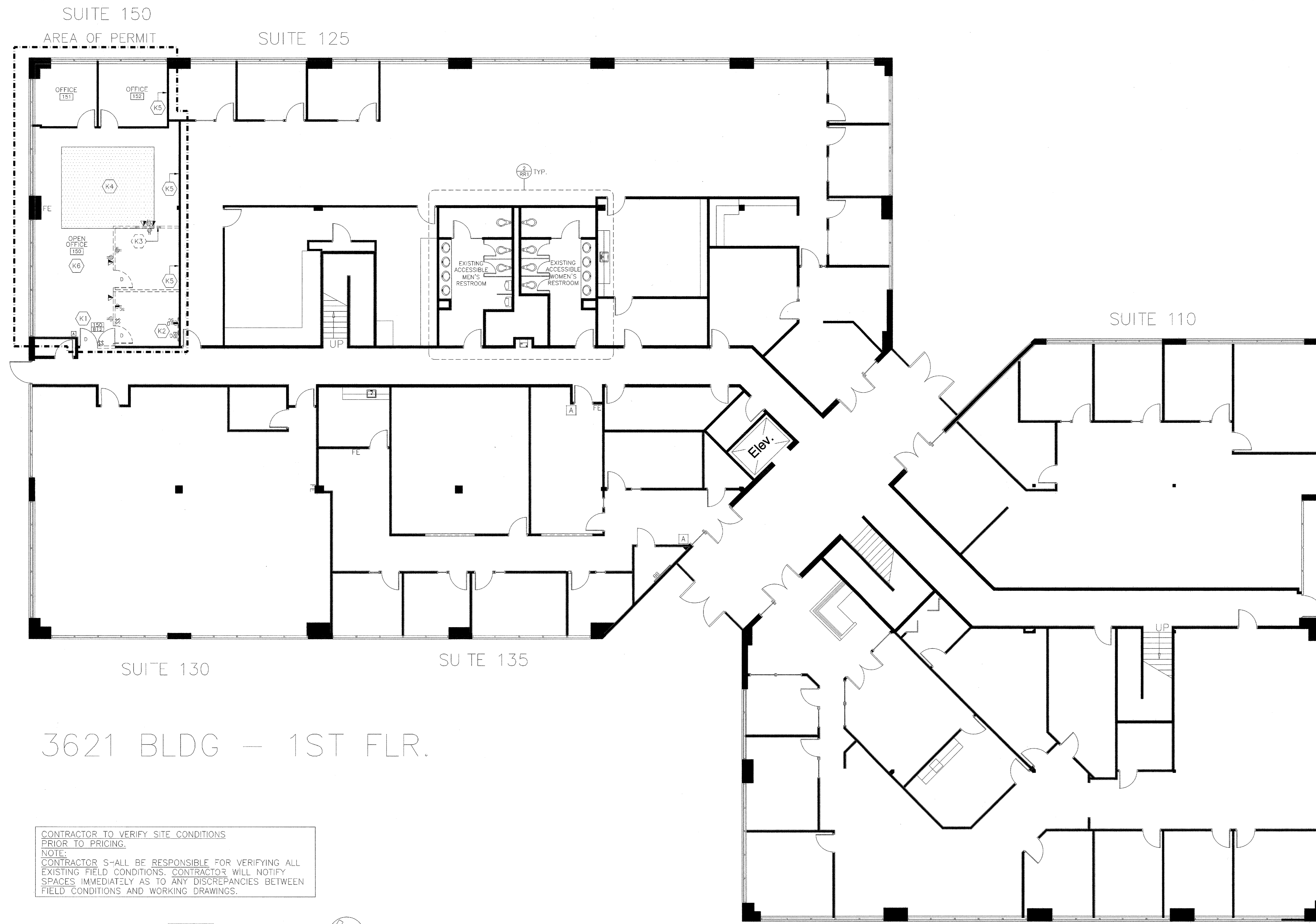
UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME, THE TENANT.

SPECIFICATIONS SEE SHEET A-3 FOR LOCATIONS

- 1 TELEPHONE BACKBOARD: (EXISTING TO BE DEMOLISHED) 2' X 4' X 3/4" FIRE TREATED PLYWOOD TELEPHONE BACKBOARD. SAND AND PAINT TO MATCH WALL. PROVIDE ONE (1) 2" CONDUIT RUN TO BASE BUILDING TELEPHONE ROOM WITH ONE (1) SEPARATE CIRCUIT DUPLEX OUTLET. MOUNT AT FINISHED CEILING.
 - 2 FIRE EXTINGUISHER: (EXISTING/NEW) TO MATCH BUILDING STANDARD. PROVIDE AS NEEDED IF NOT EXISTING.
 - 3 TELEPHONE WALL OUTLETS: STANDARD GANG BOX WITH 3/4" CONDUIT TO TERMINATE 6" ABOVE CEILING LINE WITH PULLSTRING. INSTALL BOX VERTICALLY 17" A.F.F. TO CENTER LINE OF OUTLET. NEW TO MATCH EXISTING.
 - 4 DOUBLE SINK & FAUCET: (N/A) ALL COMPONENTS TO BE TITLE 24 COMPLIANT "JUST" BRAND. SINK #J-ADA-2133-A GR DOUBLE ADA BOWL, 6 1/2" DEEP. DRAIN LOCATION AS REQUIRED, G.C. TO VERIFY. FAUCET #J-1174-KS OR SIMILAR, WITH LEVER HANDLES. DRAIN SYSTEMS: 2 CITY, #J-ADA-252 WITH OVERFLOW SYSTEM IF REQUIRED, AND DRAIN INSULATOR KITS #J-ADA-150 OR SIMILAR INSULATION IF/AS REQUIRED BY CODES. INCLUDE ALL NECESSARY PLUMBING AS NEEDED. MODIFY STANDARD CONSTRUCTION IF/AS NEEDED TO ALLOW FOR INSTALLATION OF GARBAGE DISPOSAL, IF SPECIFIED.
 - 5 GARBAGE DISPOSAL: (N/A) IN-SINK-ERATOR, MODEL: "EVOLUTION" SERIES, "EVOLUTION COMPACT", BLACK ENAMEL FINISH, 8" DIAMETER, 12-1/8" DEEP. SINGLE PHASE, 3/4 HP, 120V, 60HZ, 8.1 AMPS. PROVIDE SEPARATE CIRCUIT OUTLET AND WALL SWITCH.
 - 6 INSTAHOT: (N/A) CHROMIUMITE INSTANTANEOUS HOT WATER HEATER, UNDER CABINET MOUNT, MODEL #SR-30, 8320W, 277 VOLTS, 30 BREAKER. INSTALL WITH 1/4" COPPER WATER LINE & PROVIDE SEPARATE CIRCUIT OUTLET AS NEEDED.
 - 7 PANEL FURNITURE: (N/A) TO BE PROVIDED BY TENANT. GC TO PROVIDE POWER AND TO HARDWIRE SYSTEM. TENANT TO PROVIDE "WHIPS". SEE A-3 FOR LOC.
 - 8 REFRIGERATOR W/ ICE MAKER: (N/A) TO BE PROVIDED BY G.C. AND G.C. TO PROVIDE COPPER WATER LINE.
 - 9 COFFEE MAKER: (N/A) BY TENANT. G.C. TO PROVIDE COPPER WATER LINE.
 - 10 DSHWASHER: (N/A) G.C. TO PROVIDE & INSTALL NEW ADA ASKO SELF HEATING: D5122ADA.
 - 11 MICROWAVE: (N/A) TENANT TO PROVIDE AND MILL WORK TO HAVE A BUILT-IN CUBBIE SIZE AND TYPE: TBD.
- SEE KEYNOTE #1 & PLAN ON SHEET A-3 FOR SPECS AND TENTATIVE LOCATIONS OF OFFICE EQUIPMENT. G.C. TO VERIFY WITH TENANT.

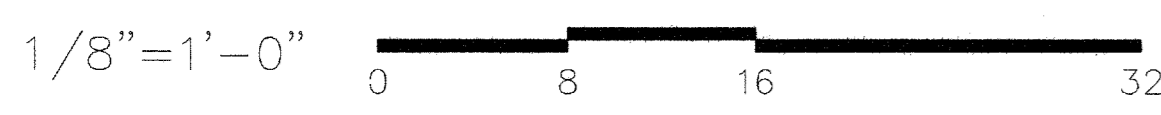
NOTES:

- GENERAL:
1. VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER BY THE ACT OF SUBMITTING A BID PROPOSAL. FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
 2. ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
 3. ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED ON AUTOCAD. PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS. NO DXF FILES.
 4. ALL DOORS SHALL BE HANDICAPPED ACCESSIBLE: FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" BELOW THRESH-HOLD. MAXIMUM EFFORT TO OPEN DOORS SHALL NOT EXCEED 5 LBS (EXIT DOORS) & 5 LBS (INTERIOR DOORS). DOORS SHALL COMPLY WITH REQUIREMENTS OF T-E 2010 C.B.C.
 5. ALL EXISTING HANDICAPPED FACILITIES SHALL MEET OR COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS.
 6. ALL MILLWORK (EXISTING OR NEW) IS TO COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR 2010 CBC COMPLIANCE AND INTERPRETATION OF REQUIREMENTS.
 7. ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID.
 8. PUBLIC CORRIDORS SHALL BE OF ONE-HOUR CONSTRUCTION WITH DOOR OPENINGS PROTECTED WITH 20 MINUTE SELF-CLOSING AND LATCHING ASSEMBLIES AND SMOKE SEALS.
 9. ALL DRYWALL IS TO BE INSTALLED VERTICALLY.
 10. PATCH AND PAINT DRYWALL WHERE EXISTING ELECTRICAL IS TO BE REMOVED. BLANK PLATES SHALL NOT BE PERMITTED. REMOVE EXISTING BLANK PLATES.
 11. PROVIDE BRACING AT CEILING AND TIE WIRES AT FIXTURES TO MEET CBC/BOCA/LOCAL CODES. CONFIRM EXISTING CONDITIONS.
 12. (DEMO EXISTING, SEE KEYNOTE K2) ALL SUITES TO RECEIVE TELEPHONE BACKBOARD, IF NOT ALREADY EXISTING, AND U.O.N. TELEPHONE BACKBOARD TO HAVE 1 (ONE) SEPARATE CIRCUIT AND 1 (ONE) 2" CONDUIT TO BASE BUILDING TELEPHONE. SAND AND PAINT BACKBOARD.
 13. ALL EXISTING INTERIOR DOORS ARE EXISTING TO REMAIN, U.O.N. DOORS TO BE REPAIRED AS REQUIRED. NEW DOORS TO MATCH EXISTING IN MANUFACTURE, STYLE, FINISH AND SIZE. CONTRACTOR TO CHECK BUILDING STOCK IF NEW DOORS ARE REQUIRED. DUE TO ENVIRONMENTAL HAZARDS NO DOORS ARE TO BE FINISHED ON SITE. REPLACE ALL NON-COMPLIANT HARDWARE WITH NEW ADA-COMPLIANT HARDWARE TO MATCH BUILDING STANDARD.
 14. RETURN UNUSED DOORS AND SIDELIGHTS TO BUILDING STOCK U.O.N.
 15. ALL EXTERIOR WINDOW COVERINGS ARE EXISTING TO REMAIN, U.O.N. CLEAN AND REPAIR OR REPLACE AS REQUIRED WHERE DAMAGED OR MISSING VEINS OCCUR. NEW TO MATCH EXISTING.
 16. WALLS TO BE REPAIRED AS REQUIRED. PREP, PATCH & PAINT WITH NEW BUILDING STANDARD PAINT. TWO (2) COATS TO COVER.
 17. REMOVE ALL EXISTING CARPET, PAD, VCT, BASE, AND WALLCOVERING, U.O.N. PREP FOR NEW FINISHES AS REQ., SEE SHEET A-4 FOR LOCATIONS AND SPECIFICATIONS.
- DOORS & FINISHES:



3621 BLDG - 1ST FLR.

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.
 NOTE:
 CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.



SQUARE FOOTAGE
 USABLE: 1,222 SF

FIRST FLOOR
 PARTITION PLAN

Sheet Title
 Project Number 2778.17
 Sheet Number A-1

BUILDING STANDARD NOTES:

- G.C. TO VERIFY EXISTING NIGHTLIGHTS. RELOCATE EXISTING NIGHTLIGHTS OR RETROFIT EXISTING REGULAR LIGHTS TO BECOME NEW NIGHT LIGHTS AS NEEDED FOR NEW LIGHT LAYOUT SHOWN ON PLANS. NEW NIGHT LIGHTS TO BE PROVIDED AS NECESSARY. NIGHTLIGHTS TO HAVE 24 HOUR BATTERY PACKS IF REQUIRED.
- RETURN UNUSED LIGHT FIXTURES (DEMO LIGHTS) TO BUILDING STOCK.
- GANG ALL SIMILAR LIGHTING TOGETHER IN OPEN OFFICE AREAS & PASSAGEWAYS AND CONNECT TO OVERRIDE TOGGLE SWITCHES AT EXIT DOORS. PROVIDE ADEQUATE CEILING MOTION SENSORS IN (AND SWITCHES FOR) OPEN OFFICE AREAS & PASSAGEWAYS. NEW SWITCHES TO BE LOCATED NOT MORE THAN 6" FROM DOOR FRAME U.O.N. WHERE THIS IS NOT PRACTICAL, SWITCHES TO BE MOUNTED ON THE WALL THAT THE DOOR SWINGS TO, 2" FROM EDGE OF DOOR IN OPEN POSITION. MOUNT AT 42" A.F.F. TO CENTER LINE OF SWITCH TO MEET TITLE 24. [SEE "TYPICAL OUTLET DIMENSIONS" DIAGRAM ON A-3.]

FIRE LIFE SAFETY & STRUCTURAL:

- ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID.
- PROVIDE EXIT SIGNS, SMOKE DETECTORS & LIFE SAFETY AS REQUIRED PER CODES. NEW TO MATCH EXISTING BUILDING STANDARD, U.O.N. G.C. TO VERIFY ALL ARE OPERATIONAL. PROVIDE 24 HOUR BATTERY PACK FOR EXIT SIGNS, IF REQUIRED. VERIFY AND REUSE EXISTING FIRE LIFE SAFETY ITEMS IF POSSIBLE—SEE ENGINEERING PLANS (IF NOT SHOWN ON THIS PLAN).
- FIRE SPRINKLER DRAWINGS TO BE SUBMITTED TO SPACES ONE WEEK PRIOR TO ANY CONSTRUCTION. NO EXCEPTIONS. CONTRACTOR RESPONSIBLE FOR DELIVERING DRAWINGS TO SPACES. FIRE SPRINKLERS TO BE LOCATED TO MEET THE CITY FIRE DEPT. REQUIREMENTS.
- WHERE ABOVE-CEILING WALLS HAVE BEEN DEMOLISHED, CEILING GRID AND TILES TO BE MODIFIED AND/OR REPLACED AS REQUIRED.
- WHERE WALLS HAVE BEEN DEMOLISHED OR NEW CEILINGS ADDED REINFORCE CEILING GRID WITH COMPRESSION STRUTS PER 2010 CBC.
- PROVIDE BRACING AT CEILING AND TIE WIRES AT FIXTURES TO MEET CBC/BOCA/LOCAL CODES. CONFIRM EXISTING CONDITIONS.
- PROVIDE NATURAL VENTILATION PER SECTION 1203.4 AND NATURAL OR ARTIFICIAL LIGHTING PER SECTION 1205 OF CBC. IN LIEU OF NATURAL VENTILATION PROVIDE MECHANICAL VENTILATION PER CALIFORNIA MECHANICAL CODE. SEE MECHANICAL ENGINEERING DRAWINGS FOR HVAC COMPLIANCE.

BUILDING STANDARD NOTES:

GENERAL:

- VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
- ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
- ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED ON AUTOCADD. PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS. NO DXF FILES.
- COMBINE ALL MECHANICAL, HVAC, ELECTRICAL, AND FIRE LIFE SAFETY WITHIN EXISTING SUITE, IF NOT ALREADY. SEPARATE THESE SYSTEMS FROM THOSE OF ADJACENT SUITES.
- G.C. TO VERIFY HVAC CONDITIONS/ZONING WITH BUILDING ENGINEER TO ENSURE ADEQUACY OF EXISTING UNITS FOR SUITE. ANY ADDITIONS TO HVAC EQUIPMENT SHALL BE INCLUDED IN SCOPE AND BID FOR PROPOSED WORK. G.C. TO REPAIR DUCTS AS REQUIRED. EXISTING HVAC GRILLS ARE TO BE REBALANCED. ALL EXISTING SUPPLY & RETURN AIR GRILLS ARE TO BE CLEANED, REPAIRED, AND REPAINTED (AS NEEDED) TO MATCH CEILING FOR CONTINUOUS UNIFORM APPEARANCE. REPLACE WITH NEW ONLY AS REQUIRED.

CEILING GRID, TILES, LIGHTS, SWITCHES:

- ALL SUSPENDED T-BAR IS EXISTING TO REMAIN, U.O.N. CLEAN/PATCH/REPAIR AS REQUIRED.
- ALL ACOUSTICAL CEILING TILES ARE EXISTING TO REMAIN, U.O.N. TRIM/PATCH/REPLACE WITH BUILDING STANDARD TILES AS REQUIRED FOR UNIFORM APPEARANCE THROUGHOUT SUITE.
- SEE SHEET A-1 FOR HEIGHTS & CONSTRUCTION OF NEW WALLS. TRIM CEILING GRID AND TILES AS NEEDED.
- LIGHT FIXTURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. G.C. TO ALLOW FOR MINIMUM LIGHT LEVEL OF ONE (1) FIXTURE PER EIGHTY (80) SQUARE FEET U.O.N. REPAIR/REPLACE FIXTURES AS REQUIRED. ALL EXISTING FIXTURES TO BE CLEANED. G.C. TO RELAMP AND REPLACE LENSES WITH BUILDING STANDARD ONLY PER DIRECTION OF LANDLORD.

A-2 KEY NOTES:

MATERIALS:

ON ALL CONSTRUCTION PROJECTS WITH LIGHTING SCOPE, THE LAND LORD REQUIRES THE ELECTRICAL SUBS RECEIVE THEIR MATERIALS FROM FSG ONLY. THE FSG CONTACT PERSON; JARED JOHNSON, DIVISION MANAGER, OFFICE: 800.265.0439 X 14233, CELL: 714.749.4361 JARED.JOHNSON@FSGI.COM

- EQUIPMENT BY THE TENANT. MECHANICAL ENGINEER TO DETERMINE IF EXISTING HVAC LOAD WILL BE SUFFICIENT FOR HEAT LOADS FOR THE EQUIPMENT LIST BELOW:
 - 2 X RICOH 907EX PRODUCTION COPIERS
 - 3 X STANDARD OFFICE COMPUTERS
 - 2 X HP LASERJET 4250 PRINTERS
 - 1 X PREFERRED PACKAGING PP-48ST SHRINK-WRAP MACHINE
 -SEE LAYOUT FOR EQUIPMENT-EXACT SIZES TO BE DETERMINED-FOR PLACEMENT ONLY
 -TENANT TO PROVIDE ALL EQUIPMENT AND FURNITURE THROUGHOUT SUITE
- PROVIDE CONDUIT CONNECTION FROM TELE/DATA ROOM TO SUITE 225 (ABOVE) FOR TENANT DATA AND TELEPHONE CABLING BETWEEN THE TWO SUITES. CONDUIT SIZE TO BE DETERMINED PER TENANT'S CABLING NEEDS.
- PROVIDE POWER AND TELE/DATA OUTLET CONNECTIONS AT CEILING OR ABOVE FOR COPIERS. EXACT CONNECTION AND PLACEMENT TO BE DETERMINED DURING CONSTRUCTION.
- PONY-UP WITH SOUND INSULATED WALL AT BUILDING STANDARD DEMISING WALL, IF NOT ALREADY EXISTING.
- PROVIDE OPEN OFFICE WITH INSULATION SOUND CONTROL
 - SOUND BATT INSULATION IN EXISTING DEMISING WALL.
 - INSTA-QUIL ABOVE CEILING.
 - SOUND BOOTS IN AIR VENTS.
 - SOUND GASKET AROUND DOOR FRAME. (AT ENTRY DOORS)
 - SOUND SWEEPS ON DOORS. (AT ENTRY DOORS)

LEGEND:

	EXISTING ACOUSTICAL CEILING GRID & TILE, 2' x 4' IN SUITES [12" x 12" IN COMMON CORRIDORS-G.C. TO VERIFY]	SPEC #1
	2' x 4' PRISMATIC FLUORESCENT FIXTURE	SEE SPEC #2
	2' x 4' PRISMATIC FLUORESCENT NIGHT LIGHT FIXTURE	SEE SPEC #2
	1-WAY CEILING MOUNTED SENSOR	SPEC #6
	2-WAY CEILING MOUNTED SENSOR	SPEC #6
	WALL MOUNTED SENSOR, W/ INTEGRAL OVERRIDE BUTTON	SPEC #5
	DOUBLE TOGGLE OVERRIDE SWITCH.	SPEC #4
	EXIT SIGN	SPEC #3

	FIRE STROBE	
	FIRE LIFE SAFETY SPEAKER	NOT SHOWN ON ARCHITECTURAL PLANS. G.C. TO PROVIDE AS REQUIRED-SEE ENGINEERING PLANS.
	SMOKE DETECTOR	
	FIRE LIFE SAFETY OBJECT	NOTE #15

D DEMOLISH N NEW
R RELOCATED ER EXISTING TO BE RELOCATED

ALL ITEMS ARE EXISTING TO REMAIN, U.O.N.

PROJECT

ARDEN REALTY, INC.

HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS

SUITE 150

AGREED: _____
ACCEPTED THIS DAY OF _____, 2012

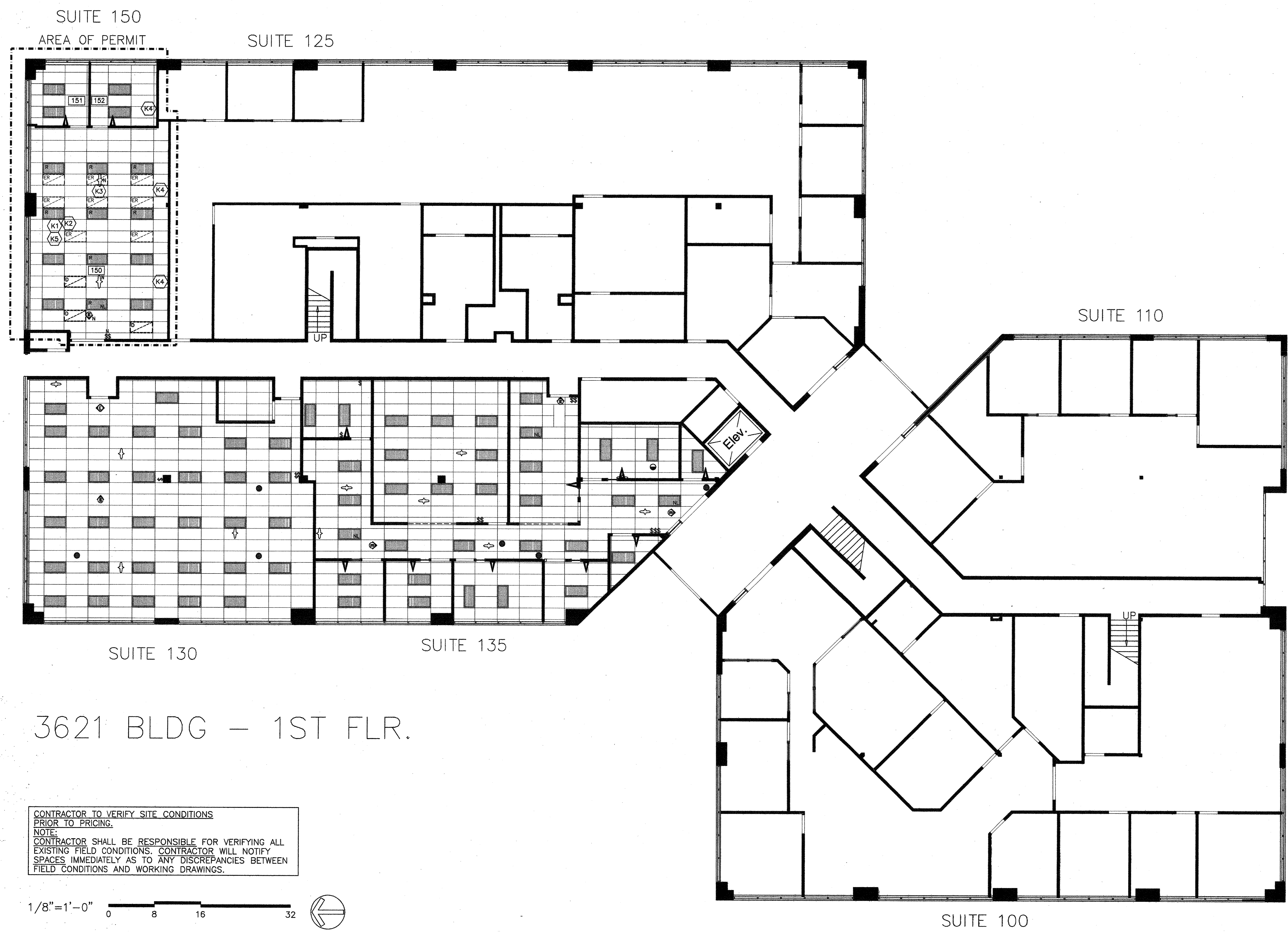
TENANT: _____
BY: _____
TITLE: _____

COMMENT: _____

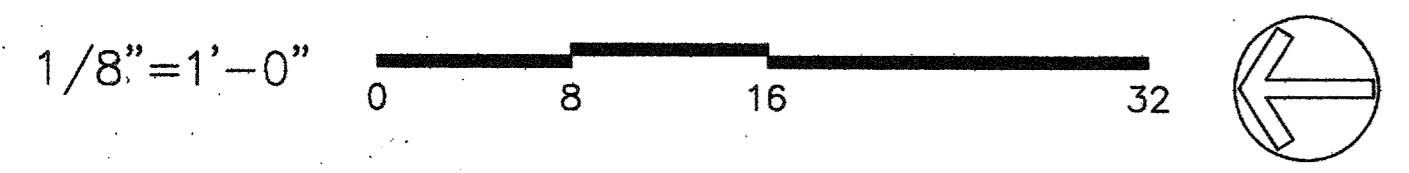
THE DRAWING AND/OR THE ACCOMPANYING SPECIFICATIONS AS INDICATED BY SYMBOLS AND THE EXISTING PROPERTY OF SPACES AND THE USE AND MANNER THEY WERE PREPARED, BE USE, REPRODUCTION, OR PUBLICATION BY ANY OTHER PARTY WITHOUT THE WRITTEN CONSENT OF SPACES P&D INC. SHALL BE STRICTLY PROHIBITED. ANY VIOLATION OF THESE TERMS SHALL BE CONSIDERED A BREACH OF CONTRACT AND SHALL BE SUBJECT TO LEGAL ACTION WITHOUT NOTICE.

BUILDING STANDARD SPECIFICATIONS

- CEILING TILE: MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, FINISH & SIZE. G.C. TO VERIFY.
- SUSPENDED CEILING GRID: TO MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, FINISH AND SPACING. G.C. TO VERIFY. SUPPRESSION SYSTEM TO COMPLY WITH ASTM C835 SPECIFICATIONS. COMPRESSION STRUTS TO CONFORM TO TITLE 24.
- RECESSED 2' x 4' FLUORESCENT FIXTURE: MATCH BUILDING STANDARD (PRISMATIC LIGHT) IN MANUFACTURER, STYLE, AND FINISH U.O.N. PROVIDE EARTHQUAKE CLIPS AND WIRE AS REQUIRED. "NL" DENOTES FIXTURE WITH BACK-UP BATTERY PACK FOR NIGHT-LIGHT. G.C. TO VERIFY.
- EXIT SIGN: PROVIDE AS NEEDED PER CODES. MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH. CEILING MOUNTED. EQUIP WITH BACK-UP POWER.
- SWITCHES: MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH. SWITCHES PAIRED IN DOUBLE GANG BOX. PROVIDE A/B OR OVERRIDE SWITCHING AS APPLICABLE TO MEET TITLE 24 REQUIREMENTS.
- WALL MOUNTED MOTION SENSOR/SWITCH: MATCH EXISTING BUILDING STANDARD SETUP IN MANUFACTURER, STYLE, AND FINISH.
- CEILING MOUNTED MOTION SENSORS: MATCH EXISTING BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH.
- DOWNLIGHTS: N/A
- FIRE SPRINKLERS: EXISTING TO REMAIN/PROVIDE AS REQUIRED PER CODES. G.C. TO VERIFY. IF NEW ARE REQUIRED, THEY ARE TO MATCH BUILDING STANDARD. SEE SPRINKLER SHOP DRAWINGS FOR SPECIFICATIONS.
- SMOKE DETECTOR: NOT SHOWN IN SUITES. PROVIDE IF/AS REQUIRED BY CODES. G.C. TO VERIFY. SPECIFICATION TO BE PROVIDED BY FIRE LIFE SAFETY ENGINEER. TO MATCH EXISTING, U.O.N.
- FIRE LIFE SAFETY SPEAKERS & STROBES: PROVIDE IF/AS REQUIRED BY CODES. G.C. TO VERIFY EXISTENCE & LOCATION. SPECIFICATION TO BE PROVIDED BY FIRE LIFE SAFETY ENGINEER. MATCH EXISTING U.O.N.



CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.
NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.



PLAN CHECK SUBMITTAL	01.23.12	
RELEASED FOR ENGINEERING	01.13.12	
NO.	DESCRIPTION	DATE
REVISIONS		
	DRAWN MS	
	DATE 10.06.11	
	CHECKED RP	
	PRINT DATE 01.20.12	
INTERIOR PLANNING & DESIGN		
SPACES P & D INC.		
17780 FITCH, SUITE 150 / IRVINE, CA 92614 949.724.1499 / www.spaces-oc.com		

SQUARE FOOTAGE
USABLE: 1,222 SF

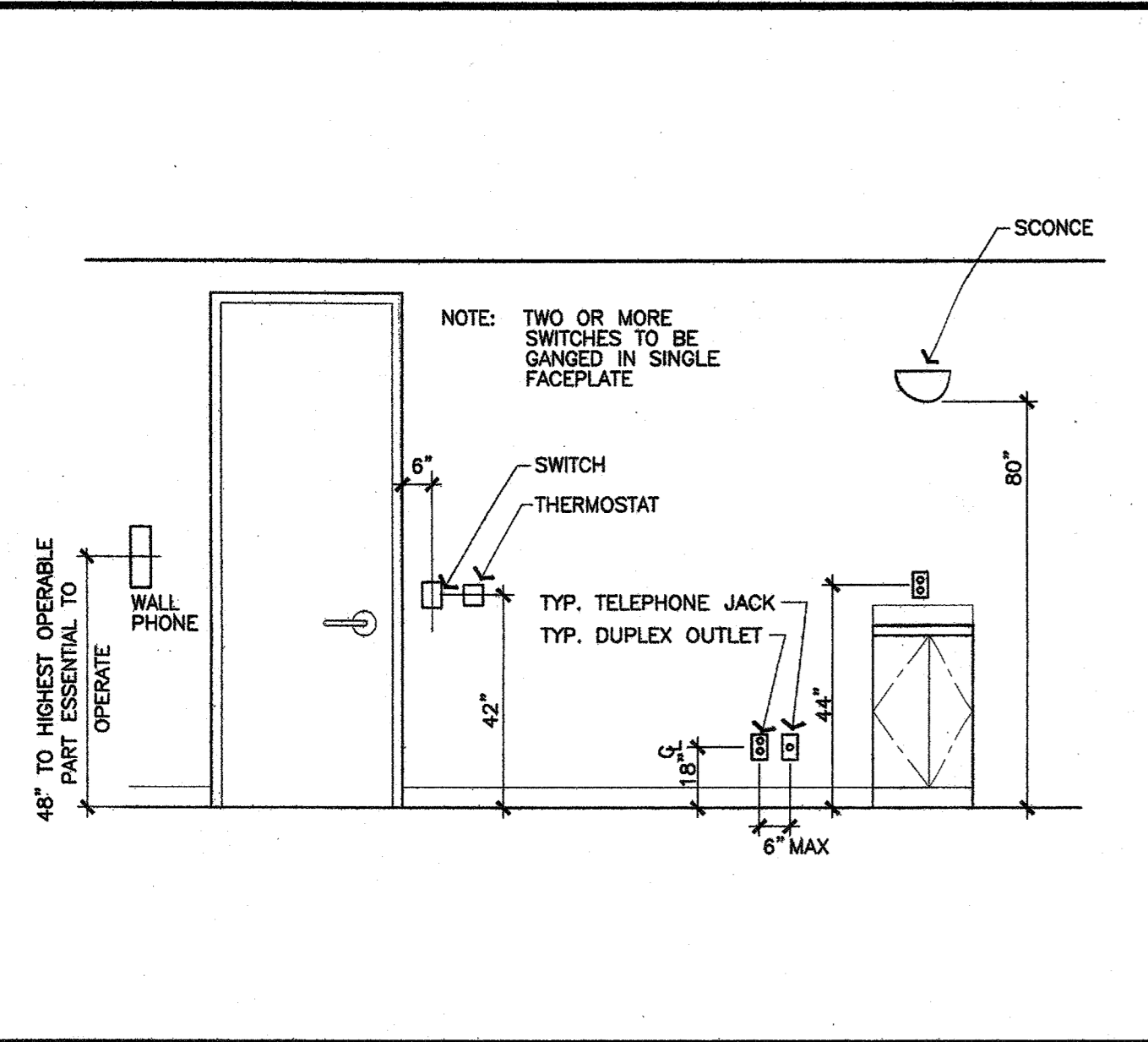
FIRST FLOOR
REFLECTED CEILING PLAN

Sheet Title

Project Number 2778.17

Sheet Number A-2

TYPICAL OUTLET DIMENSIONS



BUILDING STANDARD NOTES:

13. DEDICATED/ISOLATED OUTLETS TO BE COLOR CODED ORANGE OR TO MATCH BUILDING STANDARD.
 14. ALL OUTLETS TO BE OPERATIONAL. TYPICAL SPACING FOR ALL NEW OUTLETS IS 6" FROM EACH OTHER, NO BACK TO BACK OUTLETS. OUTLETS TO BE VERTICAL AND CENTERED AT 18" A.F.F. U.O.N.
 15. NEW SWITCHES TO BE LOCATED NOT MORE THAN 8" FROM DOOR FRAME U.O.N. MOUNT @ 42" A.F.F.
 16. PATCH AND PAINT DRYWALL WHERE EXISTING ELECTRICAL IS TO BE REMOVED. BLANK PLATES SHALL NOT BE PERMITTED. REMOVE EXISTING BLANK PLATES.
 17. TENANT TO SPECIFY ALL REQUIREMENTS NEEDED FOR THEIR APPLIANCES AND EQUIPMENT. G.C. TO PROVIDE ALL REQUIRED ELECTRICAL & PLUMBING.
 18. ALL TELE/DATA, TELEPHONE AND DATA OUTLETS ARE TO BE 3/4" CONDUIT IN A SINGLE RUN TO BE STUBBED OUT AT 6" ABOVE THE FINISHED CEILING. NO LOOPING. WHEN A TELE/DATA OR DATA OUTLET IS INDICATED NEXT TO AN ELECTRICAL OUTLET, THE ENGINEER MUST NOT PROVIDE MORE THAN 4 OUTLETS PER BREAKER. NO OUTLETS FOR ANY OTHER USE ARE TO BE PROVIDED ON THE SAME BREAKERS WITH DATA/RT ELECTRICAL OUTLETS. TWO SPARE BREAKERS ARE TO REMAIN FOR THE BUILDING ENGINEER'S USE. ALL SPECIFICATIONS FOR EQUIPMENT THAT IS DIFFERENT FROM THE ARCHITECTURAL DRAWINGS ARE TO BE INDICATED ON THE ENGINEERING DRAWINGS. SEE ENGINEERED DRAWINGS FOR CONDUIT SIZE AND CONNECTION.
- TELEPHONE AND DATA CABLING:**
19. ALL EXISTING TELEPHONE/DATA CABLING IS TO BE REMOVED. U.O.N.
 20. TENANT AND TENANT'S SUBCONTRACTOR ARE RESPONSIBLE FOR INSTALLATION OF TELE/DATA CABLING. CABLING TO BE PLENUM RATED AND SUSPENDED FROM THE STRUCTURE ABOVE. CABLING MAY NOT REST ON THE CEILING GRID OR BE ATTACHED TO ANY OTHER ELEMENTS ABOVE THE CEILING GRID EXCEPT THE STRUCTURE ABOVE.
 21. FURNITURE IS A SCHEMATIC LAYOUT AND FOR REFERENCE ONLY. TENANT TO PROVIDE. TENANT & TENANT'S VENDOR TO PROVIDE EXACT LOCATIONS & SIZES OF FURNITURE SYSTEMS AND LOCATIONS FOR & TYPES OF OUTLETS & FURNITURE WHIPS. EXACT CRITICAL DIMENSIONED LOCATIONS OF ALL ELECTRICAL & TELE/DATA PANEL FEEDS TO BE PROVIDED TO SPACES/G.C. PRIOR TO INSTALLATION. G.C. RESPONSIBLE FOR HARDWARE CONNECTIONS TO BUILDING POWER.

BUILDING STANDARD NOTES:

- GENERAL:**
1. VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
 2. ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
 3. ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED ON AUTOCAD, PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS. NO DXF FILES.
 4. ALL SUITES TO RECEIVE TELEPHONE BACKBOARD (IF NOT EXISTING OR U.O.N.) PROVIDE 1 (ONE) SEPARATE CIRCUIT & 1 (ONE) 2" CONDUIT TO BASE BUILDING TELEPHONE, SAND AND PAINT BACKBOARD.
 5. ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID. G.C. TO VERIFY EXISTING FIRE EXTINGUISHERS, AND PROVIDE NEW AS NEEDED PER CODES (IN NUMBER, TYPE, & LOCATION).
 6. G.C. TO VERIFY CAPACITY OF EXISTING ELECTRICAL PANEL/ TRANSFORMERS IS ADEQUATE FOR PROPOSED WORK. IF ANY ADDITIONS TO ELECTRICAL CAPACITY OF BUILDING IS REQUIRED IT SHALL BE INCLUDED IN SCOPE AND BID FOR PROPOSED WORK.
 7. ALL OFFICES TO HAVE A MINIMUM OF TWO DUPLEX OUTLETS, ONE TELEPHONE OUTLET AND ONE DATA OUTLET, U.O.N.
 8. REPAIR AND/OR REPLACE EXISTING CONDITIONS/FINISHES WITH BUILDING STANDARD FINISHES AND MATCH THROUGHOUT AREA OF PERMIT.
 9. ALL EXISTING HANDICAPPED FACILITIES (INCLUDING HEIGHT OF OUTLETS) SHALL MEET OR COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS.
 10. COMBINE ALL MECHANICAL, HVAC, ELECTRICAL, AND FIRE LIFE SAFETY WITHIN SUITE, IF NOT ALREADY. SEPARATE THESE SYSTEMS FROM ADJACENT SUITES.
- ELECTRICAL:**
11. ALL ELECTRICAL/TELEDATA OUTLETS ARE EXISTING TO REMAIN. U.O.N.
 12. ALL OUTLETS TO HAVE COVER PLATES. IF DAMAGED OR MISSING, G.C. TO PROVIDE NEW COVER PLATES TO MATCH EXISTING. ALL ELECTRICAL OUTLETS ARE TO MATCH EXISTING IN COLOR & ORIENTATION. G.C. TO REPLACE ALL OUTLETS & PLATES THAT ARE NON-CONSISTENT. REPLACE MISSING SCREWS.

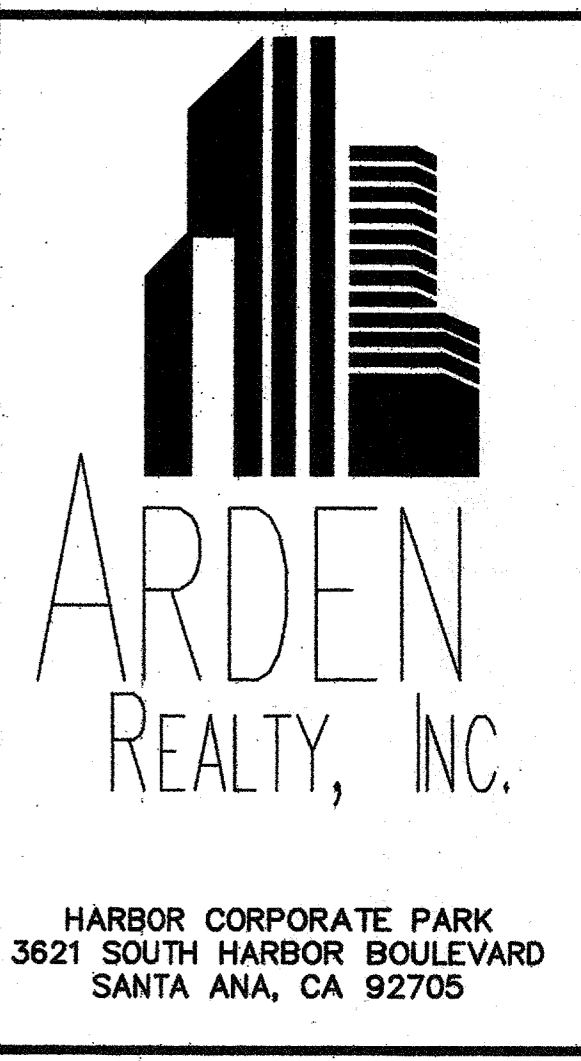
A-3 KEY NOTES:

- ON ALL CONSTRUCTION PROJECTS WITH LIGHTING SCOPE, THE LAND LORD REQUIRES THE ELECTRICAL SUBS RECEIVE THEIR MATERIALS FROM FSG ONLY. THE FSG CONTACT PERSON; JARED JOHNSON, DIVISION MANAGER, OFFICE: 800.265.0439 X 14233, CELL: 714.749.4361 JARED.JOHNSON@FSGI.COM
- (K1) EQUIPMENT BY THE TENANT. MECHANICAL ENGINEER TO DETERMINE IF EXISTING HVAC LOAD WILL BE SUFFICIENT FOR HEAT LOADS FOR THE EQUIPMENT LIST BELOW:
 - 2 X RICOH 907EX PRODUCTION COPIERS
 - 3 X STANDARD OFFICE COMPUTERS
 - 2 X HP LASERJET 4250 PRINTERS
 - 1 X PREFERRED PACKAGING PP-48ST SHRINK-WRAP MACHINE
 -SEE LAYOUT FOR EQUIPMENT-EXACT SIZES TO BE DETERMINED-FOR PLACEMENT ONLY
 -TENANT TO PROVIDE ALL EQUIPMENT AND FURNITURE THROUGHOUT SUITE
 - (K2) PROVIDE CONDUIT CONNECTION FROM TELE/DATA ROOM TO SUITE 225 (ABOVE) FOR TENANT DATA AND TELEPHONE CABLING BETWEEN THE TWO SUITES. CONDUIT SIZE TO BE DETERMINED PER TENANT'S CABLING NEEDS.
 - (K3) PROVIDE POWER AND TELE/DATA OUTLET CONNECTIONS AT CEILING OR ABOVE FOR COPIERS. EXACT CONNECTION AND PLACEMENT TO BE DETERMINED DURING CONSTRUCTION.
 - (K4) PONY-UP WITH SOUND INSULATED WALL AT BUILDING STANDARD DEMISING WALL, IF NOT ALREADY EXISTING.
 - (K5) PROVIDE OPEN OFFICE WITH INSULATION SOUND CONTROL.
 - SOUND BATT INSULATION IN EXISTING DEMISING WALL.
 - SOUND BOOTS IN AIR VENTS.
 - SOUND GASKET AROUND DOOR FRAME. (AT ENTRY DOORS)
 - SOUND SWEEPS ON DOORS. (AT ENTRY DOORS)

LEGEND:

- ⊖ DUPLEX WALL OUTLET
 - ⊖ SC DUPLEX WALL OUTLET - SEPARATE CIRCUIT
 - ⊖ QD QUADRAPLEX WALL OUTLET
 - ⊖ TD TELE/DATA WALL OUTLET 3/4" CONDUIT SEE SPEC. #3
 - ⊖ BB TELEPHONE BACKBOARD SEE SPEC. #1 & KEYNOTE K2
 - FE FIRE EXTINGUISHERS, PROVIDE AS NEEDED SEE SPEC. #2
 - ER EXISTING TO BE RELOCATED
 - R RELOCATED
 - D DEMOLISH
 - N NEW
- ALL ITEMS TO REMAIN UNLESS OTHERWISE NOTED

PROJECT



TENANT

TRAINING CONSULTANTS
SUITE 150

AGREED:
ACCEPTED THIS DAY OF _____, 2012
TENANT: _____
BY: _____
TITLE: _____
COMMENT: _____

THE DRAWING AND/OR THE ACCOMPANYING SPECIFICATIONS AS INSTRUMENTS OF SERVICE, AND THE EXCLUSIVE PROPERTY OF SPACES AND FOR USE AND WHICH THEY WERE PREPARED, REUSE, REPRODUCTION, OR PUBLICATION BY ANY SERVICE OR PERSON WITHOUT THE WRITTEN CONSENT OF SPACES. NO PART OF THIS DRAWING OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF SPACES. THIS DRAWING AND/OR SPECIFICATIONS SHALL BE VOID WITHOUT THESE RESTRICTIONS.

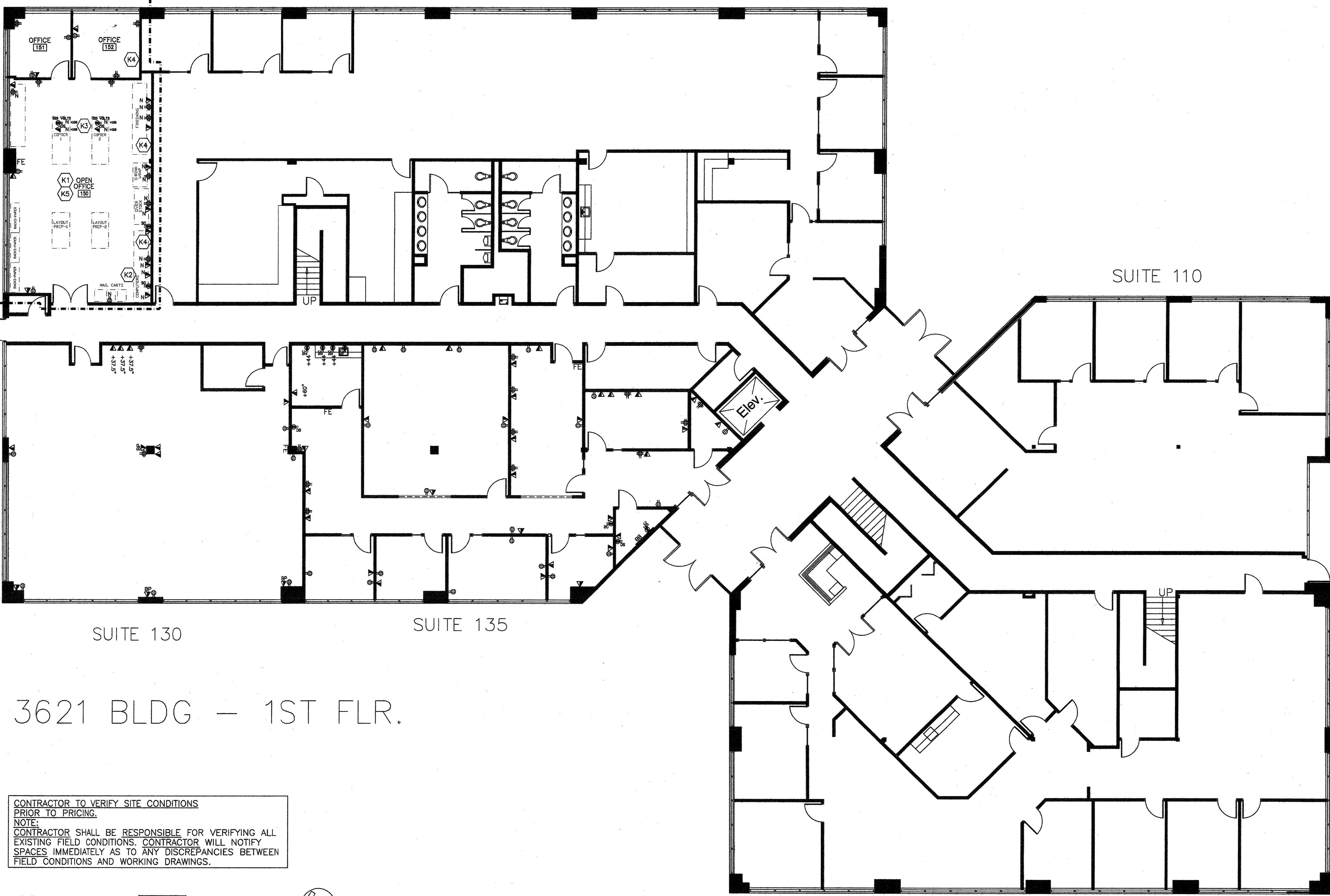
SPECIFICATIONS

1. TELEPHONE BACKBOARD: (EXISTING TO BE DEMOLISHED) 4' X 4' X 3/4" FIRE TREATED PLYWOOD TELEPHONE BACKBOARD. SAND AND PAINT TO MATCH WALL. PROVIDE ONE (1) 2" CONDUIT RUN TO BASE BUILDING TELEPHONE ROOM WITH ONE (1) SEPARATE CIRCUIT DUPLEX OUTLET. MOUNT AT FINISHED CEILING.
 2. FIRE EXTINGUISHER: (EXISTING/NEW) TO MATCH BUILDING STANDARD. PROVIDE AS NEEDED IF NOT EXISTING.
 3. TELEPHONE WALL OUTLETS: STANDARD GANG BOX WITH 3/4" CONDUIT TO TERMINATE 8" ABOVE CEILING LINE WITH PULLSTRING. INSTALL BOX VERTICALLY 17" A.F.F. TO CENTER LINE OF OUTLET. NEW TO MATCH EXISTING.
 4. DOUBLE SINK & FAUCET: (N/A) ALL COMPONENTS TO BE TITLE 24 COMPLIANT "JUST" BRAND:
 - SINK #DL-ADA-2133-A-GR DOUBLE ADA BOWL, 6 1/2" DEEP. DRAIN LOCATION AS REQUIRED, G.C. TO VERIFY.
 - FAUCET #F-1174-1S OR SIMILAR, WITH LEVER HANDLES.
 - DRAIN SYSTEMS: 2 QTY. #J-ADA-35 WITH OVERFLOW SYSTEM IF REQUIRED, AND DRAIN INSULATOR KITS #J-ADA-150 OR SIMILAR INSULATION IF/AS REQUIRED BY CODES. INCLUDE ALL NECESSARY PLUMBING AS NEEDED. MODIFY STANDARD CONSTRUCTION IF/AS NEEDED TO ALLOW FOR INSTALLATION OF GARBAGE DISPOSAL, IF SPECIFIED.
 5. GARBAGE DISPOSAL: (N/A) IN-SINK-ERATOR, MODEL: "EVOLUTION" SERIES. "EVOLUTION COMPACT". BLACK ENAMEL FINISH, 8" DIAMETER, 12-1/8" DEEP. SINGLE PHASE, 3/4 H.P., 120V, 60HZ, 8.1 AMPS. PROVIDE SEPARATE CIRCUIT OUTLET AND WALL SWITCH.
 6. INSTAHOT: (N/A) CHROMONITE INSTANTANEOUS HOT WATER HEATER, UNDER CABINET MOUNT, MODEL #SR-30, 8320W, 277 VOLTS, 30 BREAKER. INSTALL WITH 1/4" COPPER WATER LINE & PROVIDE SEPARATE CIRCUIT OUTLET AS NEEDED.
 7. PANEL FURNITURE: (N/A) TO BE PROVIDED BY TENANT. GC TO PROVIDE POWER AND TO HARDWIRE SYSTEM. TENANT TO PROVIDE "WHIPS". SEE A-3 FOR LOC.
 8. REFRIGERATOR W/ ICE MAKER: (N/A) TO BE PROVIDED BY G.C. AND G.C. TO PROVIDE COPPER WATER LINE.
 9. COFFEE MAKER: (N/A) BY TENANT. G.C. TO PROVIDE COPPER WATER LINE.
 10. DISHWASHER: (N/A) G.C. TO PROVIDE & INSTALL NEW ADA ASKO SELF HEATING: D5122GADA.
 11. MICROWAVE: (N/A) TENANT TO PROVIDE AND MILL WORK TO HAVE A BUILT-IN CUBBIE SIZE AND TYPE: TBD
- SEE KEYNOTE K1 & PLAN ON SHEET A-3 FOR SPECS AND TENTATIVE LOCATIONS OF OFFICE EQUIPMENT. G.C. TO VERIFY WITH TENANT.

SUITE 150

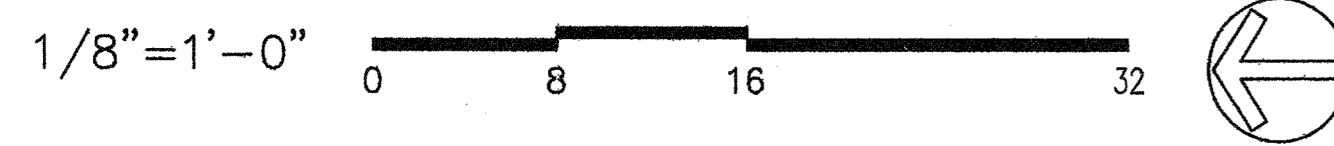
AREA OF PERMIT

SUITE 125



3621 BLDG - 1ST FLR.

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.
NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.



PLAN CHECK SUBMITTAL	01.23.12	
RELEASED FOR ENGINEERING	01.13.12	
NO.	DESCRIPTION	DATE

REVISIONS	
	DRAWN MS DATE 10.06.11 CHECKED RP PRINT DATE 01.20.12

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SPACES
P & D INC.
17780 FITCH, SUITE 150 / IRVINE, CA 92614
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SQUARE FOOTAGE
USABLE: 1,222 SF

FIRST FLOOR
TELEPHONE/ELECTRICAL PLAN

Sheet Title
Project Number 2778.17
Sheet Number A-3

DOOR SCHEDULE

NUMBER	ROOM NAME	DOORS		FRAMES		HARDWARE	LABEL	REMARKS				
		WIDTH	HEIGHT	THICKNESS	TYPE				MATERIAL	HEAD	JAMB	THRESH
150	OPEN OFFICE	3'-0" PAIR	8'-10"	1 3/4"	B	WD	18 A-5	13 A-5	ALUM.	2	20 MIN.	SOUND GASKET AROUND DOOR FRAME SOUND SWEEPS ON DOORS

- ALL OTHER DOORS ARE EXISTING TO REMAIN, U.O.N. RELOCATE OR REMOVE DOORS AS SHOWN ON PARTITION/DEMO PLANS ON A-1.
- SEE DOOR NOTES AND KEYNOTES ON SHEET A-1 FOR ADDITIONAL DOOR REQUIREMENTS, AND GENERAL DOOR NOTES BELOW.
- ALL NEW DOORS, FRAMES, WINDOWS, AND HARDWARE TO MATCH THE EXISTING BUILDING STANDARD, U.O.N. G.C. TO VERIFY SPECS AS NEEDED.

GENERAL DOOR NOTES

- RIGHT DOOR ACTIVE ON PAIRS OR DOORS UNLESS OTHERWISE NOTED.
- ALL HARDWARE IS LEVER TYPE, AND CONFORMS TO CALIFORNIA TITLE 24 HANDICAPPED REQUIREMENTS.
- PANIC HARDWARE SHALL BE OPERABLE BY: SINGLE EFFORT LEVER-TYPE DEVICE, PANIC BARS, OR PUSH-PULL ACTIVATING BARS (NOT REQUIRING GRASPING). PANIC HARDWARE TO BE MOUNTED AT 30"-44" A.F.F.
- ALL DOORS SHALL BE HANDICAPPED ACCESSIBLE. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS (FOR EXTERIOR & INTERIOR DOORS), SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS. CBC SECTION 11338.2.5. DOORS SHALL COMPLY WITH SECTION 1004 OF THE 2010 CBC.
- 1/2" MAXIMUM TOTAL THRESHOLD HEIGHT WITH 1/4" MAX. VERTICAL CHANGE AT EDGE. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE LEVELED WITH SLOPE NO GREATER THAN 1:2 RATIO.
- PUBLIC CORRIDORS SHALL BE OF ONE-HOUR CONSTRUCTION WITH DOOR OPENINGS PROTECTED WITH 20-MINUTE SELF-CLOSING AND LATCHING ASSEMBLIES, AND SMOKE SEALS.
- THE FLOOR OR LANDING ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL: 60" DEEP LEVEL AREA IN THE DIRECTION OF DOOR SWING. 48" DEEP LEVEL AREA WHEN DOOR SWINGS AWAY FROM APPROACH. 24" LEVEL AREA EXTENSION TO STRIKE SIDE OF EXTERIOR DOOR. 18" LEVEL AREA EXTENSION TO STRIKE SIDE OF INTERIOR DOORS.
- IN A3, B, F, M, & S OCCUPANCIES, KEY LOCKING HARDWARE MAY BE USED AT THE MAIN ENTRY DOORS, PROVIDED A SIGN IN CONTRASTING LETTERS OF ONE (1) INCH OR MORE IS PROVIDED AT THE DOORS STATING: THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS.
- ENTRY DOORS: A SINGLE OR DOUBLE DOOR SHALL BE EQUIPPED WITH A DOUBLE CYLINDER DEADBOLT. THE BOLT SHALL HAVE A MINIMUM PROJECTION OF ONE (1) INCH AND BE CONSTRUCTED SO AS TO REPEL CUTTING TOOL ATTACK. THE DEADBOLT SHALL HAVE AN EMBEDMENT OF AT LEAST 3/4 INCH INTO THE STRIKE RECEIVING THE PROJECTED BOLT. THE CYLINDER SHALL HAVE A CYLINDER GUARD, A MINIMUM OF FIVE PIN TUMBLERS, AND SHALL BE CONNECTED TO THE INNER PORTION OF THE LOCK BY CONNECTING SCREWS OF AT LEAST 1/4 INCH IN DIAMETER.
- DOORS/FRAMES/HARDWARE TO BE REPAIRED AS REQUIRED. CONTRACTOR TO CHECK BUILDING STOCK IF NEW DOORS ARE REQUIRED. PAINT EXPOSED PARTS TO MATCH DOOR FRAMES, U.O.N.
- DUE TO ENVIRONMENTAL HAZARDS NO DOORS ARE TO BE FINISHED ON SITE. EXISTING DOORS WITHOUT HARDWARE ARE TO HAVE NEW HARDWARE.
- ALL UNUSED DOORS AND FRAMES ARE TO BE REMOVED WITH CARE AND ARE TO REMAIN THE PROPERTY OF THE BUILDING OWNER, U.O.N. EXISTING DOORS AND FRAMES ARE TO BE RE-USED IN EITHER THIS SUITE OR ANOTHER SUITE.

DOOR HARDWARE

ITEM	QTY.	MODEL / SIZE	TYPE	FINISH	BRAND
SET #1 (FOR SINGLE 20-MIN ENTRY OR 45-MIN RATED STAIR DOORS)					
LOCKSET	4	NDS0 RHODES	ENTRANCE LOCK	626	SCHLAGE
HINGE	4	PB81 4.5x4.5		US260	PBB
CLOSER	1	8501		689	NORTON
WALL STOP	1	236W		US260	HAGER
THRESHOLD	1	236W		US260	HAGER
CYLINDER GUARD W/NON-REMOVABLE HINGE PINS	**	MIDDLE HINGE MOUNTED @ 60" - 90". NOTE: SMOKE SEALS INTEGRATED INTO DOOR FRAMES.			
SET #2 (FOR DOUBLE 20-MIN RATED ENTRY DOORS)					
LOCKSET	8	NDS0 RHODES	ENTRANCE LOCK	626	SCHLAGE
HINGE	8	PB81 4.5x4.5		US260	PBB
CLOSER	1	8501		689	NORTON
WALL STOP	2	236W		US260	HAGER
THRESHOLD	1	236W		US260	HAGER
COORDINATOR	-	-	-	-	-
ASTRAGAL	-	-	-	-	-
A.F.D. STRIKE	-	-	-	-	-
FULL LENGTH ASTRAGAL SECURED W/NON-REMOVABLE PINS	**	MIDDLE HINGE MOUNTED @ 60" - 90". NOTE: SMOKE SEALS INTEGRATED INTO DOOR FRAMES.			
SET #3 (FOR SINGLE NON-LOCKING INTERIOR DOORS)					
LATCHSET	1	ND10 RHODES	PASSAGE (LATCH)	626	SCHLAGE
HINGE	4	PB81 4.5x4.5		US260	PBB
WALL STOP	1	236W		US260	HAGER
SET #4 (FOR SINGLE LOCKING INTERIOR DOORS)					
LOCKSET	1	NDS0 RHODES	OFFICE LOCK	626	SCHLAGE
HINGE	4	PB81 4.5x4.5		US260	PBB
WALL STOP	1	236W		US260	HAGER
SET #5 (FOR SINGLE 20-MIN RATED ENTRY DOORS WITH CARD READER)					
LOCKSET	1	18453 OR SIM.	ELECTRIC LOCK	626	SCHLAGE
HINGE	3	PB81 4.5x4.5		US260	PBB
ELECT. HINGE	1	EL8981 4.5x4.5		US260	PBB
CLOSER	1	8501		689	NORTON
WALL STOP	1	236W		US260	HAGER
THRESHOLD	1	236W		US260	HAGER
SMOKESEAL	1	HSS2000		BLACK	PEMKO
CYLINDER GUARD W/NON-REMOVABLE HINGE PINS	**	MIDDLE HINGE MOUNTED @ 60" - 90". NOTE: SMOKE SEALS INTEGRATED INTO DOOR FRAMES.			
SET #6 (FOR SINGLE Herculite GLASS DOORS)					
VERTICAL FULL HARDWARE					MATCH EXISTING IN BUILDING, U.O.N.
PIVOT TOP HINGES					MATCH EXISTING IN BUILDING, U.O.N.
RECESSED BOTTOM HINGES					MATCH EXISTING IN BUILDING, U.O.N.
LOCK					PROVIDE IF REQ. / SPEC T.B.D.
* CONSTRUCTION/HARDWARE TO MATCH EXISTING IN CONF. ROOM OF SUITE 265.					

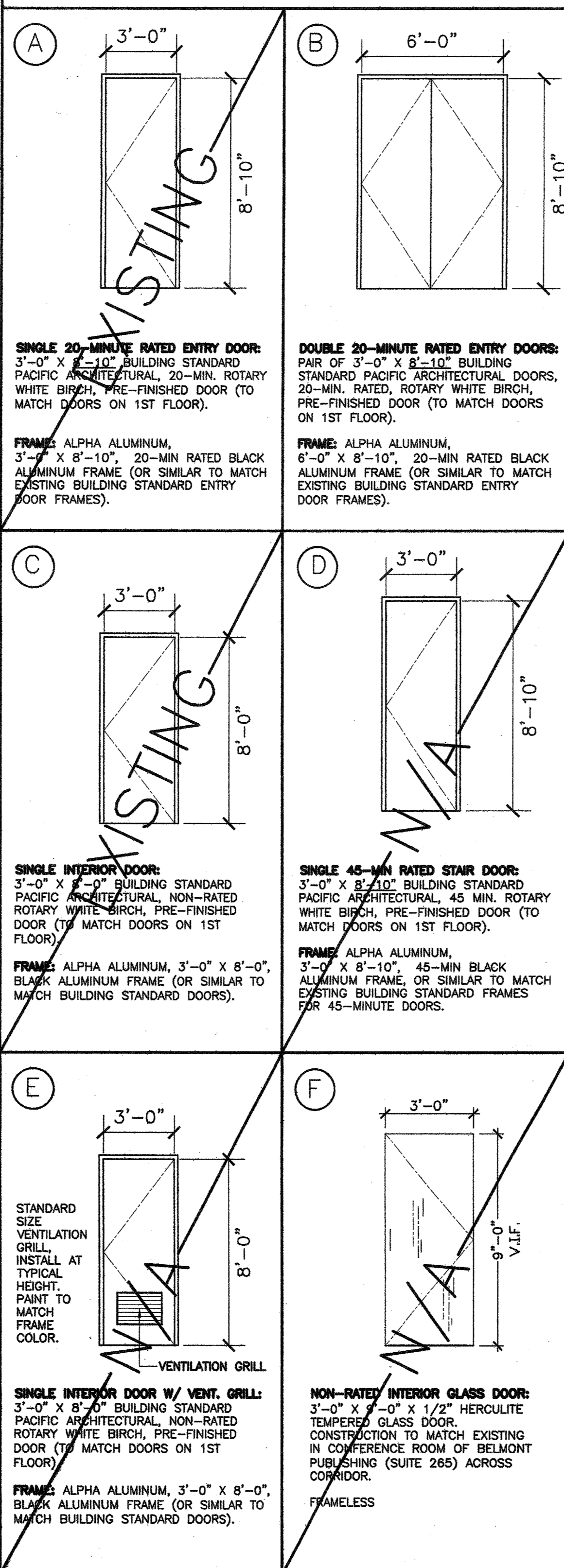
* ALL RATED DOORS (ALONG CORRIDOR, EXCEPT RESTROOM DOORS) TO HAVE MORTISE LOCK WITH 1" DEADBOLT, PER THE SANTA ANA POLICE DEPARTMENT.

ALL SUITE ENTRY DOORS THAT SWING INTO CORRIDOR TO HAVE NON-REMOVABLE HINGE PINS.

ALL EXITS SHALL BE OPEN-ABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. REFER TO CHAPTER 10, SECTION 1004.3 OF THE 2010 CBC FOR EXCEPTIONS. ALL DOORS SHALL COMPLY WITH 2010 CBC.

STAIR DOORS MAY HAVE PANIC BAR ON EGRESS SIDE.

DOOR TYPES



FINISH SCHEDULE

NUMBER	ROOM NAME	BASE	FLOOR	WALLS				CEILING		REMARKS
				NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT	
150	OPEN OFFICE	3	1 & 2	4	4	4	4	ACOUST. TILE	9'-0" VERIFY	SEE KEYNOTES ON A-1 FOR LOCATION OF VCT, EXACT DIMENSIONS T.B.D.
151	OFFICE	3	1	4	4	4	4	ACOUST. TILE	9'-0" VERIFY	
152	OFFICE	3	1	4	4	4	4	ACOUST. TILE	9'-0" VERIFY	

- PATCH AND REPAIR FINISHES TO MATCH EXISTING AS NEEDED AT CORRIDOR.
- SEE SHEET A-1 FOR ADDITIONAL FINISH NOTES/KEYNOTES.

FINISH SPECS

- FLOORING
- CARPET: BUILDING STANDARD DESIGNWEAVE "PDQ2, BREAK LOOSE FOLDER" COLOR: T.B.D. DIRECT GLUE DOWN INSTALLATION
 - VCT: BUILDING STANDARD ARMSTRONG, IMPERIAL TEXTURE 12" X 12" TILES. COLOR: T.B.D.
- BASE
- BASE: BUILDING STANDARD BURKE 4" CONTINUOUSLY ROLLED VINYL BASE, U.O.N. COLOR: T.B.D. PROFILE: T.B.D.
- PAINT
- PAINT: BUILDING STANDARD FRAZZE, EGGSHELL FINISH COLOR: T.B.D. COATS TO COVER
- PROVIDE TRANSITION STRIPS AS NEEDED BETWEEN CHANGES IN FLOORING MATERIALS

PROVIDE TRANSITION STRIPS AS NEEDED BETWEEN CHANGES IN FLOORING MATERIALS

FINISH NOTES

- SUBCONTRACTORS TO PROVIDE SPECIFICATIONS ON ALL EXISTING FINISHES TO GENERAL CONTRACTOR IN WRITING.
- ALL FINISHES SHALL COMPLY WITH CHAPTER 8, OF THE 2010 CBC. ALL FINISHES SHALL HAVE A MINIMUM CLASS III RATING WITH A FLAME SPREAD OF 75 TO 200 MAXIMUM.
- IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, THEN IT SHALL BE SECURELY ATTACHED; HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD; AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL-CUT PILE, OR LEVEL-CUT/UNCUT PILE TEXTURE. THE MAXIMUM PILE HEIGHT SHALL BE 1/2 INCH. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH THE REQUIREMENTS FOR CHANGES IN LEVEL. CBC SECTION 1124B.3.

PROJECT

ARDEN REALTY, INC.

HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS
SUITE 150

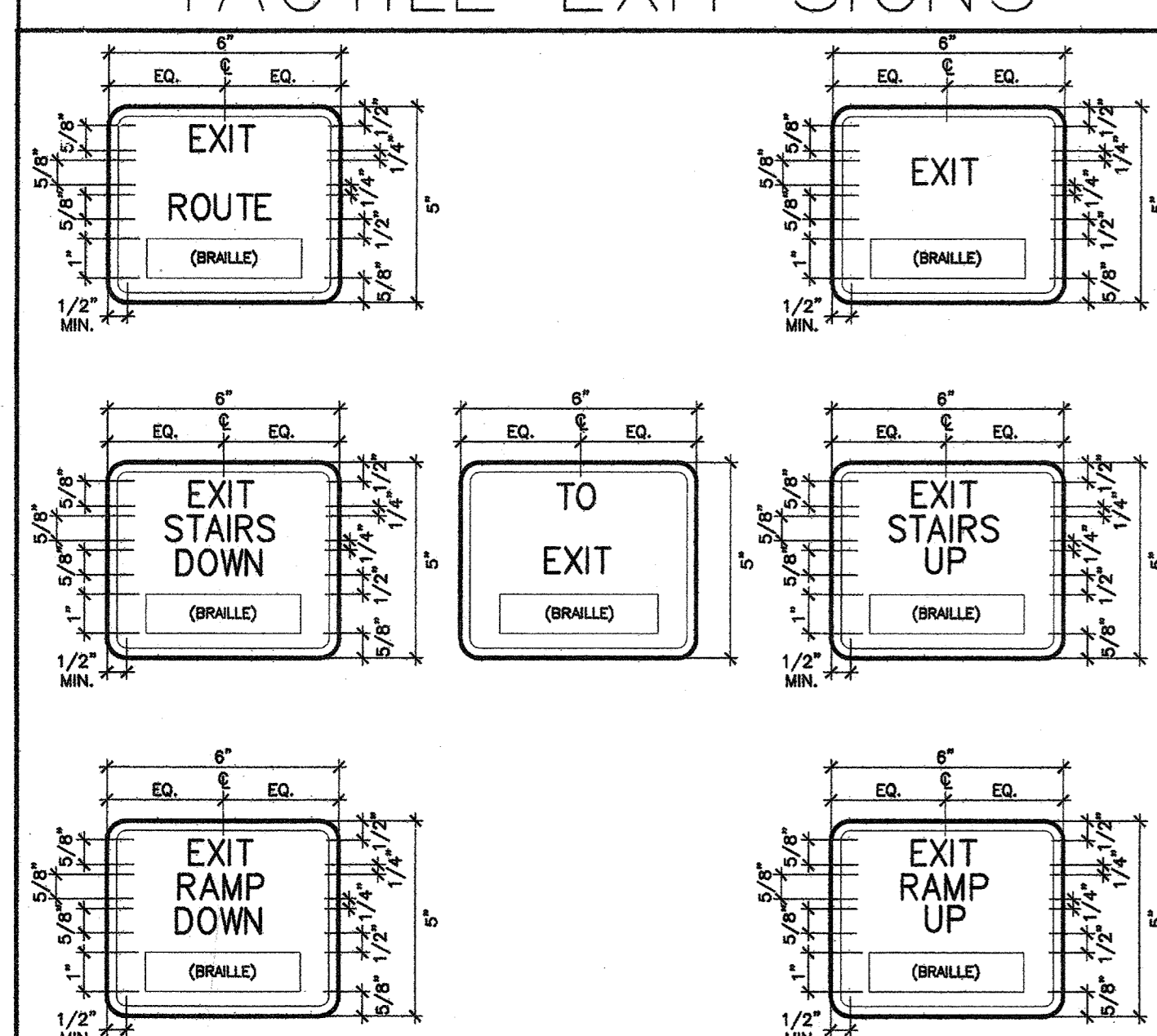
AGREED:
ACCEPTED THIS ___ DAY OF ____, 2012
TENANT: _____
BY: _____
TITLE: _____

COMMENT:
BY SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL CONFIDENCE IN THE QUALITY OF THE WORK AND PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO BE THE TENANT.

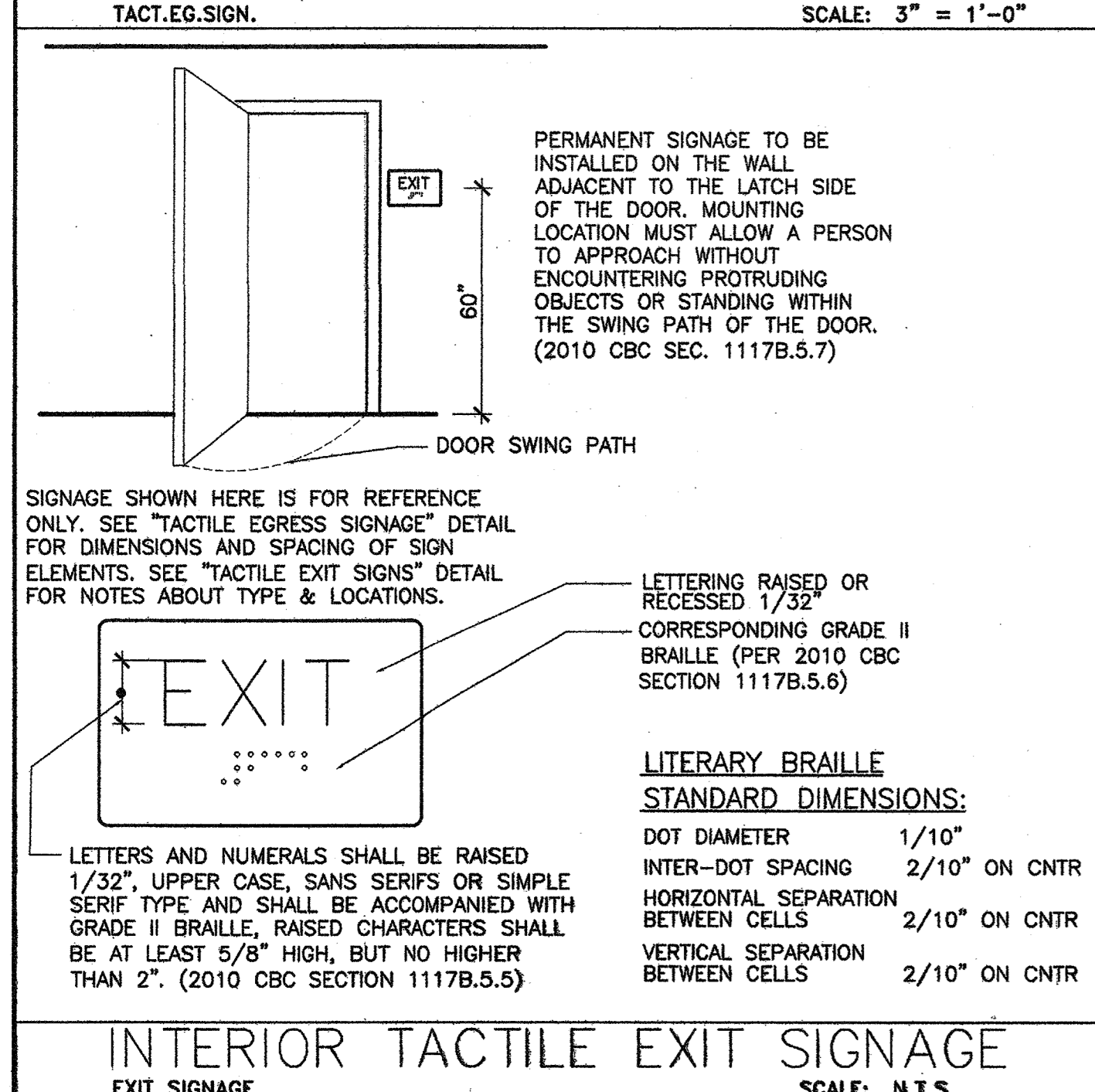
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1	PLAN CHECK SUBMITTAL	01.23.12
2	RELEASED FOR ENGINEERING	01.13.12

NO.	DESCRIPTION	DATE
1	45min Check completed	01-21-12
2	Door Hardware specs	01-21-12

TACTILE EXIT SIGNS



TACTILE EGRESS SIGNAGE



T.E. SIGN NOTES

- TACTILE EXIT SIGNS PER 2010 CBC SECTION 1117B.5.1 SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS, (PER SECTION 1011.3)
- A
- EACH GRADE-LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD, "EXIT."
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:
A. "EXIT STAIR DOWN"
B. "EXIT RAMP DOWN"
C. "EXIT STAIR UP"
D. "EXIT RAMP UP"
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE THAT DOES NOT UTILIZE A STAIR OR RAMP, OR BY MEANS OF AN EXIT PASSAGEWAY, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
 - EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
 - EACH EXIT DOOR THROUGH A HORIZONTAL EXIT SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "TO EXIT."
 - SEE OTHER DETAILS ON THIS SHEET FOR SIGNAGE DETAILS AND LOCATIONS.

MILLWORK NOTES

- MILLWORK CONSTRUCTION:**
- ALL DOORS AND DRAWER FRONTS AND ALL EXPOSED EDGES TO BE LAMINATE CLAD 3/4" HIGH DENSITY PARTICLE CORE. INTERIOR AND SHELVES OF ALL CABINETS TO BE WHITE MELAMINE. WOOD BLOCKING IN WALL TO BE PROVIDED BY THE GENERAL CONTRACTOR.
- MILLWORK HARDWARE:**
- HINGES: BLUM 125 DEGREE, SELF CLOSING
PULLS: STAINLEY #4484, US26
STANDARDS: KY255, BRIGHT NICKLE
SINK & FAUCET: SEE SPEC ON SHEET A-1
DRAWER GLIDES: ACCURIDE 2", FULL EXTENSION
- SHOP DRAWINGS MUST BE SUBMITTED TO SPACES PRIOR TO FABRICATION.
- PROVIDE GROMMET HOLES ABOVE ALL ELECTRICAL/TELE. OUTLETS AT ALL COUNTERTOPS AS REQUIRED.

INTERIOR PLANNING & DESIGN

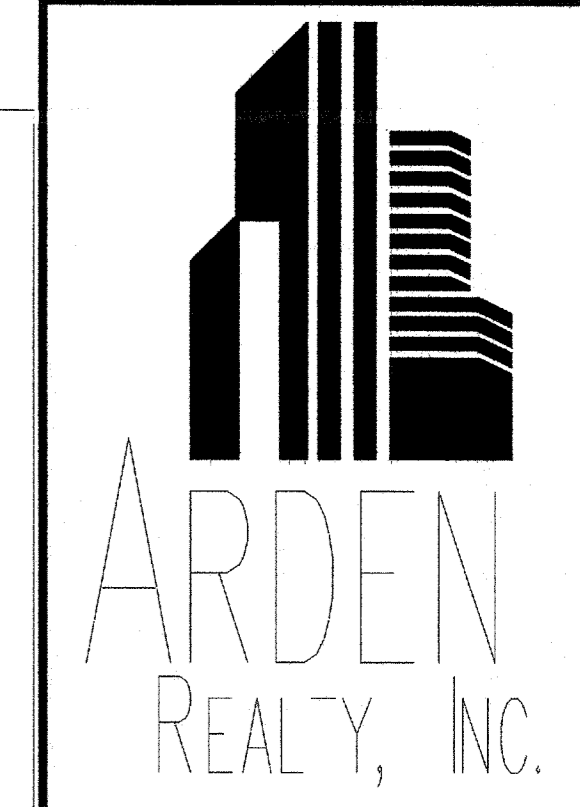
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SQUARE FOOTAGE
USABLE: 1,222 SF

FIRST FLOOR
DOOR & FINISH SCHEDULE

Sheet Title
Project Number 2778.17
Sheet Number A-4

JAN 23 2012



HARBOR CORPORATE PARK
3821 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TRAINING CONSULTANTS

SUITE 150

AGREED: _____ DAY OF _____ 2012

TENANT: _____

BY: _____

TITLE: _____

COMMENT: _____

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO SIGN ON BEHALF OF MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THE DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO THE TENANT.

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NO.	DESCRIPTION	DATE
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2	PLAN CHECK SUBMITTAL	01.23.12
3	RELEASED FOR ENGINEERING	01.13.12
NO.	DESCRIPTION	DATE

NO. <th>DESCRIPTION</th> <th>DATE</th>	DESCRIPTION	DATE
1	REVISIONS	

CCIDC	MS	DATE	10.06.11
	CHECKED	RP	
	PRINT DATE	01.20.12	

INTERIOR DESIGN & PLANNING
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USABLE: 1,222 SF

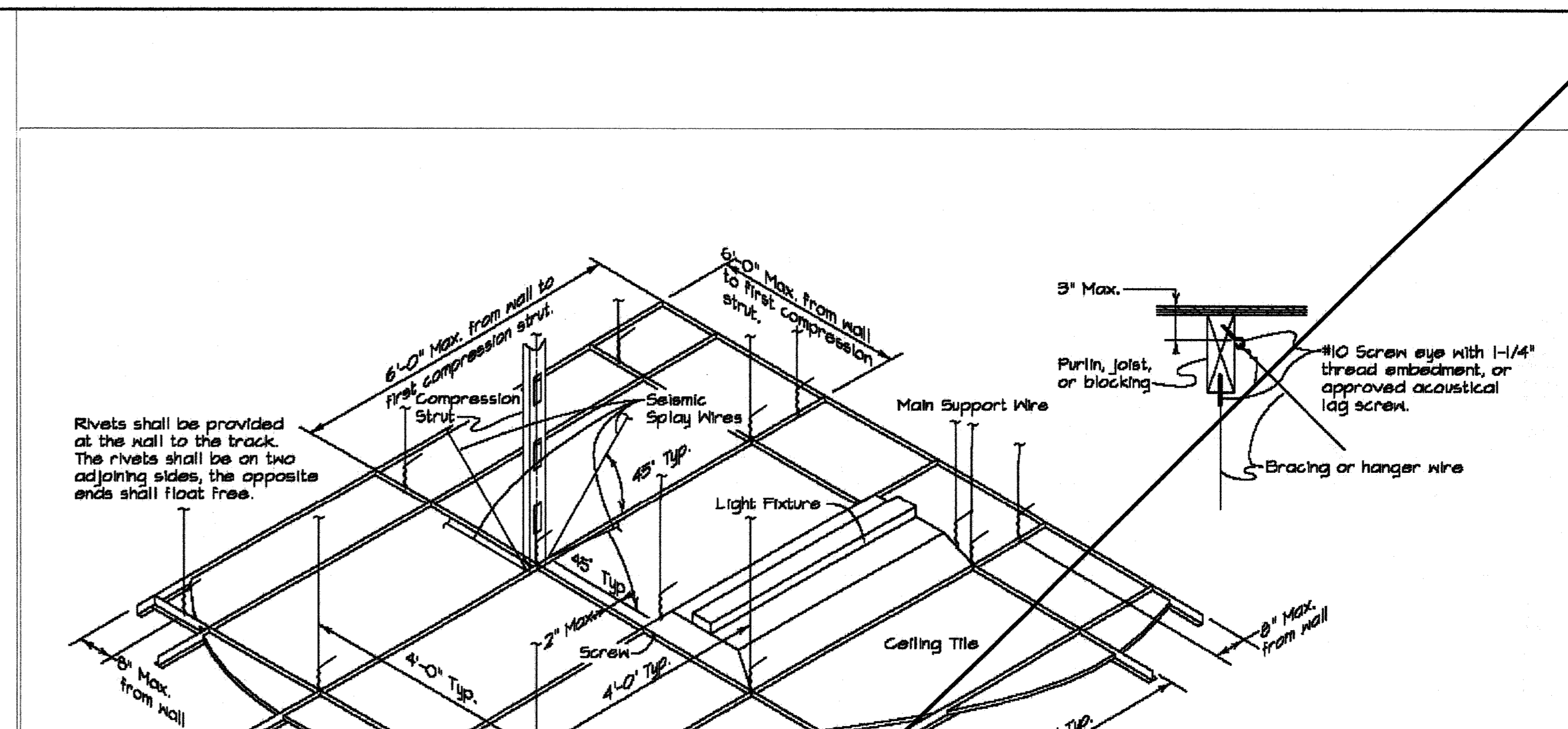
FIRST FLOOR

DETAIL SHEET

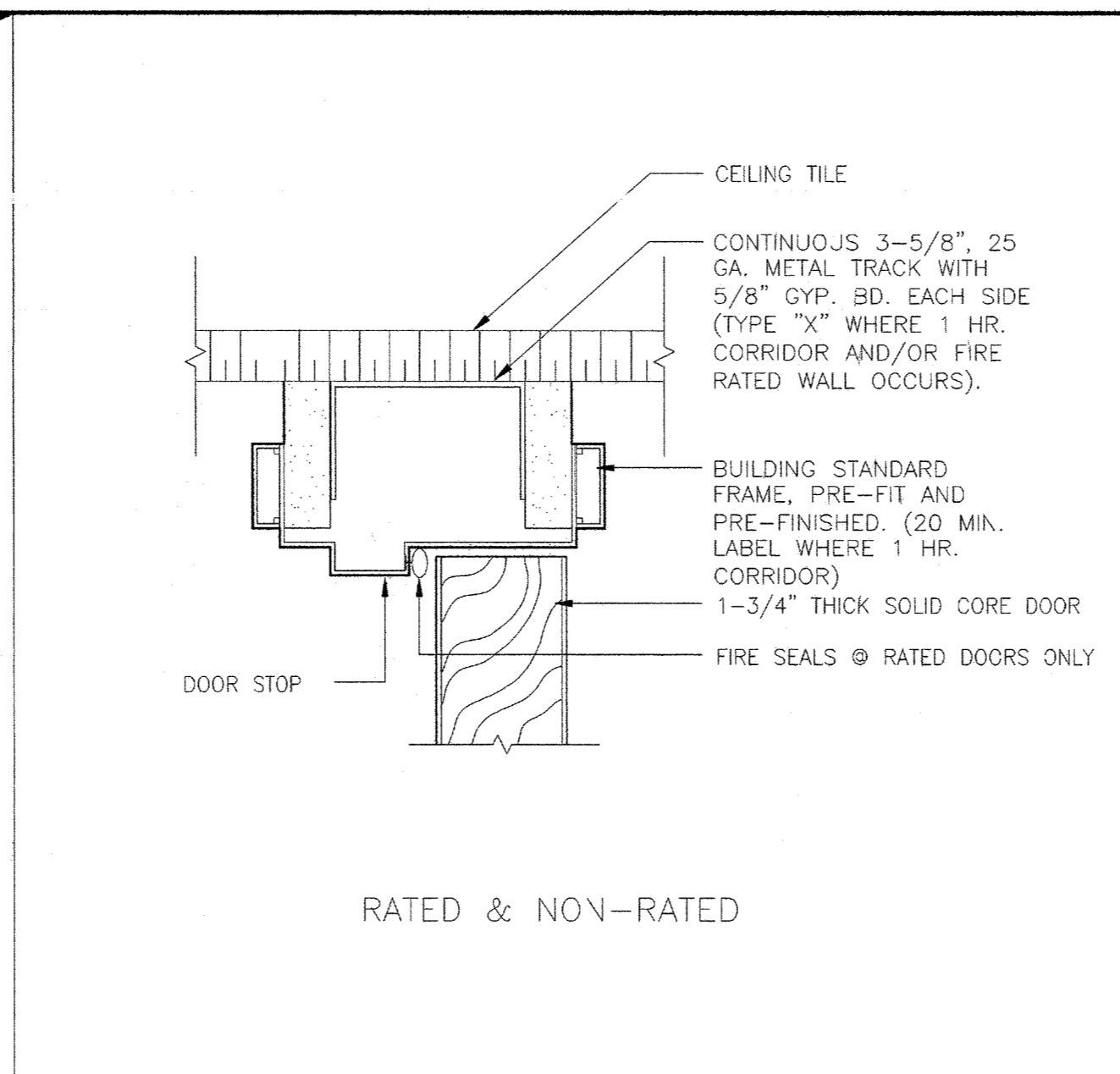
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Project Number 2778.17

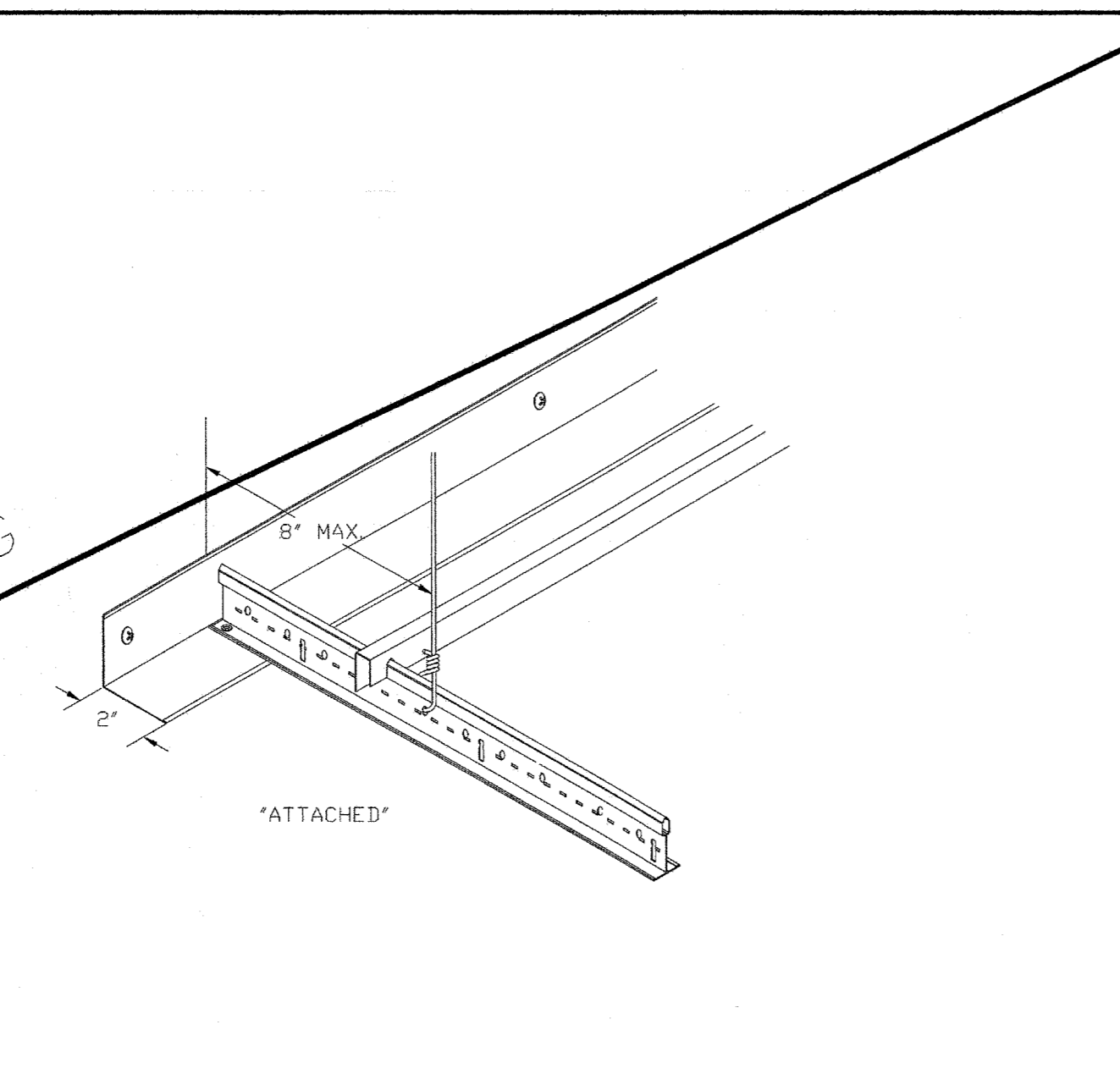
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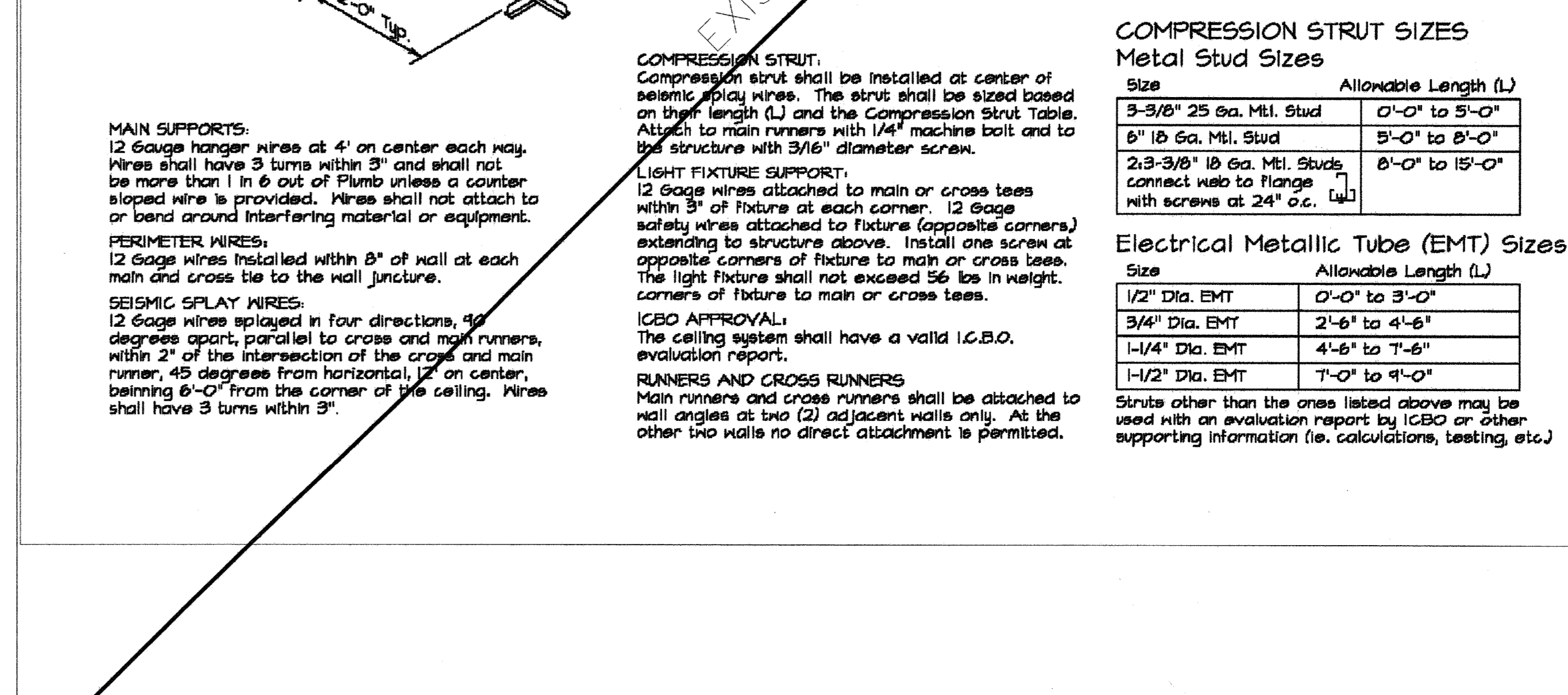
2 FULL HEIGHT DEMISING WALL
FH DEM WALL
SCALE: 1/2" = 1'-0"



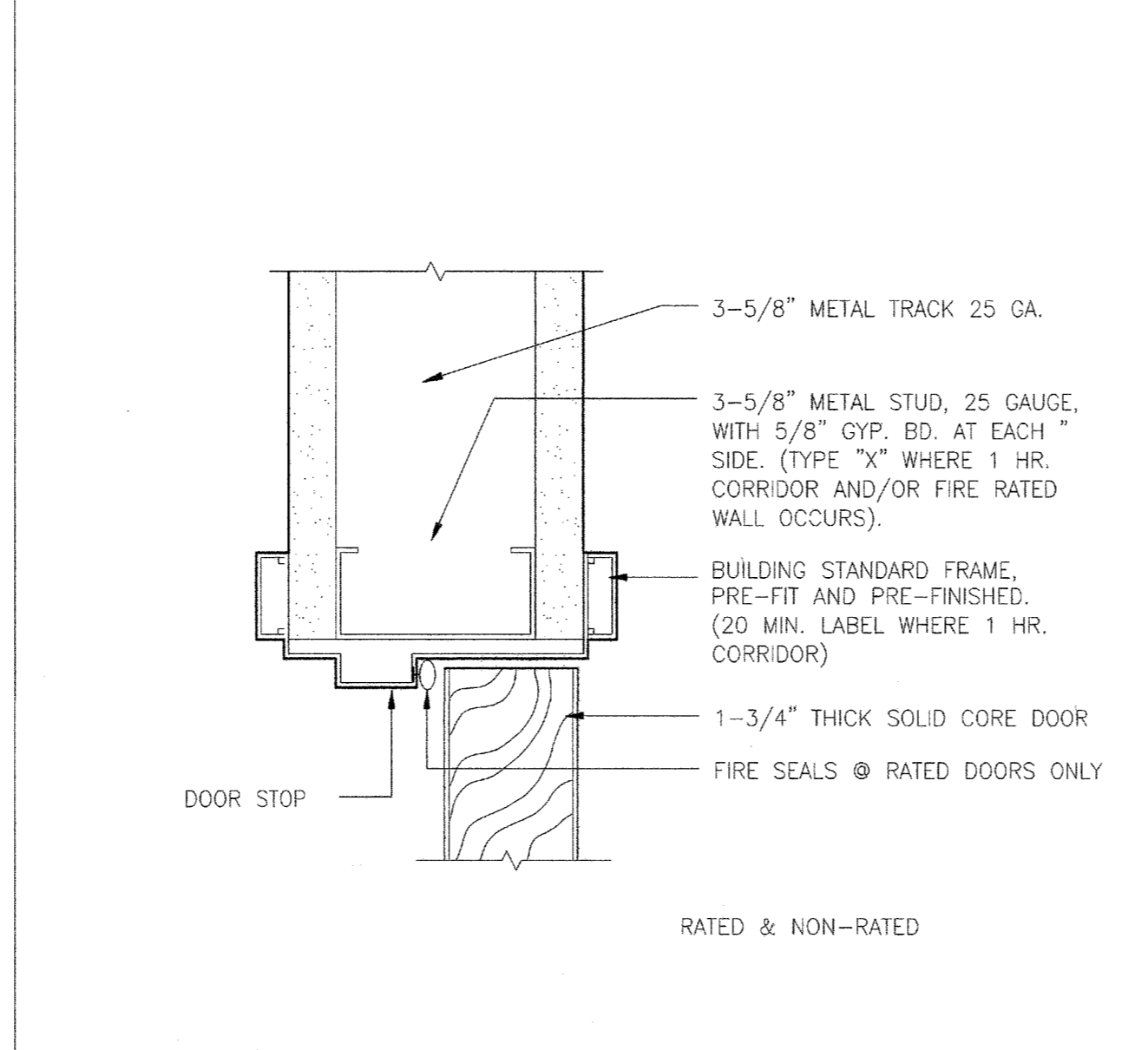
18 INTERIOR DOOR HEAD DETAIL
D015
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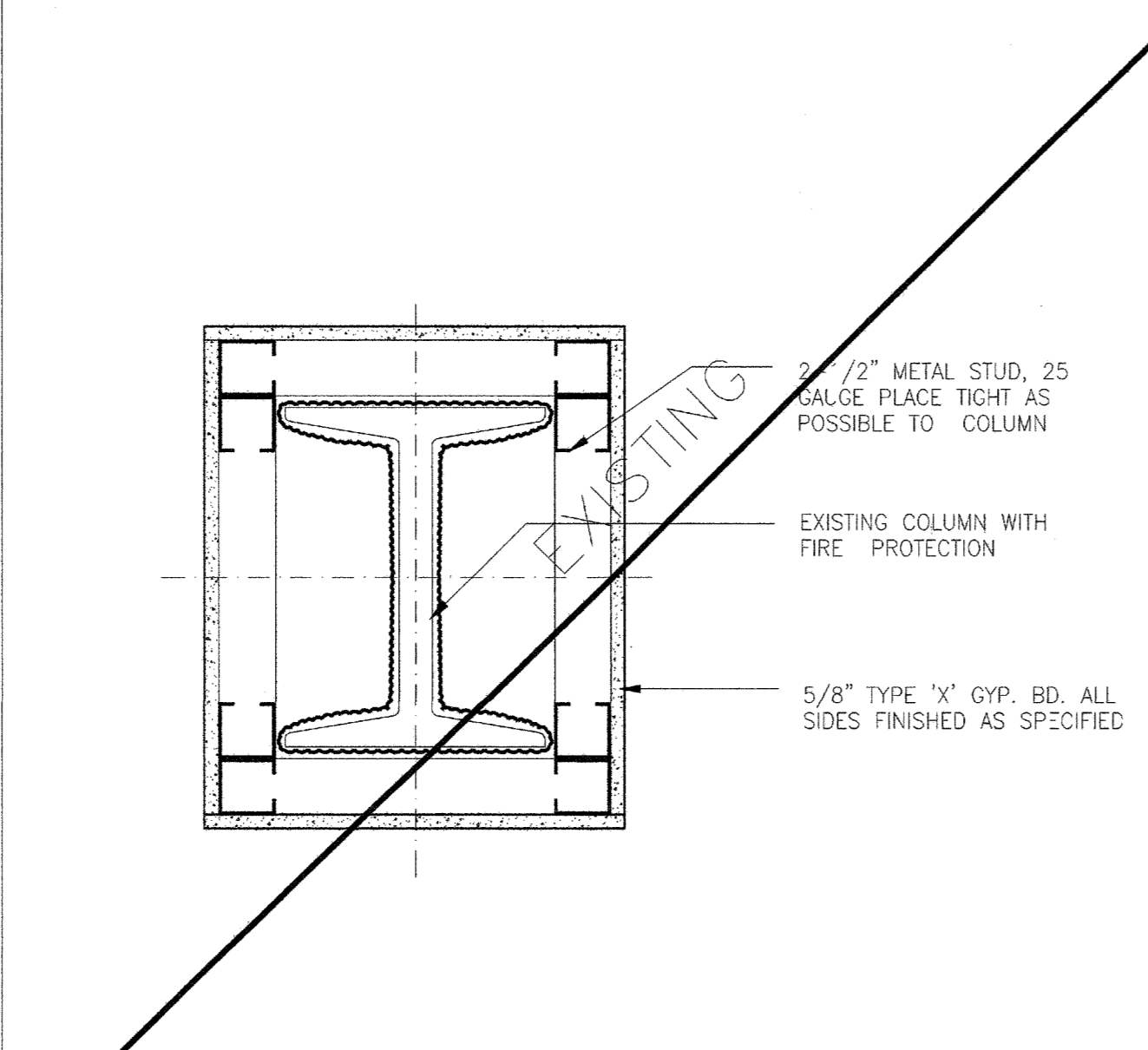
19 CLOSURE ANGLE
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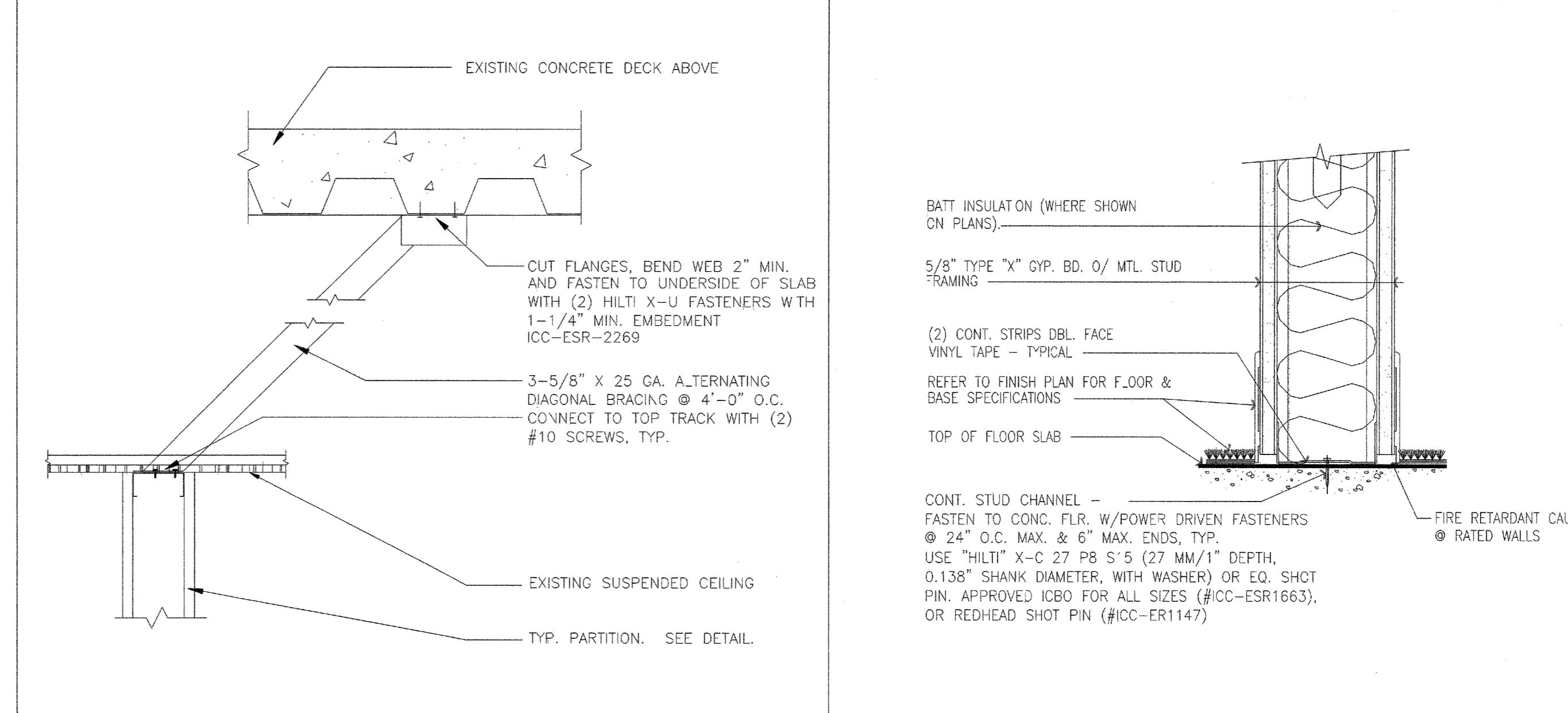
12 DOOR JAMB DETAIL
D017
SCALE: 6" = 1'-0"



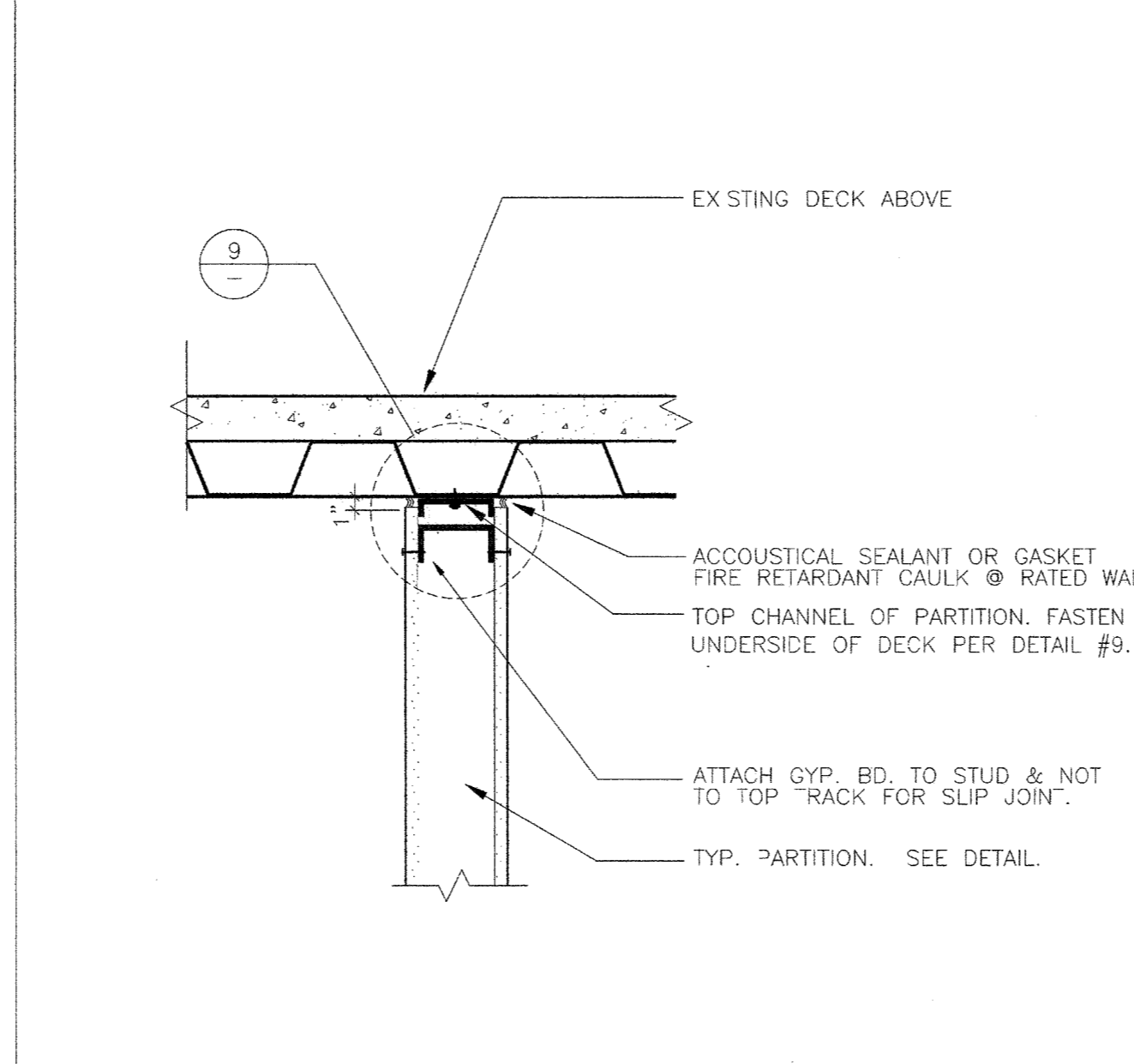
14 COLUMN FURRING TYPICAL
COLM/FUR/TYP
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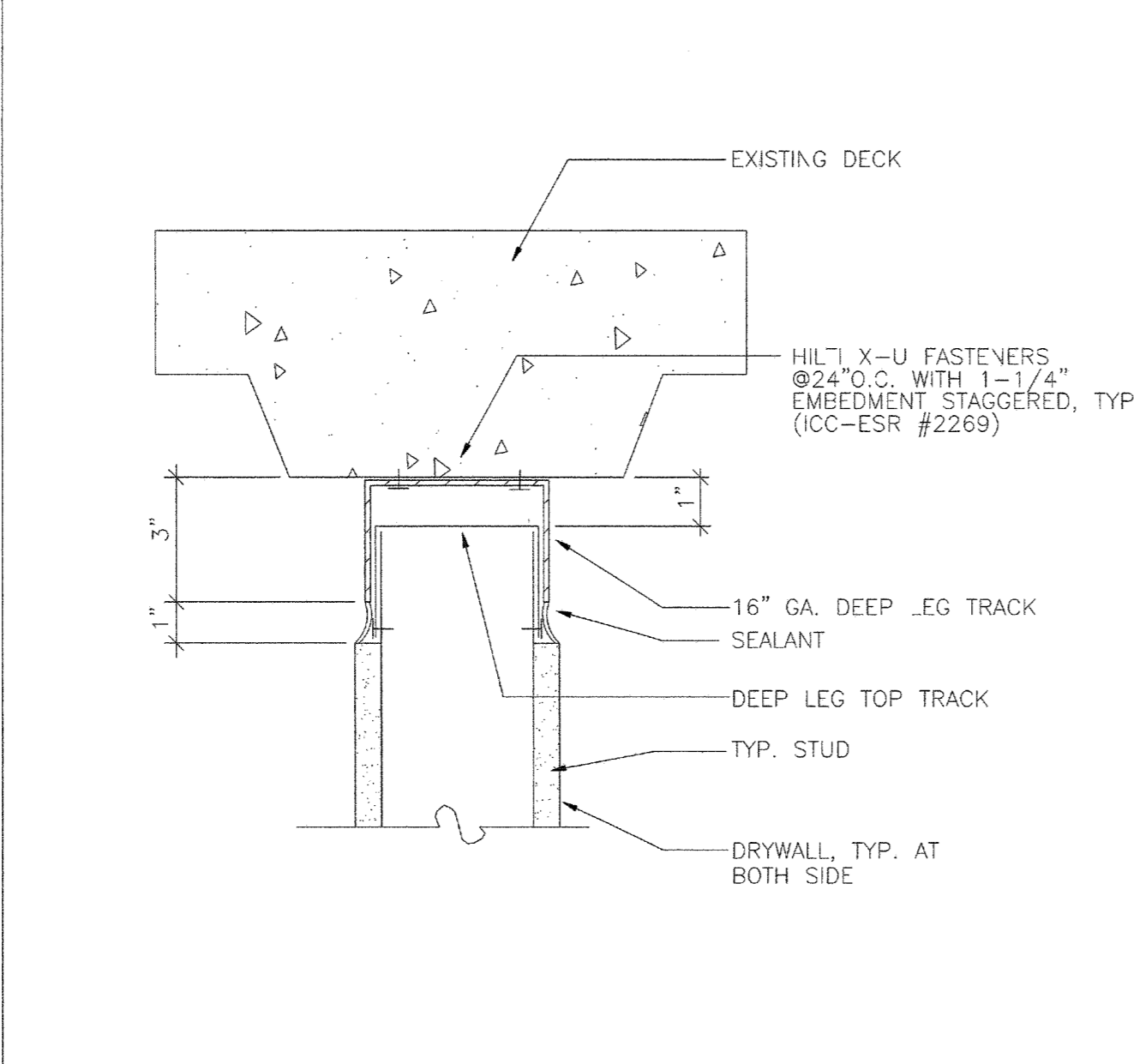
20 SUSPENDED CEILING DIAGRAM
110ETHS
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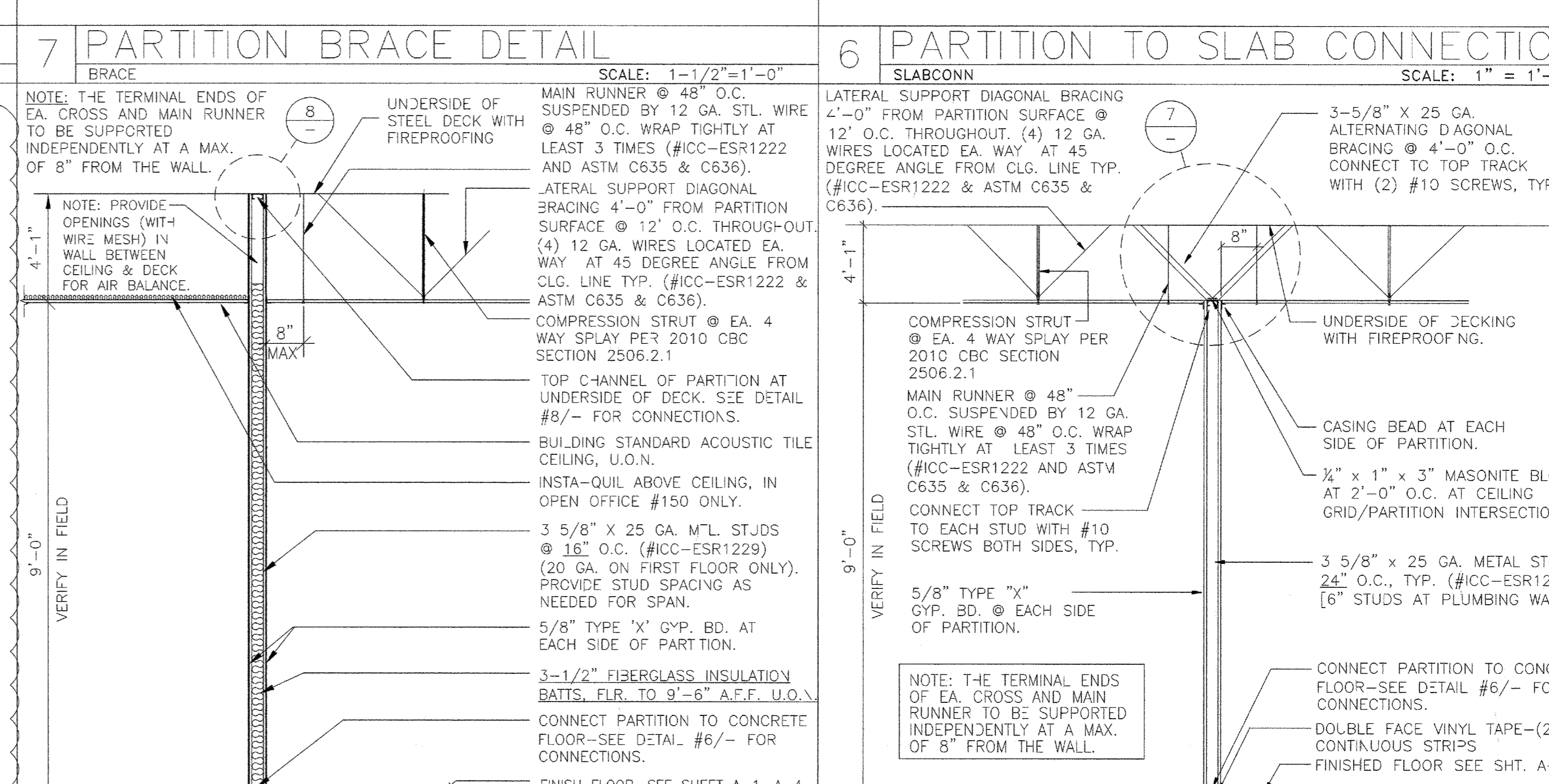
7 PARTITION BRACE DETAIL
BRACE
SCALE: 1-1/2" = 1'-0"



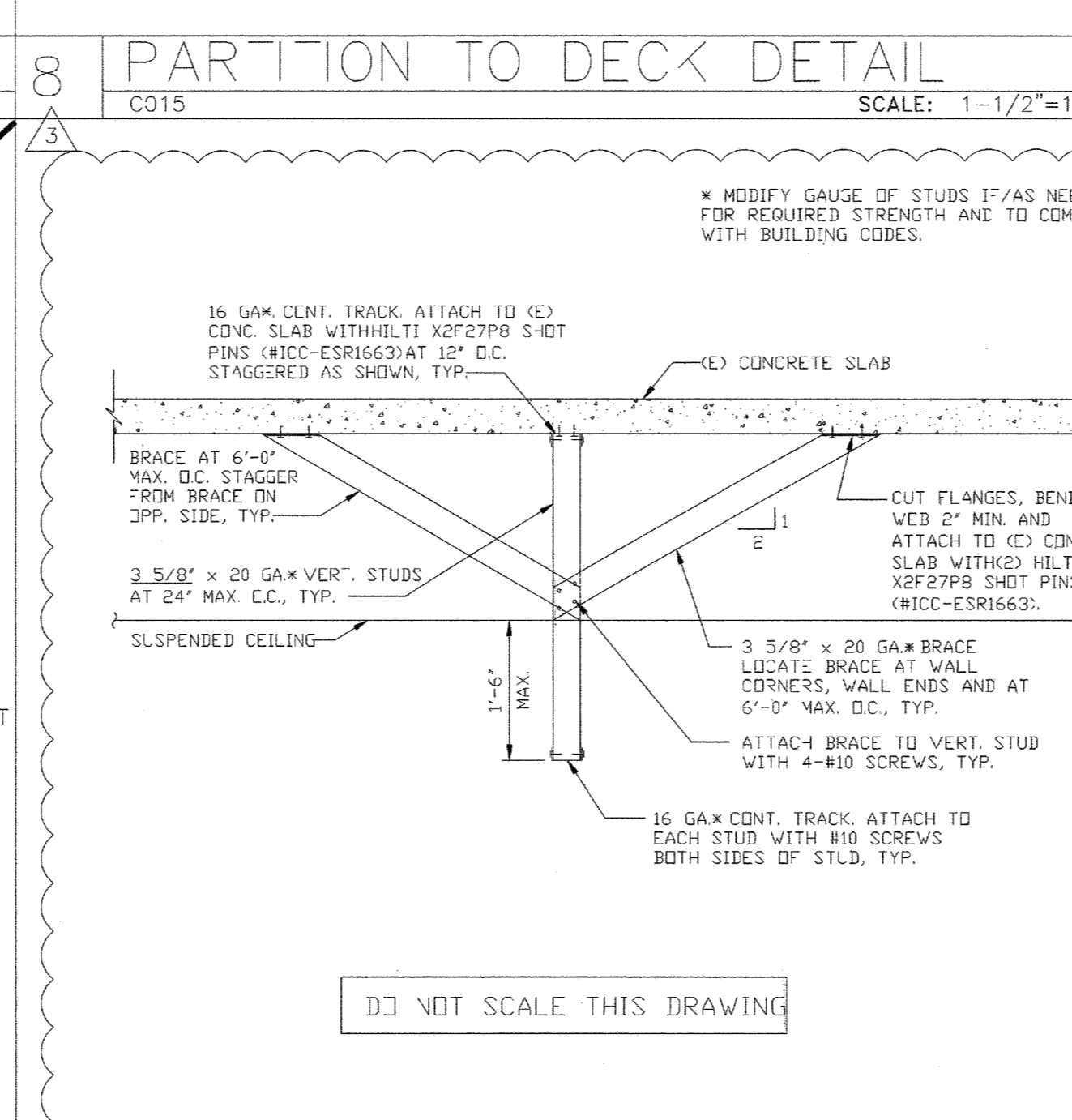
13 DOOR JAMB DETAIL
D017
SCALE: 6" = 1'-0"



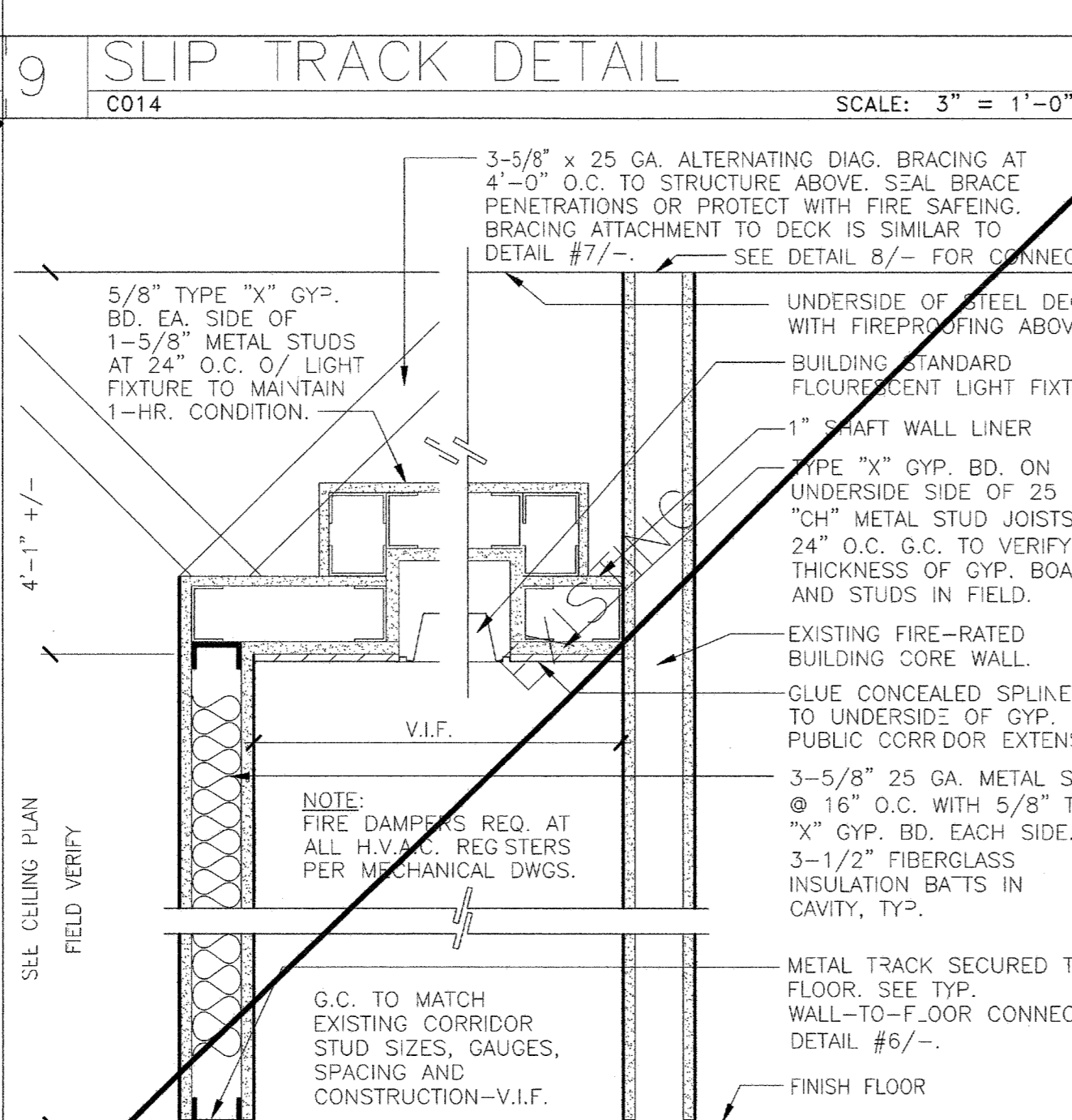
9 SLIP TRACK DETAIL
C014
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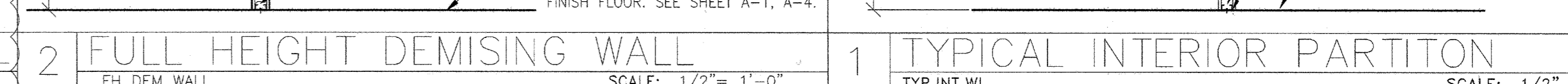
6 PARTITION TO SLAB CONNECTION
SLAB/CONN
SCALE: 1" = 1'-0"



8 PARTITION TO DECK DETAIL
C015
SCALE: 1-1/2" = 1'-0"



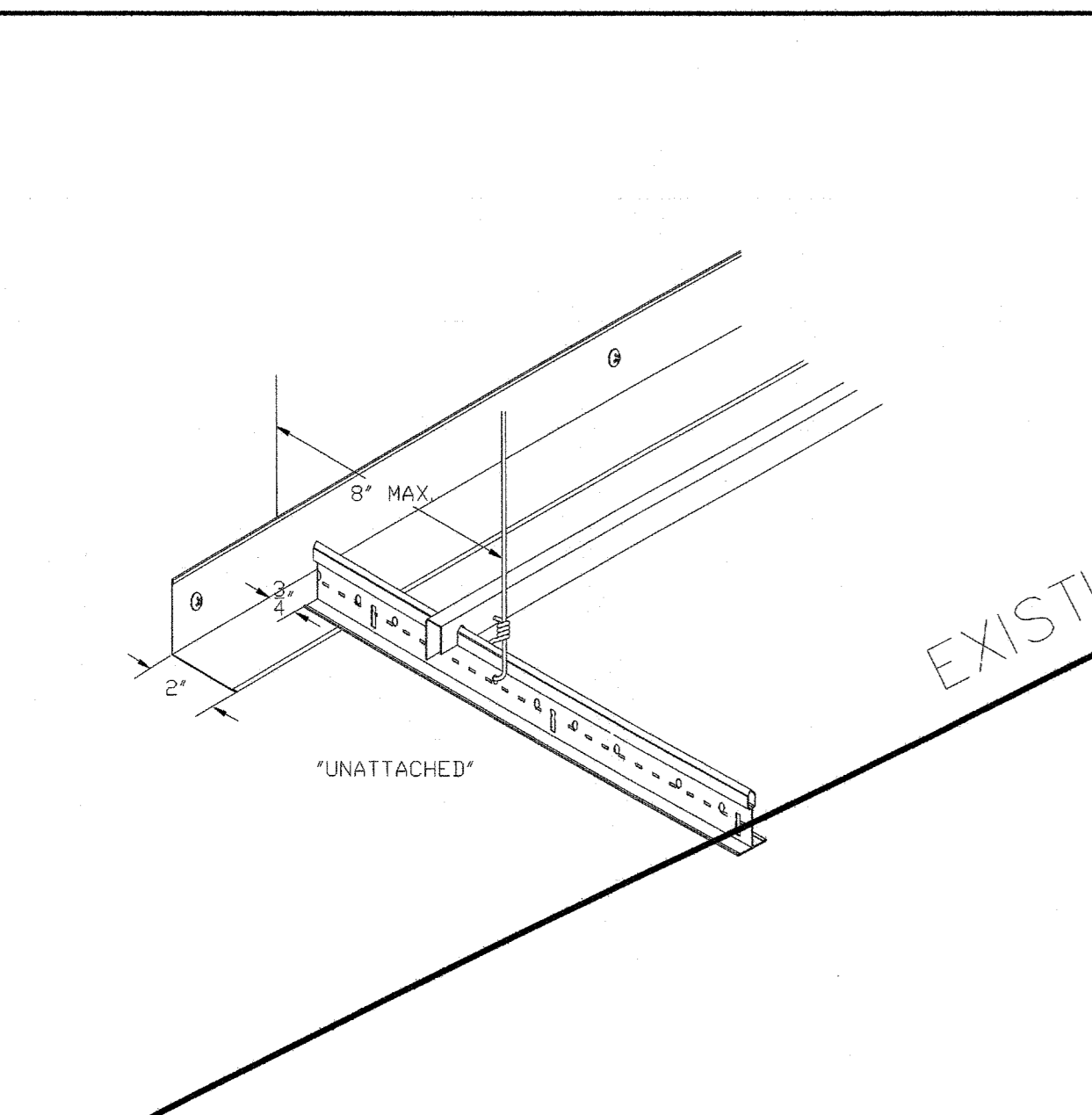
4 ONE HOUR RATED WALL
1HR RTD WL
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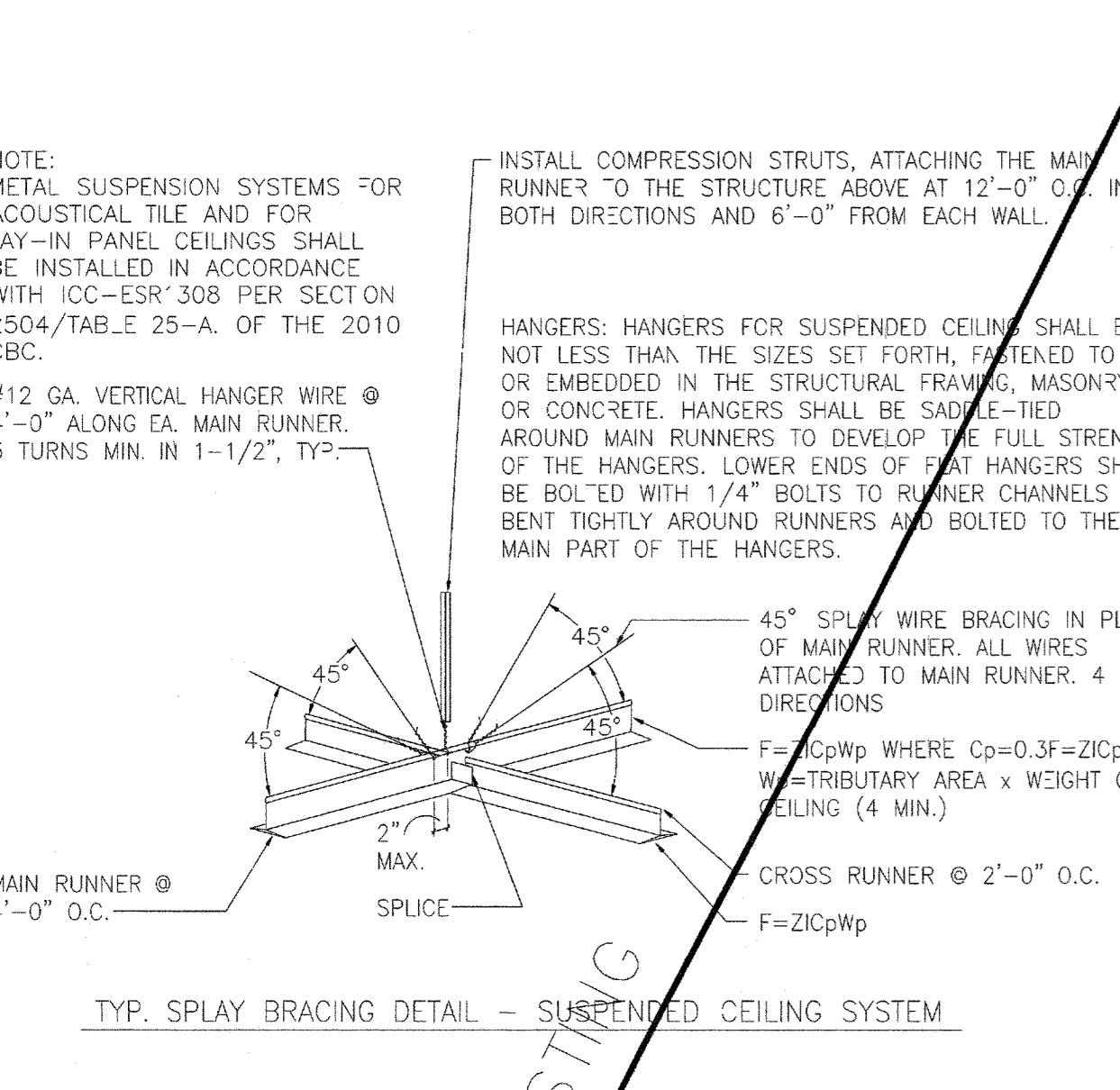
1 TYPICAL INTERIOR PARTITION
TYP INT WL
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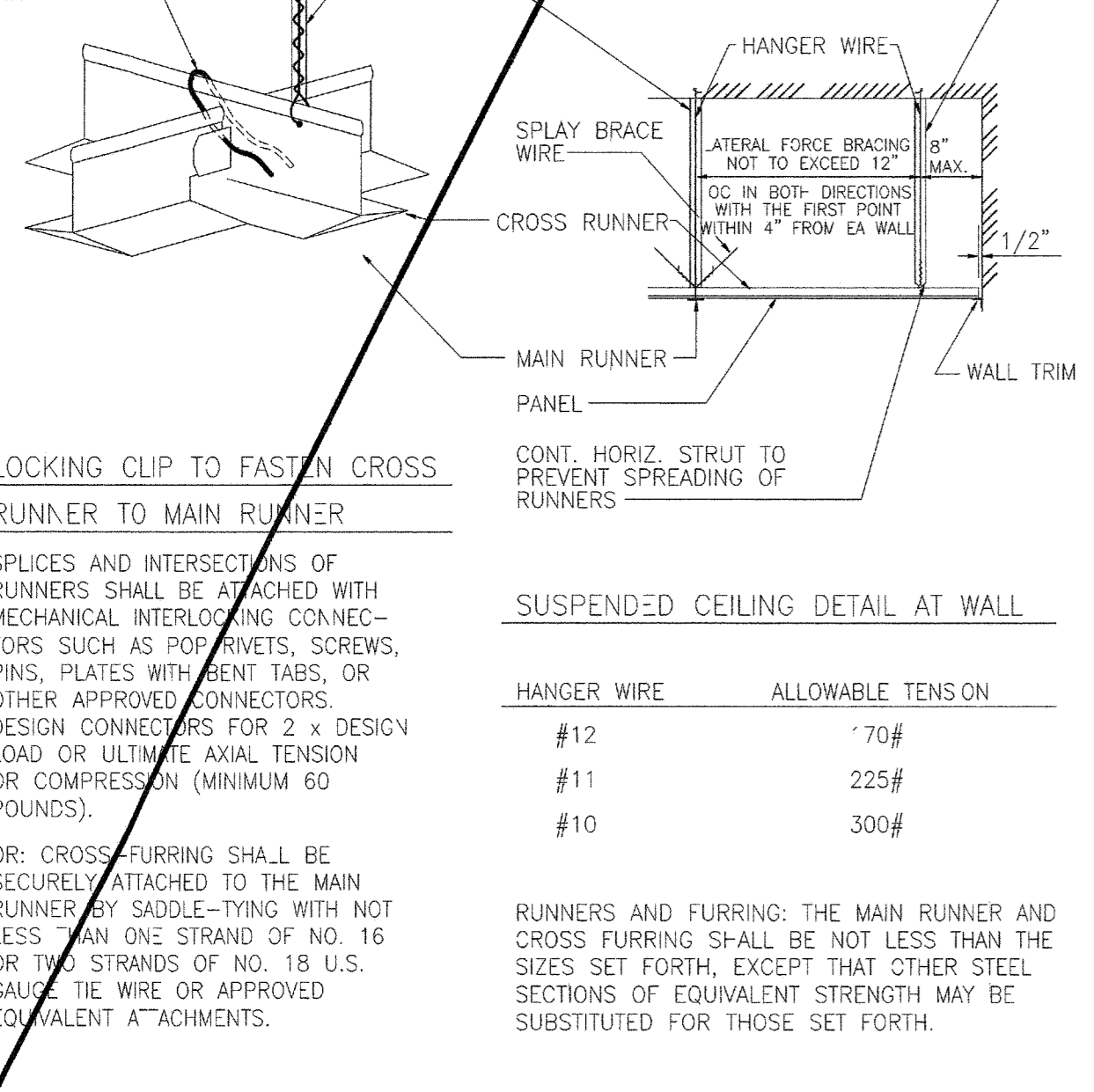
5 PARTITION @ MULLION
PARTITION/MULL
SCALE: 1-1/2" = 1'-0"



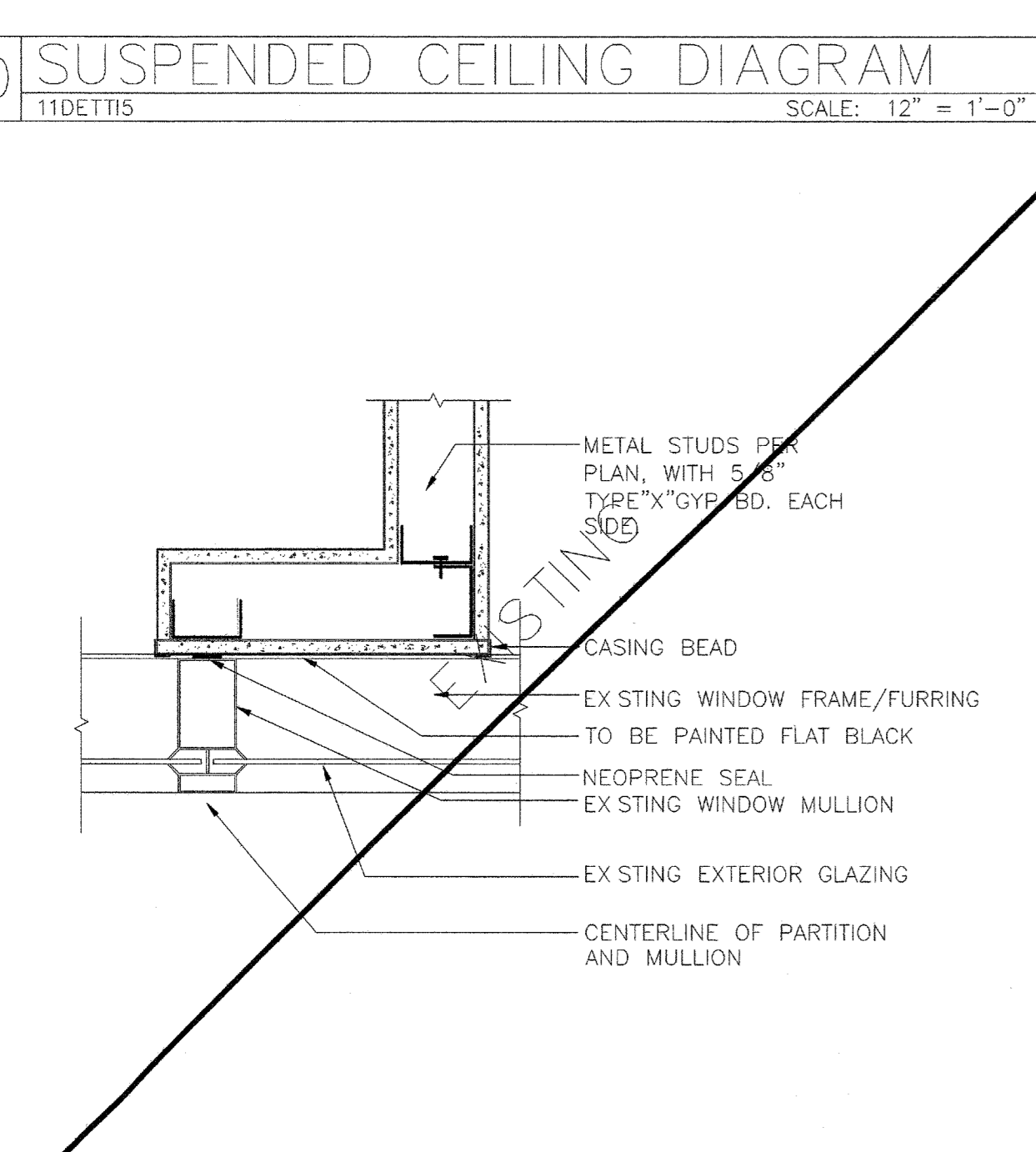
20 CLOSURE ANGLE
SCALE: 3" = 1'-0"



20 SUSPENDED CEILING SYSTEM
SCALE: 1/2" = 1'-0"



20 SUSPENDED CEILING SYSTEM
SCALE: 1/2" = 1'-0"



5 PARTITION @ MULLION
PARTITION/MULL
SCALE: 1-1/2" = 1'-0"



5 PARTITION @ MULLION
PARTITION/MULL
SCALE: 1-1/2" = 1'-0"