



CONSULTING ENGINEERS, INC.

22952 Mill Creek Drive, Suite B
Laguna Hills, CA 92653

Phone: (949) 597-2147, Fax: (949) 597-2148, Email: dta@dtace.com

STRUCTURAL CALCULATIONS FOR
GLASS WALL
3621 HARBOR BOULEVARD, SUITE 225
SANTA ANA, CA

February 14, 2012



Client: Arden Realty, Inc.
11601 Wilshire Boulevard, 4th floor
Los Angeles, CA 90025
Tel: (310) 966-2600

(1) CALCULATE GLASS THICKNESS & DEFLECTION :-

GLASS HEIGHT = 9'-0"

LATERAL LOAD ON GLASS = 5 psf UNIFORM LOAD

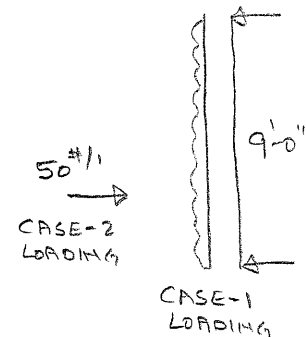
(OR) 50 #/1' @ 4'-2" ABOVE FINISH FLOOR SEC. 2403.4

GLASS SUPPORTED ON TWO SIDES (TOP & BOTTOM)

TRY 1/2" GLASS

PER ATTACHED CHART FROM ASTM E-1300

1/2" GLASS CAN SPAN UPTO 12'-0" UNDER SPsf LOAD



CALCULATE DEFLECTION

CASE -1 5 psf UNIFORM LOAD

$$\text{LOAD} \times L^4 = \frac{5 \text{ psf} \times 9^4}{1000} = 32.8$$

PER ATTACHED CHART 1/2" GLASS DEFLECTS $\leq 0.6 \leq \frac{l}{180} < \frac{3}{4} \neq \frac{l}{175}$

FOR 1/2" GLASS

FOR 5/8" GLASS OK

CASE -2 50 #/1' @ 4'-2" ABOVE FINISH FLOOR

$$\frac{5 W l^4}{384 EI} = 0.6 \Rightarrow EI = 1230188$$

$$1/2" \text{ GLASS} = \delta_{42} = \frac{50 \times 42^2 \times 66^2}{3 \times 1230188 \times 10^8} = 0.96" > 0.5" \text{ N.G.}$$

$$5/8" \text{ GLASS} = \delta_{42} = \frac{50 \times 42^2 \times 66^2}{3 \times 2460375 \times 10^8} = 0.48" < 0.625" \text{ OK}$$

USE 5/8" GLASS

E 1300 - 04^{ε1}

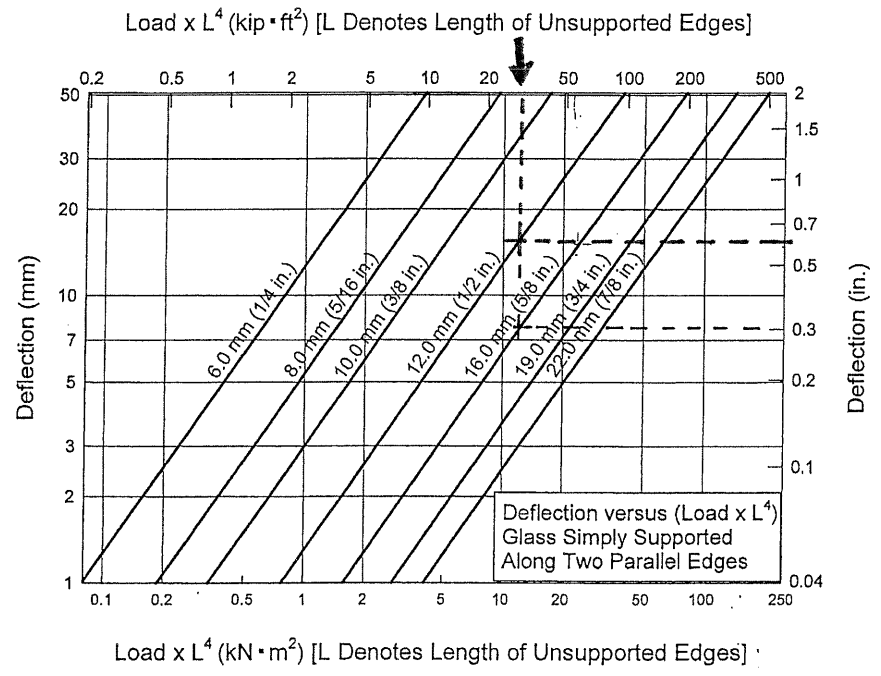
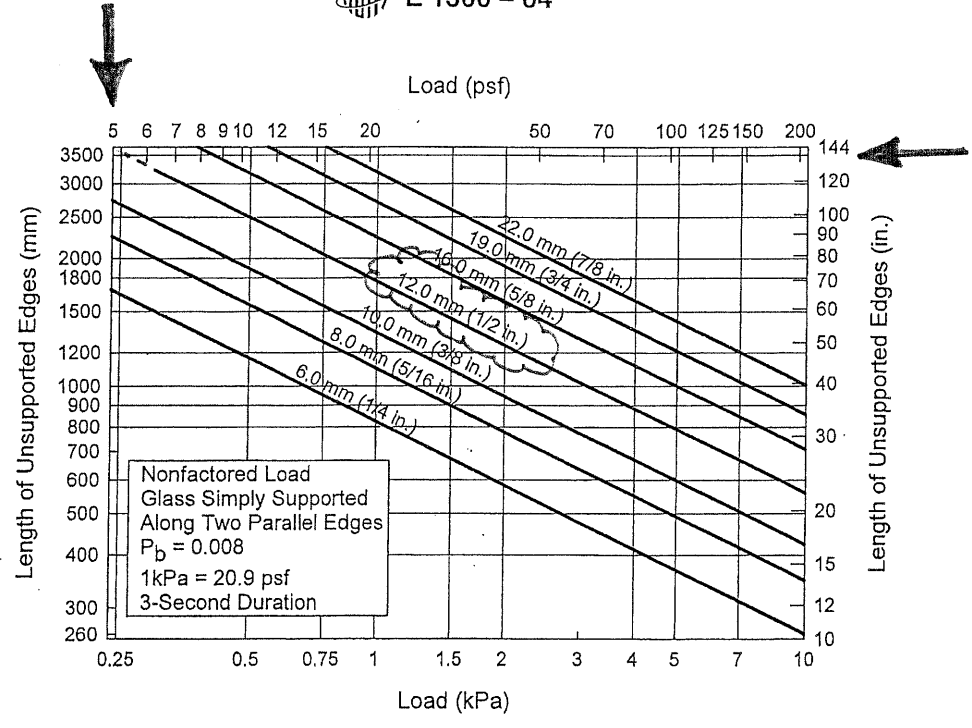


FIG. A1.25 (upper chart) Nonfactored Load Chart for Glass Simply Supported Along Two Parallel Edges
(lower chart) Deflection Chart for Glass Simply Supported Along Two Parallel Edges

ICC-ES Evaluation Report

ESR-3016

Issued July 1, 2011

This report is subject to renewal in one year.

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A Subsidiary of the International Code Council®

DIVISION: 05 00 00—METALS

Section: 05 40 00—Cold-Formed Metal Framing

Section: 05 41 00—Structural Metal Stud Framing

Section: 05 42 00—Cold-Formed Metal Joist Framing

DIVISION: 09 00 00—FINISHES

Section: 09 22 16.33—Non-Structural Metal Stud Framing

REPORT HOLDER:

CALIFORNIA EXPANDED METAL
PRODUCTS COMPANY (CEMCO)
263 NORTH COVINA LANE
CITY OF INDUSTRY, CALIFORNIA 91744
(800) 775-2362
www.cemcosteel.com

EVALUATION SUBJECT:

CEMCO STEEL FRAMING

1.0 EVALUATION SCOPE

Compliance with the following codes:

- 2006 *International Building Code*® (IBC)
- 2006 *International Residential Code*® (IRC)

Property evaluated:

Structural

2.0 USES

The steel framing described in this report is used for framing of nonload-bearing interior walls, curtain walls and load-bearing walls, floor joists, ceiling joists and furring.

3.0 DESCRIPTION

3.1 General:

The steel framing described in this report, consisting of structural C-shapes (studs and joists), tracks, furring channels and U-channels, is fabricated at CEMCO's City of Industry, California; Denver, Colorado; and Pittsburg, California, facilities, from coils of cold-rolled steel. The C-shapes are manufactured with or without web punch-outs; all other framing members (tracks, U-channels and furring hat channels) are manufactured without web punch-outs. When provided in the structural C-shapes, punch-outs measuring up to 0.75 inch by 2 inches (19 mm by 51 mm) for the 2.5-inch-deep members and 1.5 inches by 3.25 inches (38 mm by 83 mm) for the other sized members are located along the centerline of the webs. The minimum distance between the end of the C-shape and the

near edge of the web punch-out is 10 inches (254 mm). The minimum distance between centerlines of punch-outs is 24 inches (610 mm). See Tables 3 through 6 and Figure 1 for recognized framing section names, profiles and dimensions. The values in each of the applicable tables of this report are for C-shapes with punch-outs.

3.2 Materials:

3.2.1 General: Steel framing members are available in design steel thicknesses ranging from 0.0188 inch to 0.1017 inch (0.478 mm to 2.58 mm), as shown in Table 1 of this report, and in the sizes and configurations shown in Tables 3 through 6, and Figure 1.

3.2.2 Structural Studs and Structural Tracks: Structural studs and structural tracks are cold-formed from galvanized steel coils conforming to ASTM A 653, SS Grade 33 or Grade 50, Class 1; or ASTM A 1003, Structural Grade 33, Type H, (ST33H) or Structural Grade 50, Type H (ST50H). The steel has a minimum G60 galvanization coating designation in conformance with ASTM A 653.

3.2.3 U-channels: U-channels are cold-formed from galvanized steel coils conforming to ASTM A 653, SS Grade 33; or ASTM A 1003, Structural Grade 33, Type H (ST33H), with a minimum G60 galvanization coating designation in conformance with ASTM A 653.

3.2.4 Furring Channels: Furring channels are cold-formed from galvanized steel coils conforming to ASTM A 1003, Nonstructural Grade 33 (NS33), with a minimum G40 galvanization coating designation in conformance with ASTM A 653.

4.0 DESIGN AND INSTALLATION

4.1 Design:

4.1.1 IBC Method: The section properties indicated in Tables 3 through 6 have been determined in accordance with the 2001 North American Specification for Design of Cold-formed Steel Structural Members, including 2004 Supplement (AISI-NAS). The allowable moments, M_a , as indicated in Tables 3 through 6 are for use with Allowable Strength Design (ASD), and are for flexural members installed with the compression flange continuously braced. For other conditions of compression flange bracing, the allowable moment must be determined in accordance with AISI-NAS. Allowable concentrated loads and reactions based on web crippling are shown in Table 7, for related web crippling loading conditions. The design of flexural members used for framing of nonload-bearing interior walls, curtain walls, load-bearing walls, floors or ceilings must address combined bending and web crippling, and combined bending and shear.

Interior Non-structural, Non - Composite Wall Height Tables Notes

1. Lateral loads have not been modified for strength checks nor have they been modified for deflection determination for 5, 7.5, & 10 psf loads.
 2. Limiting heights based on continuous support of each flange over the full length of the stud.
 3. Limiting heights are based on steel properties only (non-composite).
4. N

Allowable Heights For Non-Axial Load Bearing Wall

Section	F _y (ksi)	Spacing (in) or	5 psf			7.5 psf			10 psf		
			L/120	L/240	L/360	L/120	L/240	L/360	L/120	L/240	L/360
162S125-18	33	12	9'0"	7'8"	6'6"	7'4"	6'8"	5'10"	6'4"	6'1"	5'4"
162S125-18	33	16	7'8"	6'11"	5'1"	6'4"	5'6"	4'10"	5'0"	4'8"	4'10"
162S125-18	33	24	6'4"	5'1"	4'1"	5'2"	4'8"	4'6"	4'6"	4'6"	4'3"
162S125-27	33	12	11'3"	8'11"	7'10"	9'8"	7'10"	6'10"	8'4"	7'1"	6'3"
162S125-27	33	16	10'3"	8'2"	7'1"	8'4"	7'1"	6'3"	7'3"	6'5"	5'6"
162S125-27	33	24	8'4"	7'1"	6'3"	6'10"	6'3"	5'5"	5'11"	5'8"	4'11"
162S125-30	33	12	11'8"	9'3"	8'1"	10'2"	8'1"	7'1"	8'11"	7'4"	6'5"
162S125-30	33	16	10'2"	8'5"	7'4"	8'11"	7'4"	6'5"	7'9"	6'8"	5'10"
162S125-30	33	24	8'11"	7'4"	6'5"	7'2"	6'5"	5'7"	6'4"	5'10"	5'1"
162S125-33	33	12	12'0"	9'6"	8'4"	10'6"	8'4"	7'3"	9'6"	7'7"	6'7"
162S125-33	33	16	10'11"	8'8"	7'7"	9'6"	7'7"	6'7"	8'3"	6'11"	6'0"
162S125-33	33	24	9'6"	7'7"	6'7"	7'10"	6'7"	5'9"	6'9"	6'0"	5'3"
230S125-18	33	12	12'6"	10'6"	9'2"	10'3"	9'2"	8'1"	8'10"	8'4"	7'4"
230S125-18	33	16	10'10"	9'7"	8'4"	8'10"	8'4"	7'4"	7'8"	7'7"	6'8"
230S125-18	33	24	8'10"	8'4"	7'4"	7'3"	7'3"	6'5"	6'3"	6'3"	5'10"
250S125-27	33	12	15'2"	12'4"	10'10"	13'1"	10'10"	9'5"	11'4"	9'10"	8'7"
250S125-27	33	16	13'10"	11'3"	9'10"	11'4"	9'10"	8'7"	9'10"	8'7"	7'10"
250S125-27	33	24	11'4"	9'10"	8'7"	9'3"	8'7"	7'6"	8'0"	7'10"	6'10"
250S125-30	33	12	16'1"	12'9"	11'2"	13'11"	11'2"	9'9"	12'0"	10'2"	8'10"
250S125-30	33	16	14'7"	11'7"	10'2"	12'0"	10'2"	8'10"	10'5"	9'2"	8'1"
250S125-30	33	24	12'0"	10'2"	8'10"	9'10"	8'10"	7'9"	8'6"	8'1"	7'0"
250S125-33	33	12	16'7"	13'2"	11'6"	14'6"	11'6"	10'1"	12'10"	10'6"	9'2"
250S125-33	33	16	15'1"	12'0"	10'6"	12'10"	10'6"	9'2"	11'2"	9'6"	8'4"
250S125-33	33	24	12'10"	10'6"	9'2"	10'6"	9'2"	8'0"	9'1"	8'4"	7'3"
362S125-18	33	12	14'0"	14'0"	12'6"	17'6"	11'6"	10'11"	9'11"	9'11"	9'11"
362S125-18	33	16	12'2"	12'2"	11'4"	11'11"	9'11"	8'11"	8'7"	8'7"	8'7"
362S125-18	33	24	9'11"	9'11"	9'11"	8'11"	8'11"	8'11"	7'0"	7'0"	7'0"
362S125-27	33	12	18'10"	16'6"	14'5"	15'5"	14'5"	12'7"	13'4"	13'1"	11'5"
362S125-27	33	16	16'4"	15'0"	13'1"	13'4"	13'1"	11'5"	11'7"	10'5"	9'1"
362S125-27	33	24	13'4"	13'1"	11'5"	10'11"	10'11"	10'0"	9'5"	9'5"	9'1"
362S125-30	33	12	20'3"	17'0"	14'10"	16'7"	14'10"	13'0"	14'4"	13'6"	11'10"
362S125-30	33	16	17'7"	15'6"	13'6"	14'4"	13'6"	11'10"	12'3"	10'9"	10'9"
362S125-30	33	24	14'4"	13'6"	11'10"	11'8"	11'8"	10'4"	10'2"	10'2"	9'4"
362S125-33	33	12	21'11"	17'7"	15'4"	17'10"	15'4"	13'5"	15'6"	14'0"	12'2"
362S125-33	33	16	18'11"	16'0"	14'0"	15'6"	14'0"	12'2"	13'5"	12'6"	11'1"
362S125-33	33	24	15'6"	14'0"	12'2"	12'8"	12'2"	10'8"	10'11"	10'11"	9'6"
400S125-18	33	12	14'9"	14'9"	13'6"	12'1"	11'9"	10'5"	10'5"	10'5"	10'5"
400S125-18	33	16	12'10"	12'10"	12'3"	10'5"	10'5"	9'1"	9'1"	9'1"	9'1"
400S125-18	33	24	10'5"	10'5"	10'5"	8'6"	8'6"	8'6"	7'5"	7'5"	7'5"
400S125-27	33	12	19'11"	17'10"	15'7"	16'3"	15'7"	13'7"	14'1"	14'1"	12'4"
400S125-27	33	16	17'5"	16'2"	14'2"	14'1"	14'1"	12'4"	12'2"	12'2"	11'3"
400S125-27	33	24	14'1"	14'1"	12'4"	11'6"	11'6"	10'0"	9'11"	9'11"	9'10"
400S125-30	33	12	21'5"	18'5"	16'1"	17'6"	16'1"	14'0"	15'2"	14'7"	12'9"
400S125-30	33	16	18'6"	16'8"	14'7"	15'2"	14'7"	12'9"	13'1"	13'1"	11'7"
400S125-30	33	24	15'2"	14'7"	12'9"	12'4"	12'4"	11'2"	10'8"	10'8"	10'1"
400S125-33	33	12	23'2"	19'0"	16'7"	18'11"	16'7"	14'6"	16'4"	15'1"	13'2"
400S125-33	33	16	20'0"	17'3"	15'1"	16'4"	15'1"	13'2"	14'2"	13'9"	12'0"
400S125-33	33	24	16'4"	15'1"	13'2"	13'4"	13'2"	11'6"	11'7"	11'7"	10'6"
600S125-27	33	12	26'8"	24'4"	21'3"	21'10"	21'3"	18'7"	18'11"	18'11"	16'10"
600S125-27	33	16	23'2"	22'1"	19'4"	18'11"	18'11"	16'10"	16'4"	16'4"	15'4"
600S125-27	33	24	18'11"	18'11"	16'10"	15'5"	15'5"	14'9"	13'4"	13'4"	13'4"
600S125-30	33	12	28'10"	25'2"	22'0"	23'6"	22'0"	19'3"	20'4"	19'3"	17'6"
600S125-30	33	16	24'11"	22'11"	20'0"	20'4"	20'0"	17'6"	17'8"	17'8"	15'10"
600S125-30	33	24	20'4"	20'0"	17'6"	16'0"	16'0"	15'3"	14'5"	14'5"	13'10"
600S125-33	33	12	31'2"	26'2"	22'10"	25'8"	22'10"	19'11"	22'10"	20'8"	18'1"
600S125-33	33	16	27'0"	23'9"	20'9"	22'1"	20'9"	18'1"	19'1"	18'10"	16'6"
600S125-33	33	24	22'1"	20'9"	18'1"	18'0"	18'0"	15'10"	15'7"	15'7"	14'5"
800S125-30	33	12	33'8"	31'5"	27'5"	27'6"	27'5"	24'0"	23'10"	23'10"	21'9"
800S125-30	33	16	29'2"	28'7"	24'11"	23'10"	23'10"	21'9"	20'7"	20'7"	19'10"
800S125-30	33	24	23'10"	23'10"	21'9"	19'5"	19'5"	18'0"	16'10"	16'10"	16'10"
800S125-33	33	12	36'7"	32'0"	29'6"	29'10"	28'6"	24'11"	25'10"	25'10"	22'8"
800S125-33	33	16	31'8"	29'8"	25'11"	25'10"	25'10"	22'8"	22'5"	22'5"	20'7"
800S125-33	33	24	25'10"	25'10"	22'8"	21'1"	21'1"	19'9"	18'3"	18'3"	18'0"

3 5/8" STUD
20 GA.
2A" OC

NOTES

- * "s" Requires web stiffeners at end supports
- * Deflection Multiplier = 1.0
- * Limiting heights based on continuous support of each flange over full length stud
- * Strength Multiplier = 1.0
- * Studs considered uncoated for web crippling and shear
- * 1 span

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Steel Framing and Metal Lath

STEEL FRAMING AND ACCESSORIES CATALOG



www.cemcosteel.com



EXPEDITED
PLAN CHECK

CITY OF SANTA ANA

BUILDING PERMIT WORKSHEET

PLEASE PRINT

1/14/09:forms/Bldg.App.Worksheet

PROJECT ADDRESS: 3621 S. HARBOR BLVD		SUITE: 225		SAPIN # 10174236	
USE OF BUILDING: RESIDENTIAL <u>COMMERCIAL</u> INDUSTRIAL OTHER				2012-101250 MASTER ID#	
NATURE OF WORK: NEW ADD <u>ALTER/T.I.</u> DEMO REROOF REPAIR SIGN MISC VALUATION: \$137,891.00					
NEW/ADDITION/ALTERATION:					
1ST FL. _____ SF		BASEMENT: YES/NO _____ SF		NO. OF STORIES: 2	
2ND FL. _____ SF		PATIO/ENCL. PATIO: _____ SF		BLDG. HEIGHT: _____	
TOTAL OF OTHER FLS: _____ SF		RES. REMODEL: _____ SF		PROPOSED USE: OFFICES	
GARAGE/CARPORT: _____ SF		ALTER/T.I.: 5,486 USF (NO CHANGE TO DEMISING WALLS)			
JOB DESCRIPTION (non-residential projects see reverse side of this application): TENANT IMPROVEMENT: NEW INTERIOR WALLS, DOORS, CARD READERS, AREA OF HARDLID CEILING & 2 SOFFITS (IN 2 ROOMS ONLY), SOUND CONTROL IN 8 ROOMS, WINDOWS, MILLWORK & APPLIANCES, & FINISHES, SOME DEMO & RELOCTED ITEMS.					
BUILDING OWNER'S NAME: ARDEN REALTY (CONTACT: DYANA ELAM)				PHONE NO: (310) 966-2655	
ADDRESS: 11601 WILSHIRE BLVD., 4TH FLOOR		CITY: LOS ANGELES		STATE: CA	ZIP: 90025
TENANT'S NAME (Comm/Ind): TRAINING CONSULTANTS (CONTACT: CRISTINA LEAHY)				PHONE NO: (714) 963-3365	
CONTRACTOR'S NAME: JAMES SCHIERMEYER @ ADVANCED BUILDERS		STATE CONTR. #:		LICENSE CLASS:	PHONE NO: (949) 760-1146
ADDRESS: 359 SAN MIGUEL, SUITE 207		CITY: NEWPORT BEACH		STATE: CA	ZIP: 92660
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:		SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER: RANDALL PATRICK @ SPACES P&D		STATE LICENSE #: CCIDC #6141		PHONE NO: (949) 724-1499	
ADDRESS: 17780 FITCH, SUITE 150		CITY: IRVINE		STATE: CA	ZIP: 92614
CONTACT NAME: RANDALL PATRICK			PHONE NO: (949) 724-1499 x1		
E-MAIL ADDRESS: rand@spaces-oc.com			FAX NO: (949) 724-1490		

OFFICE USE ONLY: (C) OR SPC (CIRCLE ONE) 3 HRS PER FH BLDG. FEE \$ _____

OCC. GROUP: _____ RECEIPT #: 58705 P/C FEE PD \$ 1666.36

TYPE OF CONSTR: _____ VALUATION: \$ 196,947 SUBMITTAL DATE: 126-12

FIRE SPKR: YES / NO A/C: YES / NO FLOOD ZONE: X PROCESSED JULIE

RES. DEV. FEE: YES / NO PRIOR DWELLING UNIT: YES / NO COMMENTS: _____

PLANNING OK TO CHECK & DATE _____ BLDG. DEPT. APPROVAL & DATE _____

NG CONDITIONS: _____

PLEASE CHECK ALL THAT APPLY TO YOUR PROJECT

JOB DESCRIPTION CHECKLIST:

- | | |
|---|---|
| <input type="checkbox"/> Additional square footage | <input checked="" type="checkbox"/> Partition walls |
| <input type="checkbox"/> Awnings | <input checked="" type="checkbox"/> Rated corridors - ONLY PONY-UP SOME EXIST.
WALLS TO DECK ABOVE
IF NOT ALREADY |
| <input type="checkbox"/> Canopy | <input type="checkbox"/> Rated shafts |
| <input checked="" type="checkbox"/> Ceiling work (SOME NEW HARDLID) | <input type="checkbox"/> Roof mounted equipment |
| <input type="checkbox"/> Change of occupancy (use) | <input type="checkbox"/> Security bars |
| <input type="checkbox"/> Disabled accessible (H/C) restrooms | <input type="checkbox"/> Screening for equipment |
| <input type="checkbox"/> Dust collector | <input type="checkbox"/> Skylights |
| <input type="checkbox"/> Elevator shaft | <input type="checkbox"/> Stairs |
| <input type="checkbox"/> Exterior doors or windows | <input type="checkbox"/> Storefront/facade improvements |
| <input type="checkbox"/> Equipment pads | <input type="checkbox"/> Storage racks or shelving over 5'-9" |
| <input checked="" type="checkbox"/> Interior demo | <input type="checkbox"/> Walk-in coolers |
| <input type="checkbox"/> Kitchen equipment | |

ITEMS REQUIRING SEPARATE BUILDING PERMIT APPLICATIONS:

- Block wall
- Card readers
- Complete demo
- Fence
- Fire signaling system
- Fire sprinklers BY OTHERS (REWORK EXIST)
- Flagpole
- Lawn sprinkler system
- Light Standards
- Parking lot repaving
- Parking lot restriping
- Pedestrian protection
- Pool/Spa
- Signs
- Spray booth
- Temporary power pole
- Trash enclosure

CITY OF SANTA ANA

BUILDING PERMIT WORKSHEET

PLEASE PRINT

1/14/09:forms/Bldg.App.Worksheet

PROJECT ADDRESS: <u>3621 S. HARBOR</u>		SUITE: <u>225</u>	SAPIN # <u>10174237</u>	
USE OF BUILDING:	RESIDENTIAL	COMMERCIAL	INDUSTRIAL	OTHER
				MASTER ID#
NATURE OF WORK:	NEW	ADD	<u>ALTER/T.I.</u>	DEMO
			REROOF	REPAIR
			SIGN	MISC
<u>NEW/ADDITION/ALTERATION:</u>				
1ST FL..	_____ SF	BASEMENT: YES/NO	_____ SF	NO. OF STORIES: _____
2ND FL..	_____ SF	PATIO/ENCL. PATIO:	_____ SF	BLDG. HEIGHT: _____
TOTAL OF OTHER FLS:	_____ SF	RES. REMODEL:	_____ SF	PROPOSED USE: _____
GARAGE/CARPORT:	_____ SF	ALTER/T.I.:	<u>5,486</u> SF	
JOB DESCRIPTION (non-residential projects see reverse side of this application):				
<u>CARD READERS</u>				
BUILDING OWNER'S NAME: <u>ARDEN REALTY</u>		CONTACT <u>DYANA ELAM</u>		PHONE NO:
ADDRESS:	CITY:	STATE:	ZIP:	
TENANT'S NAME (Comm/Ind): <u>TRAINING CONSULTANTS</u>		PHONE NO:		
CONTRACTOR'S NAME: <u>AD</u>	STATE CONTR. #:	LICENSE CLASS:	PHONE NO:	
ADDRESS:	CITY:	STATE:	ZIP:	
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:	
ARCHITECT/ENGINEER: <u>SPACES P&D</u>	STATE LICENSE #: <u>CCDC 6141</u>	PHONE NO:		
ADDRESS:	CITY:	STATE:	ZIP:	
CONTACT NAME: <u>RANDALL PATRICK</u>	PHONE NO: <u>(949) 724-1499</u>			
E-MAIL ADDRESS: <u>vrand@spaces-oc.com</u>	FAX NO: <u>(949) 724-1496</u>			

OFFICE USE ONLY: ACC OR SPC (CIRCLE ONE) _____ HRS PER _____ BLDG. FEE \$ _____

OCC. GROUP: _____ RECEIPT #: _____ P/C FEE PD \$ 307.25

TYPE OF CONSTR: _____ VALUATION: \$ _____ SUBMITTAL DATE: 1-26-12

FIRE SPKR: YES / NO _____ A/C: YES / NO _____ FLOOD ZONE: _____ PROCESSED Julie

RES. DEV. FEE: YES / NO _____ PRIOR DWELLING UNIT: YES / NO _____ COMMENTS: _____

PLANNING OK TO CHECK & DATE _____ BLDG. DEPT. APPROVAL & DATE _____

PLNG CONDITIONS: _____

PLEASE CHECK ALL THAT APPLY TO YOUR PROJECT

JOB DESCRIPTION CHECKLIST:

- | | |
|--|---|
| <input type="checkbox"/> Additional square footage | <input type="checkbox"/> Partition walls |
| <input type="checkbox"/> Awnings | <input type="checkbox"/> Rated corridors |
| <input type="checkbox"/> Canopy | <input type="checkbox"/> Rated shafts |
| <input type="checkbox"/> Ceiling work | <input type="checkbox"/> Roof mounted equipment |
| <input type="checkbox"/> Change of occupancy (use) | <input type="checkbox"/> Security bars |
| <input type="checkbox"/> Disabled accessible (H/C) restrooms | <input type="checkbox"/> Screening for equipment |
| <input type="checkbox"/> Dust collector | <input type="checkbox"/> Skylights |
| <input type="checkbox"/> Elevator shaft | <input type="checkbox"/> Stairs |
| <input type="checkbox"/> Exterior doors or windows | <input type="checkbox"/> Storefront/facade improvements |
| <input type="checkbox"/> Equipment pads | <input type="checkbox"/> Storage racks or shelving over 5'-9" |
| <input type="checkbox"/> Interior demo | <input type="checkbox"/> Walk-in coolers |
| <input type="checkbox"/> Kitchen equipment | |

ITEMS REQUIRING SEPARATE BUILDING PERMIT APPLICATIONS:

- Block wall
- Card readers
- Complete demo
- Fence
- Fire signaling system
- Fire sprinklers
- Flagpole
- Lawn sprinkler system
- Light Standards
- Parking lot repaving
- Parking lot restriping
- Pedestrian protection
- Pool/Spa
- Signs
- Spray booth
- Temporary power pole
- Trash enclosure

CITY OF SANTA ANA
PLAN CHECK - CHECKLIST

JOB ADDRESS: 3621 S HARBOR # 225
TRACKING #: 10174236 DATE: 1-26-12

FOR PLANCHECK STATUS CALL (714) 647-5800

PLEASE INITIAL EACH ITEM BELOW

- MES 1. I agree to pay a plancheck fee established for this project with the understanding that this payment is not a guarantee that a permit will be issued and that this fee is not refundable once a plancheck has commenced.
- MES 2. I understand that I may request an "Accelerated Plancheck" at an additional cost to me. This plancheck will be performed by an in-house plan checker with the intention of reducing plancheck time for the Building & Safety Division.
- MES 3. I understand that the project valuation (from which plancheck and permit fees are calculated) will be reviewed during the plancheck process and that said valuation shall be adjusted up or down in accordance with established fee computation regulations.
- MES 4. I understand that I shall submit **separate plans, applications and plancheck fees** for the following when plan check is required:
- a. Electrical Plans - 2 complete sets
 - b. Plumbing Plans - 3 complete sets
 - c. Mechanical Plans - 2 complete sets
 - d. Grading Plans - 3 complete sets
- MES 5. I understand that I shall visit the Public Works Department to verify whether a field inspection of the property is required. I understand that prior to the issuance of the Building permit I am required to obtain Public Works Agency approval if my project valuation exceeds \$30,000 or has added plumbing fixtures, or added bedrooms, or exceeds 500 sq.ft.

AGREED TO BY APPLICANT OR AGENT

Applicant's Signature

Margaret Sharpe

Print Name

MARGARET SHARPE

Address

17780 FITCH #150 IRVINE, CA 92614

Telephone Number

(949) 724-1499

Fax

(949) 724-1490

FOR OFFICE USE ONLY: "Checklist of items discussed" APPROVALS & FEES REQUIRED: Y/N

- | | | |
|--|---|--|
| 1. <input checked="" type="checkbox"/> Planning Department | 7. <input type="checkbox"/> Title 24 (Energy) | 14. <input checked="" type="checkbox"/> Constr. Act. Req. |
| 2. <input checked="" type="checkbox"/> Public Works Agency | 8. <input checked="" type="checkbox"/> Title 24 (Disabled Access) | 15. <input type="checkbox"/> Res. Dev. Fees |
| 3. <input checked="" type="checkbox"/> Fire Department | 9. <input type="checkbox"/> Roof Mounted Equip. | 16. <input type="checkbox"/> SMIP |
| 4. <input type="checkbox"/> Police Department | 10. <input type="checkbox"/> List of Subcontr. | 17. <input checked="" type="checkbox"/> Microfilming |
| 5. <input type="checkbox"/> School District | 11. <input checked="" type="checkbox"/> Bldg. Pmt. Info. | 18. <input type="checkbox"/> Const. Debris Recyc. |
| 6. <input type="checkbox"/> Health Department | 12. <input type="checkbox"/> Summary of Appr. Req. | 19. <input type="checkbox"/> FCWP Surcharge |
| | 13. <input checked="" type="checkbox"/> FY Information | 20. <input checked="" type="checkbox"/> LOA/Owner-Builder Ver. |

PERMIT TECHNICIAN

[Signature]



Planning & Building Agency
 Permits & Plan Check Section
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

ACCELERATED PLAN CHECK REQUEST

H018: 07-01-11

Project Address: 3621 S HARBOR #225

Misc. Receipt: 58705 Processed By: [Signature] Plan Checked By: _____

Cost: \$117.70 per hour for each discipline. The plan checker will estimate the number of hours for review. This fee is in addition to the regular plan check fee.

Type of Plan Check: Building 10174236 Electrical 20147253
 Est. Hrs. 3 Actual 3KA Est. Hrs. 2 Actual _____
 Plumbing _____ Mechanical _____
 Est. Hrs. _____ Actual _____ Est. Hrs. _____ Actual _____

Owner/Representative Signature: Margaret Sharpe

Print Name: MARGARET SHARPE Date: 1/26/12

Telephone Number: 949 724-1499 Fax Number: 949 724-1490

MRS An accelerated plan check review will not include the following:

Fire, Police, Public Works, Planning or Landscaping Plan Check

Revisions: If requesting an "accelerated revision", the cost will be \$207.25 per hour in addition to the accelerated fee of \$117.70 per hour (total \$324.95).

INTERNAL USE ONLY

Name (Last, First, Initial)		Employee #		Division
From (Date & Time)	To (Date & Time)	Total Hours Worked	_____ Comp Time Requested _____ Overtime Requested	
Employee Signature: _____ Date: _____				
AUTHORIZED _____ Comp time _____ Overtime _____ Immediate Supervisor Date		APPROVALS _____ Division Manager Date _____ Executive Director Date		



22952 Mill Creek Drive, Suite B
Laguna Hills, CA 92653

CONSULTING ENGINEERS, INC.

Phone: (949) 597-2147, Fax: (949) 597-2148, Email: dta@dtace.com

STRUCTURAL CALCULATIONS

for

SUSPENDED CEILING

at

3621 S. HARBOR BOULEVARD , SUITE 225
SANTA ANA , CA 92705

Submittal:

20 January 2012

RECEIVED

JAN 26 2012

City of Santa Ana

Client: Ms. Dyana Elam
Arden Realty, Inc.
11601 Wilshire Boulevard, 4th floor
Los Angeles, CA 90025
Tel: (310) 966-2600



01/20/2012

10174236

DTA CONSULTING ENGINEERS, INC.

22952 Mill Creek Drive, Suite B
Laguna Hills, CA 92653
Phone: (949) 597-2147
Fax: (949) 5972148
Email: dta@dtace.com

PROJECT NO. 12-08

PROJECT 3621 S. Harbor Blvd., Suite 225
Santa Ana, CA

PREPARED BY ND

DATE _____ SHEET NO. 1

DESIGN SUSPENDED CEILING

SEISMIC DESIGN CATEGORY "D"

ASCE 7-05 SECTION 13.3 & 13.5.6.2.2

$$(1) F_p = \frac{0.4 a_p S_{DS} W_p}{\left(\frac{R_p}{I_p}\right)} \left(1 + 2 \frac{z}{h}\right)$$

$$F_p = \frac{0.4 \times 1 \times 0.88 \times 5}{2.5} (1 + 2 \times 1)$$

$$F_p = \underline{2.11 \text{ psf}} \leftarrow \text{CONTROLS}$$

$$\begin{aligned} a_p &= 1 \\ R_p &= 2.5 \\ W_p &= 5 \text{ psf} \\ I_p &= 1 \\ S_{DS} &= 0.88 \\ \frac{z}{h} &= 1 \end{aligned}$$

$$(2) F_p = 1.6 S_{DS} I_p W_p$$

$$F_p = 1.6 \times 0.88 \times 1 \times 5$$

$$F_p = 7.04 \text{ psf}$$

$$(3) F_p = 0.3 S_{DS} I_p W_p$$

$$F_p = 0.3 \times 0.88 \times 1 \times 5$$

$$F_p = 1.32 \text{ psf}$$

$$\therefore F_p = 2.11 \times 0.7 = 1.48 \text{ psf}$$

ASD

$$\therefore F_p = 1.48 \text{ psf}$$

DTA CONSULTING ENGINEERS, INC.

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 Laguna Hills, CA 92653
 Phone: (949) 597-2147
 Fax: (949) 5972148
 Email: dta@dtace.com

PROJECT NO. 12-08
 PROJECT 3621 S. Harbor Blvd., Suite 225
Santa Ana, CA
PREPARED BY MDDATE _____ SHEET NO. 2DESIGN VERT. STUDS:

$$P = 10 \text{ psf} \times 2' \times 5' = 100^{\#}$$

$$T_{cap} = 0.9 \times 33000 \times 0.238 \text{ in}^2 = \underline{7068^{\#}} > 100^{\#} \quad \underline{\text{OK}}$$

∴ USE 3^{5/8} X 20 GA. STUDS @ 24" O.C.

DESIGN BRACE:

LATERAL LOAD PER PAGE-1

$$\text{BRACE FORCE} = 1.48 \text{ psf} \times 4' \times 12' = 71^{\#} \times \sqrt{2} = 101^{\#}$$

$$\frac{KL}{r} = \frac{6'(12)}{.448} = 160$$

$$T_{cap} = 58300^{\#} \times 0.162 \text{ in}^2 = \underline{944^{\#}} > 100^{\#} \quad \underline{\text{OK}}$$

$$F_a = 5.83 \text{ ksi}$$

∴ USE 3^{5/8} X 20 GA BRACE @ 4'-0" O.C

DESIGN SCREWS

$$V = 100^{\#} \quad \text{TRY 4-#10 SCREWS}$$

$$V_{cap} = 4 \times 175^{\#} = \underline{700^{\#}} > 100^{\#} \quad \underline{\text{OK}}$$

USE 4-#10 SCREWS @ CONNECTIONS

DESIGN BOLTS

$$P = 100^{\#} \quad \text{TRY } \frac{1}{2}'' \phi \text{ BOLTS}$$

$$T_{cap} = \underline{4700^{\#}} > 100^{\#} \quad \underline{\text{OK}}$$

USE 1/2" φ BOLTS @ EACH ∠ 3X4X1/4 LLY

DTA CONSULTING ENGINEERS, INC.

22952 Mill Creek Drive, Suite B
Laguna Hills, CA 92653
Phone: (949) 597-2147
Fax: (949) 5972148
Email: dta@dtace.com

PROJECT NO. 12-08

PROJECT 3621 S. Harbor Blvd., Suite 225
Santa Ana, CA

PREPARED BY ND

DATE _____ SHEET NO. 3

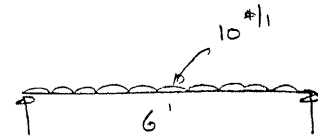
DESIGN SUPPORT FOR GYP. BD. CEILING

GYP. BD CEILING DL = 5 psf (SEE PAGE 1 FOR LATERAL CALCS)

DESIGN BOT. JOISTS:

CEILING LOAD ON JOISTS = 5 psf x 2' = 10 #/1'

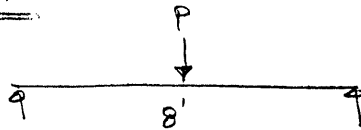
MAX. SPAN = 6'-0" $M = \frac{10 \times 6^2}{8} = 45 \text{ #}'$



SEE ATTACHED LOAD SPAN TABLES

(USE 3 5/8 x 20 GA. JOISTS @ 24" O.C. (GOOD FOR 8'-0" SPAN WITH DL = 10 psf + LL = 20 psf. $M_{ALLOW} = \frac{(10+20)8^2}{8} = 240 \text{ #}'$)

DESIGN TOP JOISTS



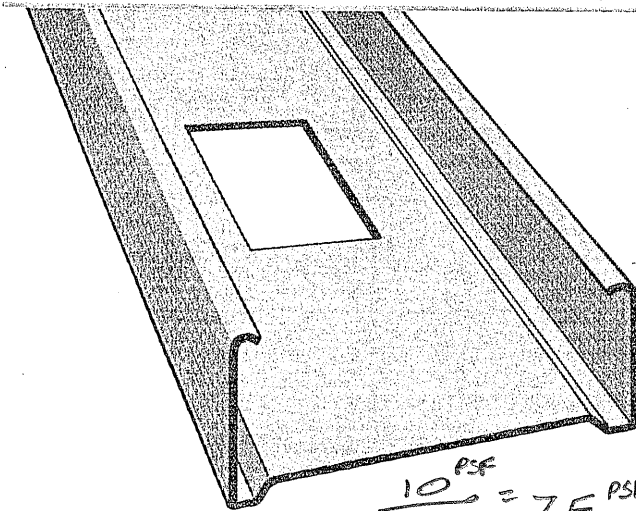
$P = 10 \text{ psf} \times 2' \times 5' = 100 \text{ #}'$

$M_{MAX} = \frac{100 \times 8}{4} = 200 \text{ #}' < 240 \text{ #}' \text{ OK}$

(USE 3 5/8 x 20 GA. JOISTS @ 24" O.C.)

20GA 3 5/8" x 1 1/4" STUDS ARE ADEQUATE FOR CEILING LOADS

DIETRICH



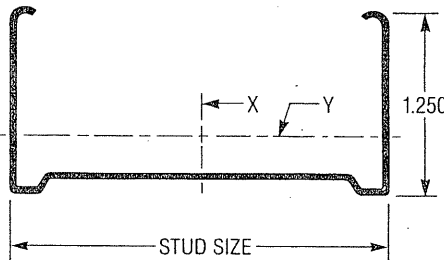
$$\frac{10 \text{ PSF}}{1.33} = \underline{\underline{7.5 \text{ PSF}}}$$

Extra Duty Drywall Studs
(STE-20 Ga.)

Dietrich Big "D" extra duty drywall studs (20 gage) are fabricated in standard sizes and stock lengths from corrosion resistant galvanized steel. Custom sizes and cut to length sizes are available upon request. Knockouts for piping, electrical installation and horizontal bracing are located over the entire length of the stud.

Maximum Allowable Clear Span Height in Feet^(2 & 3)

Wind Load (lb./sq. ft.)	Deflection Criteria	1 5/8" Stud		2 1/2" Stud			3 5/8" Stud			4" Stud			6" Stud			
		Stud Spacing (inches on center)														
		12	16	24	12	16	24	12	16	24	12	16	24	12	16	24
5	L/120	12.0	10.9	9.6	17.1	15.5	13.6	22.8	20.7	18.1	24.7	22.4	19.6	34.1	31.0	27.1
	L/240	9.6	8.7	7.6	13.6	12.3	10.8	18.1	16.5	14.4	19.6	17.8	15.5	27.1	24.6	21.5
	L/360	8.4	7.6	6.6	11.9	10.8	9.4	15.8	14.4	12.6	17.1	15.5	13.6	23.6	21.5	18.8
10	L/120	9.6	8.7	7.6	13.6	12.3	10.8	18.1	16.5	14.4	19.6	17.8	15.5	27.1	24.6	21.2
	L/240	7.6	6.9	6.0	10.8	9.8	8.6	14.4	13.1	11.4	15.5	14.1	12.3	21.5	19.5	17.0
	L/360	6.6	6.0	5.3	9.4	8.6	7.5	12.6	11.4	10.0	13.6	12.3	10.8	18.8	17.0	14.9
15	L/120	8.4	7.6	6.6	11.9	10.8	9.4	15.8	14.4	12.1	17.1	15.5	12.9	23.6	21.2	17.3
	L/240	6.6	6.0	5.3	9.4	8.6	7.5	12.6	11.4	10.0	13.6	12.3	10.8	18.8	17.0	14.9
	L/360	5.8	5.3	4.6	8.2	7.5	6.5	11.0	10.0	8.7	11.9	10.8	9.4	16.4	14.9	13.0
20	L/120	7.6	6.9	6.0	10.8	9.8	8.1	14.4	12.8	10.5	15.5	13.7	11.2	21.2	18.3	15.0
	L/240	6.0	5.5	4.8	8.6	7.8	6.8	11.4	10.4	9.1	12.3	11.2	9.8	17.0	15.5	13.5
	L/360	5.3	4.8	4.2	7.5	6.8	5.9	10.0	9.1	7.9	10.8	9.8	8.6	14.9	13.5	11.8
30	L/120	6.6	6.0	4.9	9.4	8.1	6.6	12.1	10.5	8.5	12.9	11.2	9.2	17.3	15.0	12.2
	L/240	5.3	4.8	4.2	7.5	6.8	5.9	10.0	9.1	7.9	10.8	9.8	8.6	14.9	13.5	11.8
	L/360	4.6	4.2	3.7	6.5	5.9	5.2	8.7	7.9	6.9	9.4	8.6	7.5	13.0	11.8	10.3
40	L/120	6.0	5.2	4.3	8.1	7.0	5.7	10.5	9.1	7.4	11.2	9.7	7.9	15.0	13.0	10.6
	L/240	4.8	4.3	3.8	6.8	6.2	5.4	9.1	8.2	7.2	9.8	8.9	7.8	13.5	12.3	10.6
	L/360	4.2	3.8	3.3	5.9	5.4	4.7	7.9	7.2	6.3	8.6	7.8	6.8	11.8	10.7	9.4
50	L/120	5.4	4.7	3.8	7.3	6.3	5.1	9.4	8.1	6.6	10.0	8.7	7.1	13.4	11.6	9.5
	L/240	4.4	4.0	3.5	6.3	5.7	5.0	8.4	7.6	6.6	9.1	8.3	7.1	12.6	11.4	9.5
	L/360	3.9	3.5	3.1	5.5	5.0	4.4	7.4	6.7	5.8	7.9	7.2	6.3	11.0	10.0	8.7



Physical Structural Properties⁽¹⁾

Stud Size (in.)	Weight (lbs./ft.)	Cross Section Area (sq.in.)	About Major Axis				About Minor Axis			m (in.)	X ₀ (in.)	J x 1000	C _w	r _o (in.)	β BETA	Resisting Moment (x-x) (in.-lbs.)
			X̄ (in.)	I _x (in. ⁴)	S _x (in. ³)	R _x (in.)	I _y (in. ⁴)	S _y (in. ³)	R _y (in.)							
1 5/8	.494	.120	.531	.064	.079	0.731	.024	.034	.445	.646	-1.086	.044	.018	1.355	.358	1646
2 1/2	.592	.125	.513	.166	.133	1.155	.025	.035	.448	.583	-.950	.055	.044	1.452	.572	2957
3 5/8	.718	.162	.396	.407	.224	1.586	.032	.039	.448	.522	-.825	.068	.099	1.683	.760	4928
4	.760	.174	.368	.515	.258	1.721	.034	.040	.444	.505	-.791	.073	.124	1.775	.801	5654
6	.984	.240	.267	1.381	.460	2.400	.041	.042	.412	.431	-.652	.096	.314	2.321	.921	10099

NOTES: Design based on minimum thickness.

(1) Yield strength is 33 KSI.

(2) Limiting heights are calculated using a variable psf uniform load perpendicular to studs and based on stud properties alone. Use of composite action with collateral materials will increase height limits. Stress calculations are based on capacity of studs alone. Where stresses are due to wind loading, the allowable unit stresses have been increased one-third in compliance with the AISI Specification.

(3) Limiting heights based on stress, shear and deflection. Web crippling is assumed negligible due to stiffening provided by connection to track.

VERY CONSERVATIVE

Allowable Joist Spans—Dead Load=10 PSF/Live Load=20 PSF

TABLE 11-11-1

MEMBER	SINGLE SPAN			TWO EQUAL SPANS				
	SPACING O.C.			SPACING O.C.				
	12	16	24	12	16	24		
SIZE (in.)	CODE	GAGE	ft. - in.	ft. - in.	ft. - in.	ft. - in.	ft. - in.	ft. - in.
3-5/8	CSJ	20	10-8	9-8	8-0	11-0	9-8	7-10
	CSW	20	11-2	10-2	8-4	11-6	10-1	8-2
	CSE	20	11-7	10-7	8-8	12-0	10-5	8-5
	CSJ	18	11-7	10-6	9-2	11-11	10-10	9-6
	CSW	18	12-3	11-1	9-8	12-7	11-5	9-10
	CSE	18	12-10	11-8	10-3	13-3	12-1	10-1
	CSJ	16	12-5	11-3	9-10	12-9	11-7	10-2
	CSW	16	13-1	11-11	10-5	13-6	12-3	10-9
	CSE	16	13-7	12-4	10-9	14-0	12-9	11-2
	CSJ	14	13-3	12-1	10-6	13-8	12-5	10-10
	CSW	14	14-0	12-9	11-2	14-6	13-2	11-6
	CSE	14	14-9	13-5	11-9	15-3	13-10	12-1
	CSJ	12	14-8	13-4	11-8	15-2	13-9	12-0
4	CSW	12	15-7	14-2	12-4	16-1	14-7	12-9
	CSE	12	16-6	15-0	13-1	17-0	15-5	13-6
	CSJ	20	11-6	10-6	8-7	11-10	10-3	8-4
	CSW	20	12-1	10-11	8-11	12-4	10-8	8-7
	CSE	20	12-6	11-4	9-3	12-10	11-0	8-11
	CSJ	18	12-6	11-4	9-11	12-11	11-8	10-3
	CSW	18	13-2	12-0	10-6	13-7	12-4	10-5
	CSE	18	13-10	12-7	10-11	14-3	13-0	10-9
	CSJ	16	13-5	12-2	10-8	13-10	12-6	10-11
	CSW	16	14-2	12-10	11-3	14-7	13-3	11-7
	CSE	16	14-8	13-4	11-7	15-1	13-9	12-0
	CSJ	14	14-4	13-0	11-4	14-9	13-5	11-9
	CSW	14	15-2	13-9	12-0	15-7	14-2	12-5
6	CSE	14	15-11	14-6	12-8	16-5	14-11	13-0
	CSJ	12	15-11	14-5	12-7	16-4	14-10	13-0
	CSW	12	16-10	15-3	13-4	17-4	15-9	13-9
	CSE	12	17-9	16-2	14-1	18-4	16-8	14-6
	CSJ	20	15-10	13-10	11-4	15-0	12-9	10-0
	CSW	20	16-4	14-2	11-7	15-4	13-0	10-2
	CSE	20	16-9	14-6	11-10	15-7	13-2	10-4
	CSS	20	16-8	14-5	11-10	15-7	13-2	10-3
	CSX	20	16-11	14-8	12-0	15-9	13-4	10-5
	CSJ	18	17-2	15-7	13-8	17-8	16-1	13-2
	CSW	18	18-0	16-5	13-10	18-7	16-6	13-4
	CSE	18	18-10	17-1	14-2	19-5	16-11	13-8
	CSS	18	19-7	17-9	14-10	20-2	17-7	14-2
8	CSX	18	20-1	18-3	15-2	20-8	18-0	14-6
	CSJ	16	18-5	16-9	14-7	19-0	17-3	15-1
	CSW	16	19-4	17-7	15-4	20-0	18-2	15-10
	CSE	16	19-11	18-2	15-10	20-7	18-8	16-4
	CSS	16	21-1	19-2	16-9	21-9	19-9	17-3
	CSX	16	21-8	19-8	17-2	22-4	20-3	17-9
	CSJ	14	19-9	17-11	15-8	20-4	18-6	16-2
	CSW	14	20-9	18-10	16-6	21-5	19-5	17-0
	CSE	14	21-8	19-8	17-3	22-4	20-4	17-9
	CSS	14	23-0	20-11	18-3	23-9	21-7	18-10

MEMBER	SINGLE SPAN			TWO EQUAL SPANS				
	SPACING O.C.			SPACING O.C.				
	12	16	24	12	16	24		
SIZE (in.)	CODE	GAGE	ft. - in.	ft. - in.	ft. - in.	ft. - in.	ft. - in.	ft. - in.
6	CSX	14	23-8	21-6	18-9	24-5	22-2	19-4
	CSJ	12	21-11	19-11	17-5	22-8	20-7	18-0
	CSW	12	23-1	21-0	18-4	23-10	21-8	18-11
	CSE	12	24-3	22-1	19-3	25-0	22-9	19-10
	CSS	12	25-9	23-4	20-5	26-6	24-1	21-0
	CSX	12	26-8	24-3	21-2	27-6	25-0	21-10
	CSJ	10	23-3	21-2	18-6	24-0	21-10	19-0
	CSW	10	24-6	22-3	19-6	25-3	23-0	20-1
	CSE	10	25-9	23-5	20-5	26-7	24-2	21-1
	CSS	10	27-4	24-10	21-8	28-2	25-7	22-4
	CSX	10	28-4	25-9	22-6	29-3	26-6	23-2
	CSJ	18	21-8	19-8	16-9	22-4	19-2	15-1
	CSW	18	22-8	20-7	16-10	22-8	19-3	15-2
8	CSE	18	23-7	20-10	17-0	22-9	19-5	15-4
	CSS	18	24-6	21-5	17-6	23-5	19-11	15-8
	CSX	18	25-0	21-9	17-9	23-9	20-2	15-10
	CSJ	16	23-3	21-1	18-5	23-11	21-9	19-0
	CSW	16	24-4	22-1	19-4	25-1	22-9	19-11
	CSE	16	25-0	22-8	19-10	25-9	23-5	20-5
	CSS	16	26-5	24-0	20-11	27-2	24-9	21-7
	CSX	16	27-0	24-6	21-5	27-10	25-3	22-1
	CSJ	14	24-11	22-8	19-9	25-8	23-4	20-5
	CSW	14	26-1	23-9	20-9	26-11	24-5	21-4
	CSE	14	27-2	24-8	21-6	28-0	25-5	22-2
	CSS	14	28-9	26-2	22-10	29-8	26-11	23-6
	CSX	14	29-6	26-10	23-5	30-5	27-8	24-2
CSJ	12	27-9	25-3	22-0	28-7	26-0	22-9	
10	CSW	12	29-1	26-5	23-1	30-0	27-3	23-10
	CSE	12	30-5	27-8	24-2	31-4	28-6	24-11
	CSS	12	32-2	29-3	25-6	33-2	30-1	26-4
	CSX	12	33-3	30-2	26-5	34-3	31-2	27-2
	CSJ	10	29-6	26-9	23-5	30-5	27-7	24-1
	CSW	10	30-11	28-1	24-6	31-10	29-0	25-4
	CSE	10	32-4	29-4	25-8	33-4	30-3	26-5
	CSS	10	34-3	31-1	27-2	35-3	32-0	28-0
	CSX	10	35-4	32-2	28-1	36-6	33-2	28-11
	CSJ	18	24-11	21-7	17-7	22-9	19-2	14-9
	CSW	18	26-4	22-10	18-8	23-10	20-0	15-4
	CSE	18	26-8	23-1	18-10	24-1	20-2	15-5
	CSS	18	27-7	23-11	19-6	24-9	20-8	15-9
CSX	18	28-1	24-4	19-10	25-1	20-11	15-11	
CSJ	16	27-11	25-4	22-2	28-9	26-2	22-0	
CSW	16	29-1	26-5	23-1	30-0	27-3	22-6	
CSE	16	29-10	27-1	23-8	30-9	27-11	22-10	
CSS	16	31-5	28-7	24-11	32-5	29-5	24-6	
CSX	16	32-1	29-1	25-5	33-0	30-0	24-10	
CSJ	14	30-0	27-3	23-9	30-11	28-1	24-6	
CSW	14	31-3	28-5	24-10	32-3	29-3	25-7	
CSE	14	32-5	29-5	25-9	33-5	30-4	26-6	

MEMBER	SINGLE SPAN			TWO EQUAL SPANS				
	SPACING O.C.			SPACING O.C.				
	12	16	24	12	16	24		
SIZE (in.)	CODE	GAGE	ft. - in.	ft. - in.	ft. - in.	ft. - in.	ft. - in.	ft. - in.
10	CSS	14	34-3	31-2	27-2	35-4	32-1	28-0
	CSX	14	35-1	31-10	27-10	36-2	32-10	28-8
	CSJ	12	33-5	30-4	26-6	34-5	31-4	27-4
	CSW	12	34-11	31-9	27-8	36-0	32-8	28-7
	CSE	12	36-4	33-0	28-10	37-5	34-0	29-9
	CSS	12	38-4	34-10	30-5	39-6	35-11	31-4
	CSX	12	39-6	35-11	31-4	40-9	37-0	32-4
	CSJ	10	35-6	32-3	28-2	36-7	33-3	29-1
	CSW	10	37-1	33-9	29-5	38-3	34-9	30-4
	CSE	10	38-8	35-1	30-8	39-10	36-2	31-7
	CSS	10	40-9	37-1	32-5	42-1	38-3	33-5
	CSX	10	42-1	38-3	33-5	43-5	39-5	34-5
	12	CSJ	16	32-0	29-1	25-5	33-0	29-0
CSW		16	33-4	30-3	26-5	34-4	29-8	23-1
CSE		16	33-11	30-10	26-11	35-0	30-2	23-5
CSS		16	35-10	32-6	28-5	36-11	32-4	25-1
CSX		16	36-6	33-2	28-11	37-7	32-9	25-8
CSJ		14	34-11	31-9	27-9	36-0	32-9	28-7
CSW		14	36-4	33-0	28-10	37-5	34-0	29-9
CSE		14	37-6	34-1	29-9	38-8	35-2	30-8
CSS		14	39-7	36-0	31-5	40-10	37-1	32-5
CSX		14	40-6	36-9	32-1	41-9	37-11	33-1
CSJ		12	39-0	35-5	30-11	40-2	36-6	31-11
CSW		12	40-7	36-10	32-3	41-10	38-0	33-2
CSE		12	42-1	38-3	33-5	43-5	39-5	34-6
CSS	12	44-4	40-3	35-2	45-8	41-6	36-3	
CSX	12	45-7	41-5	36-2	47-0	42-9	37-4	
14	CSJ	10	41-6	37-8	32-11	42-9	38-10	33-11
	CSW	10	43-2	39-3	34-3	44-6	40-5	35-4
	CSE	10	44-10	40-9	35-7	46-2	42-0	36-8
	CSS	10	47-2	42-10	37-5	48-8	44-2	38-7
	CSX	10	48-7	44-2	38-7	50-1	45-6	39-9

Joist Notes:

- For single span joist cells shaded in light blue [], web stiffeners are needed at the bearing point. If cells are not shaded [], web stiffeners are not required.
- For double span joist cells shaded in medium blue [], web stiffeners are required at the center bearing point only. For cells shaded in dark blue [], web stiffeners are required at the end and center bearing conditions. If cells are not shaded [], web stiffeners are not required at the center and the end bearing conditions.
- Please refer to page 30 for other important information.

5



Planning & Building Agency
 Building Safety Division
 20 Civic Center Plaza
 P.O. Box 1988 (M-19)
 Santa Ana, CA 92702
 (714) 647-5800
 www.santa-ana.org

TENANT IMPROVEMENT PLAN CHECK COMMENTS

PLAN CHECK NO: 10174236 - 237

PROJECT ADDRESS: 3621 S Harbor Blvd Unit# 225

PLAN CHECK ENGINEER: Ahangian, Kathy **TEL: 714** 647-5812
FAX: 714 647-5897

TYPE OF CONSTRUCTION: V B, SPK

OCCUPANCY CLASSIFICATION(S): B

PLAN CHECK DATES: **REMARKS/RECHECK ITEMS:**

APPLICATION	<u>1/26/2012</u>	_____
INITIAL REVIEW	<u>2/7/2012</u>	_____
EXPIRATION	<u>7/24/2012</u>	_____
RECHECKS:	1. <u>2-21-2012</u>	PROJECT APPLICANT CONTACT PERSON: Randall Patrick
	2. _____	
	3. _____	
VALUATION:	<u>\$196,947.00</u>	TEL: <u>(949)724-1499</u>
FLOOD ZONE:	<u>X-0602320258J</u>	FAX: <u>(949)724-1877</u>
		EMAIL: <u>rand@spaces-oc.com</u>

APPLICABLE CODE: 2010 CALIFORNIA BUILDING CODE (CBC) WITH CITY OF SANTA ANA AMENDMENTS

1. All items noted on this plan check report must be addressed. If you feel that an item is not applicable to your project, note "N/A" and discuss the reason with the plan checker.
2. Please indicate the sheet number and detail to the right of each correction, or note the number on the plans where the correction is made. Resubmit marked original, calculations and this correction sheet. A separate sheet for response may be used.
3. Resubmit 3 corrected sets of plans.
4. Meetings between the project applicant/designer and the plan reviewer shall be by appointment only. Please call (714) 647-5812 for an appointment.
5. Please return marked up set of drawings with corrections.

6. This review does not include mechanical, plumbing, fire sprinkler system, or electrical work. Separate plans, applications, fees, plan checks, and permits are required for mechanical, plumbing, fire sprinkler systems, and electrical work. Call 647-5800 for information.

7. The applicant shall obtain clearances/approvals for the following prior to building permit issuance:

- Planning Division approval on the corrected/final set of drawings (647-5804.) Previously approved plans should be submitted to expedite the process.

- Fire Department approval on the corrected/final sets of drawings (647-5839 or 647-5700)

? - Public Works Agency approval (647-5039)

- Proof of Worker's Compensation Insurance shall be required at the time of permit issuance

2-21-12 ✓ 8. Provide minimum 18" clear at the strike edge of door for room #235. PLEASE SEE KEYNOTE K12 ON A-1. DOOR WILL NOT HAVE CLOSER, SO DOOR CLEARANCE IS NOT REQUIRED

2-21-12 ✓ 9. CBC Section 1004.3, Posting of occupant load. Every room or space that is assembly occupancy shall have the occupant load of the room or space posted in a conspicuous place, near the main exit or exit access doorway from the room or space. Posted signs shall be of an approved legible permanent design and shall be maintained by the owner or authorized agent. (for the conference room)

2-21-12 ✓ 10. Panic hardware shall comply with CBC Section 1008.1.9. Panic hardware shall be provided as required by CBC Section(s): SEE NEW KEYNOTE K15 ON SHEET A-1 FOR REQ. OCC. LOAD SIGNAGE AT CONFERENCE ROOM. SEE REVISED KEYNOTE K9 ON SHEET A-1.

- An Occupancy with an occupant count > 50. Refer to CBC section 1008.1.8.3, Item 2 for Exception.

2-21-12 ✓ By the Fire Department

2-21-12 ✓ 11. Delayed Egress Locks shall show compliance with CBC Section 1008.1.8.6, Approved, listed, delayed egress locks shall be permitted to be installed on doors serving any occupancy except Group A, E, and H occupancies in buildings that are equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 and an approved automatic smoke detection system installed in accordance with Section 907, provided that the doors unlock in accordance with Items 1 through 9 below. A building occupant shall not be required to pass through more than one door equipped with a delayed egress lock before entering an exit. Delayed egress devices shall conform to all of the following:

- The doors unlock upon actuation of the automatic sprinkler system or automatic smoke detection system.

- The doors unlock upon loss of electrical power to any of the following:

The egress-control device itself.

The smoke detection system.

Means of egress illumination as required by CBC Section 1006.

- The door locks shall have the capability of being unlocked by a signal from a switch located in an approved location.

- The initiation of an irreversible process which will release the latch in not more than 15 seconds when a force of not more than 15 pounds is applied for 1 second to the release device. Initiation of the irreversible process shall activate an audible signal in the vicinity of the door. Once the door lock has been released by the

SEE RESPONSE ON NEXT PAGE

application of force to the releasing device, relocking shall be by manual means only. [SFM] The time delay established for each egress-control device shall not be field adjustable. For applications listed in CBC Section 109.1 regulated by the Division of the State Architect – Access Compliance, see Chapter 11B, CBC Section 1133B.2.5. Exception: In facilities housing Alzheimer's or dementia clients, a delay of not more than 30 seconds is permitted

- A tactile sign shall also be provided in Braille and raised characters, which complies with CBC Section 1117B.5.1, Item 1.
- Emergency lighting shall be provided at the door.
- Actuation of the panic bar or other door-latching hardware shall activate an audible signal at the door.
- The unlatching shall not require more than one operation.
- Regardless of the means of deactivation, relocking of the egress-control device shall be by manual means only at the door.

OK
V12
KA

Tactile exit signs shall be required at the following locations: *'DELAYED EGRESS LOCKS' ARE NOT APPLICABLE TO TENANTS SITUATION (AS OFFICE/B OCCUPANCY WITH CARD READERS). SEE "CARD READER NOTES" ON SHEET A-3 FOR 'ACCESS-CONTROLLED EGRESS DOOR' CODE REQ.*

- Each grade-level exterior exit door shall be identified by a tactile exit with the word "EXIT."
- Each exit door that leads directly to a grade-level exterior exit by means of a stairway or ramp shall be identified by a tactile exit sign with the following words as appropriate:
- Each exit door that leads directly to a grade-level exterior exit by means of an exit enclosure, or an exit passageway, shall be identified by a tactile exit sign with the words "EXIT ROUTE."
- Each exit access door from an interior room or area to a corridor or hallway, which is required to have a visual exit sign, shall be identified by a tactile exit sign with the words "EXIT ROUTE."

SEE PLAN ON SHEET A-1 FOR LOCATIONS OF TACTILE EXIT SIGNS. SEE LEGEND ON A-1 FOR TACTILE EXIT SIGN SYMBOL & REFERENCE TO TACTILE EXIT SIGN DETAILS ON A-4. SEE A-4 FOR T.E.S. DETAILS.

Each exit door through a horizontal exit shall be identified by a sign with the words "TO EXIT."

For the purpose of Section 1011.3, the term "tactile exit signs" shall mean those required signs that comply with Section 1117B.5.1, Item 1. *SEE "T.E. SIGN NOTES" DETAIL ON SHEET A-4 WHICH SPECIFIES THAT TACTILE EXIT SIGNS SHALL COMPLY WITH 2010 CBC SECTION 1117B.5.1.*

Glass shall be firmly supported on all four edges. Show on the drawings how compliance shall be made with CBC Section 2404. For glass not firmly supported on all four edges, design shall be submitted to the building official for approval. *SEE REVISED DETAILS #5, 10 & 15 ON A-6.*

Show/note ventilation requirements on the plans in accordance with the CBC and California Mechanical Code (CMC) requirements for each type of use. *SEE REVISED NOTE #20 ON SHEET A-0 WHICH REQUIRES COMPLIANCE WITH CBC Sect 1203 & CMC SECTION 402.*

Note on drawings:

SEE NOTE #21 ON A-0 FOR NOTE THAT IS EQUIVALENT TO THESE NOTES

- All enclosed portions of buildings customarily occupied by human beings shall be provided with natural ventilation by means of openable exterior openings readily controllable by building occupants, with an area not less than 4% of the floor area being ventilated. CBC Section 1203 and 2007 California Mechanical Code Section 402.

(1/20 > 4%)

- Provide mechanical ventilation for each area/room in accordance with the 2007 California Mechanical Code.

Show/note LIGHTING requirements on the plans in accordance with CBC and California Electrical Code requirements for each type of use.

OK
V13
V14
V15
V16
KA
OK

SEE NEXT SHEET FOR RESPONSE →

Note on drawings:

- CBC Section 1205.2, Natural light. The minimum net glazed area shall not be less than 8 percent of the floor area of the room served. SEE GENERAL NOTE # 22 ON A-0

✓ 2-21-12
17. Provide ICC report and span table for metal stud. SEE ATTACHED ICC REPORT & SPAN TABLE. CEMCO

✓ OK ✓
18. Show height of the card reader is in compliance with H/C accessibility. SEE ITEM #3 IN THE CARD READER NOTES ON A-3. ALSO, SEE REVISED DETAILS 1-5, 7, 13 & 18 ON A-5.

✓ 2-21-12
19. Make a note "There is no reduction in fire rating of the corridor door, By installing the card reader"
SEE REVISED KEYNOTE KIA ON SHEET A-1
(ALSO SEE GENERAL NOTES #16 & 31 ON A-0)
(GENERAL(FLS)-NOTE # 8 ON A-1)

Note: Regarding Redline note on A-1...

Control room is monitoring/control station - will be only be occupied by one person (when room is used).

TENANT

GENERAL NOTES

PROJECT TEAM

PROJECT

TRAINING CONSULTANTS
SUITE 225

- PRIOR TO SUBMISSION OF PRICING AND START OF CONSTRUCTION, INSPECTION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. ANY CONFLICT OR OMISSION, ETC., SHALL BE REPORTED TO SPACES BEFORE PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL PROTECT AREA AND NEW OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE GENERAL CONTRACTOR.
- MATERIALS ARE SPECIFIED BY THEIR BRAND NAMES TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED WITHIN FIVE (5) DAYS OF THE AWARD OF CONTRACT TO THE DESIGNER FOR REVIEW OF EQUAL QUALITY AND PERFORMANCE, AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT WRITTEN APPROVAL.
- ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, ELECTRICAL, ETC., SHALL CONFORM TO THE APPROPRIATE BUILDING DEPARTMENT, AS WELL AS ALL OTHER GOVERNING BODIES AND REGULATIONS.
- DIMENSIONS:
 - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD AND DISCREPANCIES REPORTED TO SPACES PRIOR TO CONSTRUCTION.
 - DIMENSIONS AND ELEVATIONS ARE TO TOP OF CONCRETE OR PLYWOOD FLOORING, NOT TOP OF FLOOR COVERING.
 - ALL PARTITION DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 - DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS OR CALL SPACES FOR VERIFICATION OR CLARIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL THE TRADES AND SHALL CHECK ALL DIMENSIONS, THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY SPACES OF DISCREPANCIES OR CONFLICTS IN THESE DRAWINGS FOUND DURING BIDDING AND/OR CONSTRUCTION PRIOR TO PRICING OR PERFORMING THE WORK. SPACES SHALL RESOLVE ALL SUCH DISCREPANCIES OR ANY DOUBT AS TO THEIR MEANING AND NOTIFY THE CONTRACTOR AND OWNER WITH WRITTEN CLARIFICATION AS TO THE RESOLUTION OF SUCH CONDITIONS.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
- UNLESS SPECIFIED TO BE SUPPLIED "BY THE TENANT" THE GENERAL CONTRACTOR IS TO PROVIDE AND INSTALL ANY ITEMS SPECIFIED ON THE CONSTRUCTION DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL FABRICATED ITEMS, CUTS OF ALL FIXTURES, EQUIPMENT AND SAMPLES OF ALL FINISHES CALLED FOR SPACES FOR APPROVAL PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR SHALL PROVIDE THE MINIMUM INSURANCE REQUIREMENTS SET FORTH IN ARTICLE II OF AIA DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AND LEASE DOCUMENT REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A PERMITTED AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION AND SHALL PROVIDE ALL SUB-CONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS OF ALL SUBCONTRACTORS AND TRADES, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE "THE JOB SITE."
- ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
- PLUMBING, ELECTRICAL, SPRINKLER AND HVAC SUBCONTRACTORS SHALL SECURE THEIR OWN SEPARATE PERMITS AND PLAN CHECK.
- "EXIT" SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH 2010 CBC, CHAPTER 10, SECTION 1011.1, AS SHOWN LOCATED ON FLOOR OR REFLECTED CEILING PLANS(S).
- COMPLIANCE TO 2010 CBC STANDARD 7-2, PART II SECTION 715.4.31 WILL BE PROVIDED. CORRIDOR SHALL BE OF ONE-HOUR CONSTRUCTION WITH DOOR OPENINGS CONFORMING WITH THE FOLLOWING: "PAIRS OF DOORS INSTALLED IN A ONE-HOUR CORRIDOR SHALL HAVE:
 - A LABELED ASSEMBLY HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH 2010 CBC STANDARD 7-2.
 - SELF-CLOSER OR AUTOMATIC-CLOSER ACTUATED BY A SMOKE DETECTOR IN ACCORDANCE WITH SECTION 715.4.8.3.
 - AUTOMATIC FLUSH BOLTS, THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOOR KNOB OR SURFACE-MOUNTED HARDWARE. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
 - FULL MORTISE HINGES - THREE MINIMUM, 2010 CBC.
 - TIGHT-FITTING CLEARANCES AND PROVIDED WITH A GASKET SO INSTALLED AS TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES AND ACROSS THE TOP. CLEARANCES FOR A PAIR OF SWINGING DOORS SHALL BE AS FOLLOWS: WITH A MINUS 1/16 INCH TOLERANCE - 1/8 INCH ALONG THE TOP, 1/8 INCH ALONG THE HINGE AND LATCH JAMBS, 1/8 INCH ALONG THE MEETING EDGE OF THE DOORS, AND 1/4 INCH AT THE BOTTOM OF THE DOORS. (DOES NOT APPLY TO EXISTING DOORS.)
 - AN OVERLAPPING ASTRAGAL EXTENDING THE FULL HEIGHT OF THE DOORS IS REQUIRED ALONG THE MEETING EDGES OF THE DOORS. A COORDINATING DEVICE IS ALSO REQUIRED TO INSURE PROPER CLOSING."
- NO HAZARDOUS MATERIALS, LIQUIDS, OR CHEMICALS SHALL BE STORED OR USED WITHIN THE SUBJECT BUILDING AS TO REQUIRE A HAZARDOUS CLASSIFICATION PER THE 2010 CALIFORNIA BUILDING CODE.
- ALL INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST ALL LOADS TO WHICH THEY ARE SUBJECTED BUT NOT LESS THAN A FORCE OF 5 POUNDS PER SQUARE FOOT APPLIED PERPENDICULAR TO THE WALLS.
- CONSTRUCTION SHALL COMPLY TO SECTION 602, 2010 CBC.
- COMPLIANCE TO SECTION 304.5 OF THE 2010 CBC AND STATE AMENDMENTS WILL BE PROVIDED. (LIGHT & VENTILATION, & SANITATION) PROVIDE NATURAL OR MECHANICAL VENTILATION PER 2010 C.B.C. SECTION 1203 & 2010 CALIFORNIA MECHANICAL CODE SECTION 402.
- "IN GROUP B OCCUPANCY BUILDINGS, ENCLOSED PORTIONS CUSTOMARILY OCCUPIED BY HUMAN BEINGS, OTHER THAN ROOMS AND AREAS FOR WHICH REQUIREMENTS ARE SPECIFIED ELSEWHERE IN THIS SECTION, SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF EXTERIOR OPENINGS WITH AN OPEN-ABLE AREA NOT LESS THAN 1/20 OF THE TOTAL FLOOR AREA OF SUCH PORTIONS, OR SHALL BE PROVIDED WITH A MECHANICALLY OPERATED VENTILATION SYSTEM. THE MECHANICALLY OPERATED VENTILATION SYSTEM SHALL BE CAPABLE OF SUPPLYING A MINIMUM OF 15 CUBIC FEET PER MINUTE OF OUTSIDE AIR PER OCCUPANT IN ALL OCCUPIED PORTIONS OF THE BUILDING." NOTE ON DRAWINGS THE OCCUPANT LOAD FOR EACH ROOM AND THE REQUIRED OUTSIDE AIR FOR EACH ROOM BASED ON THE MORE STRINGENT OF THE 2010 CBC AND THE STATE ENERGY CONSERVATION REQUIREMENTS.
- LIGHTING: EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT IN ACCORDANCE WITH SECTION 1205.3 [2010 CBC SECTION 1205.1]

CBC SECTION 1205.2: NATURAL LIGHT. THE MINIMUM NET GLAZED AREA SHALL NOT BE LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED.

CBC SECTION 1205.3: ARTIFICIAL LIGHT. ARTIFICIAL LIGHT SHALL BE PROVIDED THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDELES (107 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
- IF FIRE DAMPERS ARE REQUIRED, IT SHALL AUTOMATICALLY BE CLOSED BY 1) AN INCREASE IN TEMPERATURE AND 2) ACTIVATION OF SMOKE DETECTORS, PER SEC. 713 OF THE 2010 CBC.
- COMPLIANCE FOR ALL EQUIVALENT ACCESSIBLE FACILITIES WILL BE MET FOR THIS PROJECT.
- UNDER 2010 CBC, SECTION 907.3.1 IS BEING APPLIED TO THE FOLLOWING ROOMS/EXIT WAYS, AND SMOKE DETECTORS SHALL BE INSTALLED WITHIN EACH NOTED ROOM/AREA IN ACCORDANCE WITH THEIR LISTING. ALL ROOMS AND AREAS THAT ARE WITHIN THE EXIT ENVELOPE SHALL BE PROVIDED WITH THE REQUIRED SMOKE DETECTORS. SMOKE DETECTORS SHALL BE HARD WIRED.
- THE CITY OF SANTA ANA PERFORMS A GENERAL REVIEW OF THE DRAWINGS AND CALCULATIONS. THE DESIGNER WHO SIGNS THE DRAWINGS SHALL BE RESPONSIBLE FOR A COMPLETE CHECK OF ALL DRAWINGS AND CALCULATIONS. IF ARCHITECTURAL AND STRUCTURAL DRAWINGS ARE SEPARATE, INCLUDE THIS NOTE ON EACH SET.
- TENANT'S SIGNAGE AND KEYING TO BE PROVIDED BY THE GENERAL CONTRACTOR AND COORDINATED BY PROPERTY MANAGER.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL A DETAILED CONSTRUCTION SCHEDULE SHOWING PHASING OF WORK.
- ALL WALL FINISHES MUST COMPLY WITH CHAPTER 8 2010 CBC.
- FOR DISABLED ACCESSIBILITY, THE AREA OF REMODEL, PATH OF TRAVEL, DOORS, & RESTROOMS SHALL COMPLY WITH TITLE 24.
- IF ANY PENETRATIONS ARE MADE TO THE FIRE ASSEMBLY, THE PENETRATION PIPES AND SIMILAR SYSTEMS THAT ARE MADE TO PENETRATE FIRE RESISTIVE MUST BE SEALED WITH APPROVED FIRE RESISTANT MATERIAL. ICBO RESEARCH REPORT NUMBER, UL NUMBER, STATE FIRE MARSHALL NUMBER, OR APPROVAL NUMBER OF ANOTHER AGENCY ACCEPTED BY THE CITY OF SANTA ANA, 2010 CBC CHAPTER 7.
- ANY ELECTRICAL, MECHANICAL, PLUMBING, COMMUNICATION CONDUITS, ASSEMBLIES ARE TO COMPLY WITH 2010 CBC.
- COMPLIANCE TO SECTION 403 2010 CBC WILL BE PROVIDED FOR NEW HIGH RISE BUILDINGS.

OWNER: ARDEN REALTY
11601 WILSHIRE BLVD., 4TH FLOOR
LOS ANGELES, CA 90025
(310) 966-2655 PHONE
(310) 861-8281 FAX
DYANA.ELAM@ARDENREALTY.COM

ARCHITECT: SPACES
17780 FITCH, SUITE 150
IRVINE, CALIFORNIA 92614
(949) 724-1499 PHONE
(949) 724-1490 FAX
RANDALL.PATRICK@ARDENREALTY.COM

GENERAL CONTRACTOR: T.B.D.



FIRE DEPARTMENT NOTES

- PROVIDE A 40BC MINIMUM RATED FIRE EXTINGUISHER IN KITCHEN WHERE IF APPLICABLE.
- FIRE DEPARTMENT FINAL INSPECTIONS ARE REQUIRED. THE GENERAL CONTRACTOR IS TO SCHEDULE ALL INSPECTIONS 72 HOURS IN ADVANCE. PHONE (714) 647-5700.
- PROVIDE 2A 10BC MINIMUM RATED FIRE EXTINGUISHERS, TO BE LOCATED ON EACH FLOOR WITHIN 75 FT. OF TRAVEL DISTANCE FROM ALL AREAS.
- FIRE SPRINKLER SYSTEM(S) PER N.F.P.A. STANDARD 13 SHALL BE PROVIDED.
- "EXIT" SIGNS SHALL BE IN BLOCK LETTERS A MINIMUM OF SIX (6) INCHES HIGH WITH A STROKE OF NOT LESS THAN 3/4 INCH. LUMINANCE ON FACE OF SIGN SHALL BE 53.82 LUX.
- "EXIT" SIGNS SHALL BE ELECTRICALLY ILLUMINATED AND ENERGIZED FROM SEPARATE CIRCUITS AS SHOWN ON ELECTRICAL PLANS, UNLESS NUCLEAR STAND-ALONE FIXTURES ARE SPECIFIED.
- DRAPERIES AND OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT. CERTIFICATION THEREOF SHALL BE PROVIDED. EXITS, EXIT LIGHTS, FIRE ALARM STATIONS, HOSE CABINETS AND EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED BY DECORATIVE MATERIALS.
- STORAGE, DISPENSING, OR USE OF ANY FLAMMABLE, COMBUSTIBLE LIQUID, FLAMMABLE GASES, AND HAZARDOUS CHEMICALS SHALL COMPLY WITH 2010 CALIFORNIA BUILDING CODE REQUIREMENTS.
- ALL EXITS SHALL BE OPEN-ABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. REFER TO CHAPTER 10, SECTION 1004.3 OF THE 2010 CBC FOR EXCEPTIONS. ALL DOORS SHALL COMPLY WITH 2010 CBC SECTION 1003.3.1.
- TENANT IMPROVEMENTS IN HIGH-RISE BUILDINGS SHALL HAVE LIFE SAFETY SPEAKERS, WHICH ARE CLEARLY AUDIBLE. SPEAKERS SHALL BE TESTED IN THE PRESENCE OF A FIRE INSPECTOR PRIOR TO FINAL INSPECTION.
- COMPLIANCE TO CBC SECTION 1105.4.6 FOR HEARING IMPAIRED EMERGENCY SYSTEM WILL BE PROVIDED.
- PLANS OF AUTOMATIC SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION OF SYSTEMS. SUBMIT THREE (3) SETS OF PLANS TO THE BUILDING DEPARTMENT FOR APPROVAL.
- PROVIDE SUITE NUMBERS THREE (3) INCHES HIGH, WHICH SHALL BE PLAINLY VISIBLE FROM OUTSIDE THE SUITE.
- FIRE ALARM SYSTEM REQUIRED PER CURRENT ADOPTED C.F.C. AND SANTA ANA STANDARDS, NFPA #72.
- PLANS FOR BOTH ALARM AND THE SPRINKLER SYSTEM SHALL BE SUBMITTED (THREE COPIES) TO THE BUILDING DEPARTMENT FOR FIRE DEPARTMENT APPROVAL PRIOR TO INSTALLATION.
- A SIGN THAT READS "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" WITH A MINIMUM ONE (1) INCH LETTERS SHALL BE PROVIDED ADJACENT TO EXIT DOORS.
- THE PATH OF TRAVEL (AT HARBOR CORPORATE PARK) FROM THE PARKING SPACE TO THE PRIMARY ENTRANCE TO THE TENANT SUITE (REMODELED AREA) CURRENTLY HAS DISABLED ACCESS. THE EXISTING DRINKING FOUNTAINS, RESTROOMS, AND TELEPHONES SERVING THE TENANT'S FLOOR ARE ALSO ACCESSIBLE.

ELECTRICAL ENGINEER: HACKNEY ELECTRIC, INC.
23286 ARROYO VISTA
RANCHO SANTA MARGARITA, CA 92688
(949) 264-4000 PHONE
(949) 264-4011 FAX
GUY ZIHN
GUY@HEIRSM.COM

MECHANICAL ENGINEER: COMPLETE THERMAL SERVICES
11105 KNOTT AVE., SUITE E
CYPRESS, CA 90630
(714) 891-2265 PHONE
(714) 891-2068 FAX
DENNIS COHEN
DENNIS@COMPLETETHERMAL.COM

PLUMBING ENGINEER: D & E PLUMBING, INC.
1023 W. BRAIRDALE AVE.
ORANGE, CA 92665
(714) 974-4861 PHONE
(714) 974-7213 FAX
DAN BRADFORD
DEPLUMBING@SBCGLOBAL.NET

STRUCTURAL ENGINEER: DTA ENGINEERING
22952 MILLCREEK DR. STE. B
LAGUNA HILLS, CA 92653
(949) 597-2147 PHONE
(949) 597-2148 FAX
NARSING DASARI
NARSING@DTACE.COM

FIRE SPRINKLERS: FIRE PROTECTION SPECIALISTS
2810 E. MIRALOMA AVE.
ANAHEIM, CA 92806
(714) 635-6500 PHONE
(714) 635-4422 FAX
DAN
DAN@FIREPROTECTIONSSPECIALISTS.COM

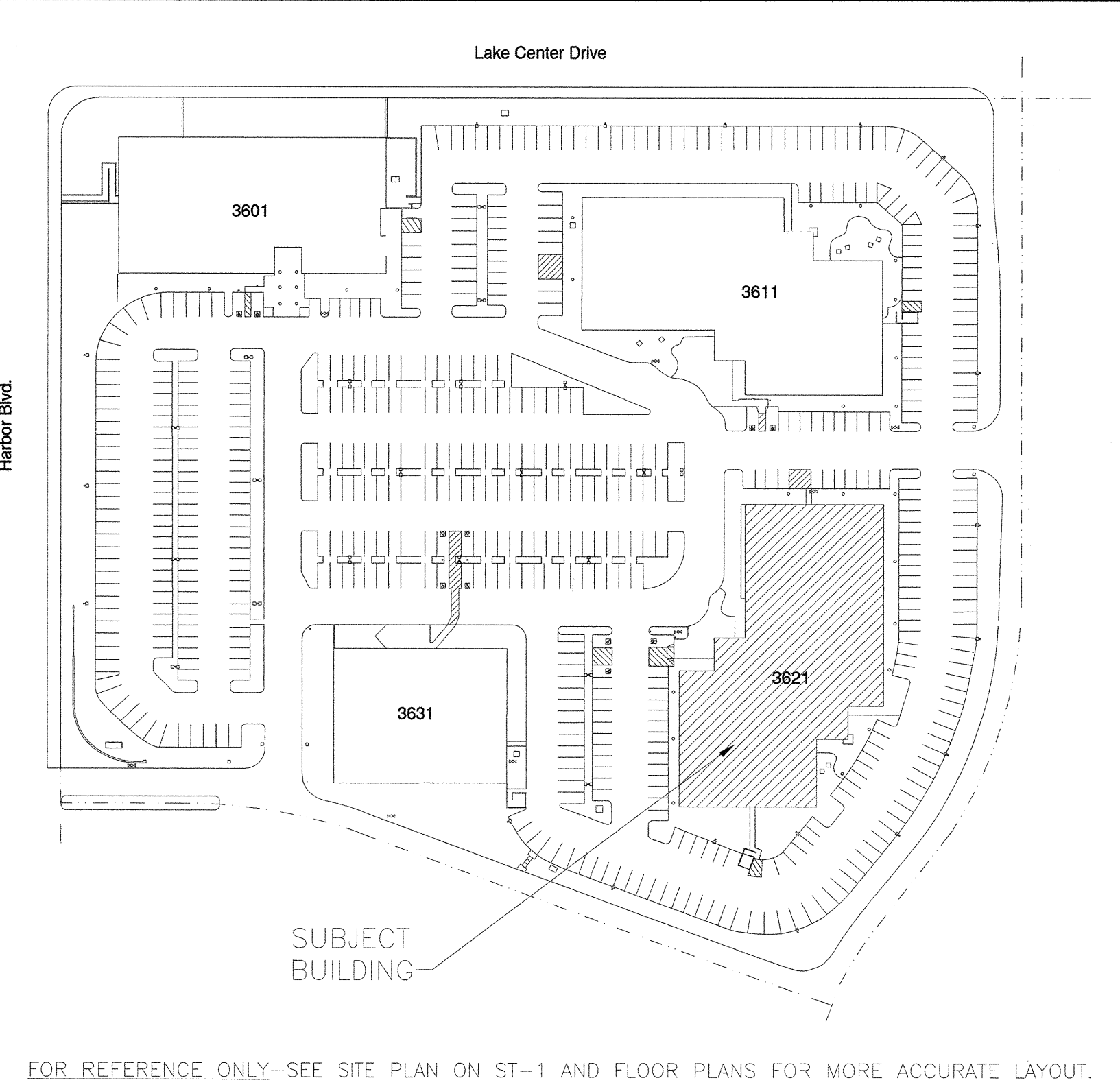
TENANT

TRAINING CONSULTANTS
SUITE 225

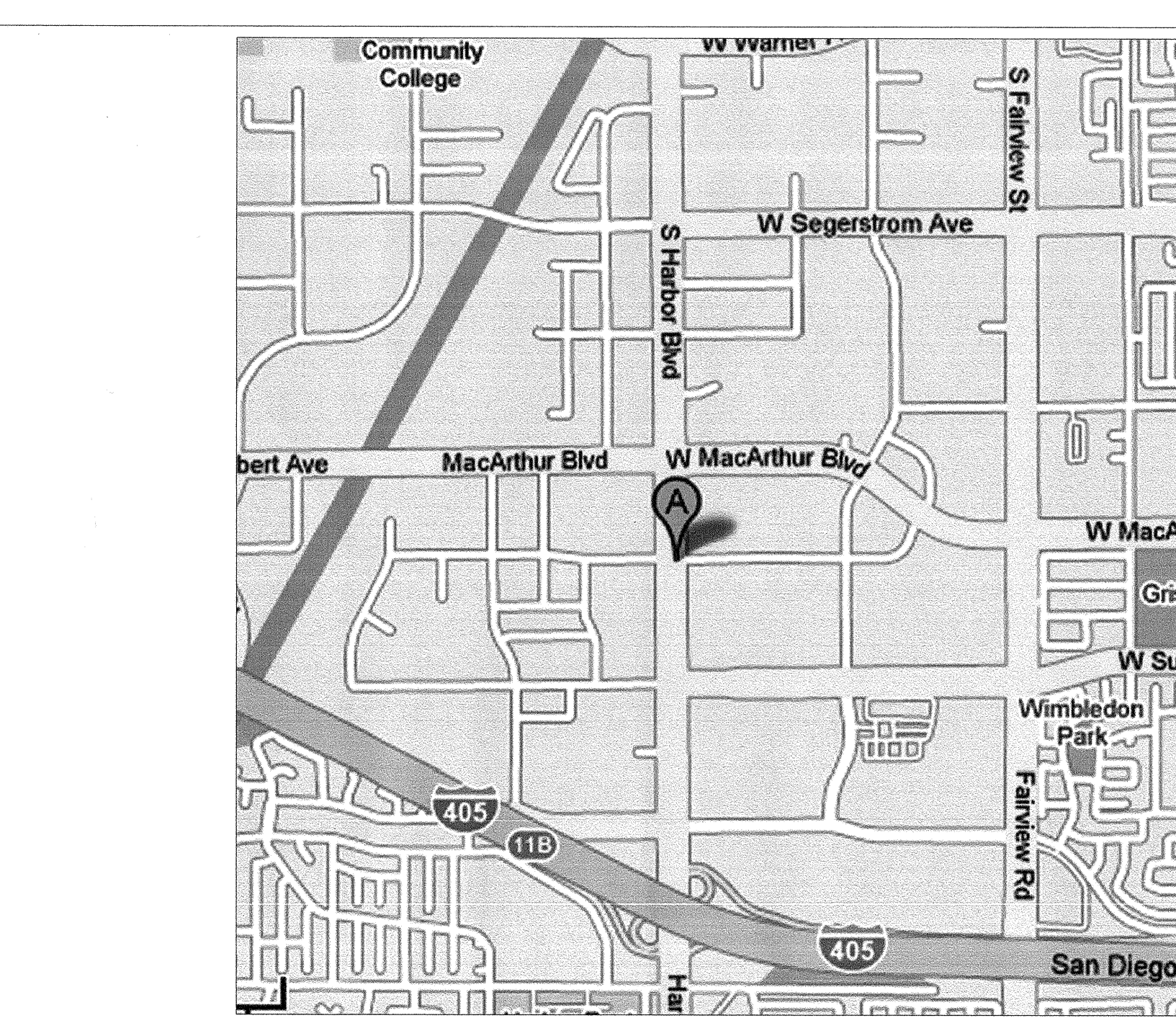
ACCEPTED THIS DAY OF _____, 2012
TENANT: _____
BY: _____
TITLE: _____

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND BY ORIGINATOR TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

SITE PLAN



VICINITY MAP



LEGAL DESCRIPTION

APPROVED PLANNING DIVISION PARCEL NUMBER: 414-261-07
DATE: 2-21-12
DESCRIPTION: P BK 198 PG 3
DATE: 2-21-12
POLICE DEPT.

NOTE:
*TENANT IS REQUIRED TO APPLY FOR CERTIFICATE OF OCCUPANCY WITH A CITY OF SANTA ANA, BEFORE BUILDING PERMIT CAN BE ISSUED.
*IT IS THE TENANT'S RESPONSIBILITY TO NOTIFY VENDORS THAT THE CITY OF SANTA ANA BLDG. DEPT. REQUIRES A PERMIT FOR ANY INSTALLATION OF LOW VOLTAGE SYSTEMS OR FURNITURE SYSTEMS REQUIRING POWER.

PROJECT DATA

BUILDING CODE: 2010 CBC AND TITLE 24
BUILDING OCCUPANCY: B
NUMBER OF STORIES: 2
CONSTRUCTION TYPE: V-B
BUILDING SQUARE FOOTAGE: 44,836 SF

PERMIT TYPE: MECH BRADING
PERMIT NO: 10174236-237
OCC. GROUP: B
CONSTR. TYPE: VB-spk
CODE EDITION: CBC 2010
FLOOD ZONE: X

FLOOD ZONE CERT. REQ'D: YES (X)
MICROFILM: YES (X)
RADIANT BARRIER @ ROOF: YES (X)
RESIDENTIAL DEV. FEE: YES (X)
SCHOOL DISTRICT: YES (X)

SHEET INDEX

A-0	COVER SHEET
ST-1	SITE PLAN
ST-2	TITLE 24 ACCESSIBLE PARKING DETAILS
RR-1	TITLE 24 ACCESSIBLE RESTROOM DETAILS
A-1	PARTITION/DEMOLITION PLAN
A-2	REFLECTED CEILING PLAN
A-3	TELEPHONE & ELECT. PLAN
A-4	DOOR SCHEDULE & FINISH PLAN
A-5	WALL DETAIL SHEET
A-6	MILLWORK, GLAZING, & SOFFIT DETAILS
S-1	(STRUCTURAL) NOTES, PARTIAL PLAN & DETAILS
ENGINEERING PLANS (IN SEPARATE SETS AT CITY):	
E-1	GENERAL NOTES & SYMBOLS PLAN
E-1.1	TITLE 24 SHEETS PLAN
E-2	SINGLE LINE DIAGRAM & PANEL SCHED. PLAN
E-3	REFLECTED CEILING PLAN
E-4	TELEPHONE/ELECTRICAL PLAN
M-2	HVAC PLAN
P-	PLUMBING NOTES, LEGEND & SPECS
*FIRE SPRINKLER DRAWINGS TO BE SUBMITTED SEPARATELY BY FIRE PROTECTION SPECIALISTS	

APPROVED THIS DATE
SHALL BE ON JOB
SITE AT ALL TIMES

NO.	DESCRIPTION	DATE
1	PLAN CHECK CORRECTIONS MS/A-0, A-1, A-5, A-6	02.13.12
2	DRAWING CLARIFICATIONS MS/SHEET A-4 HARDWARE	02.01.12
3	PLAN CHECK CORRECTIONS SHEET A-1 & A-3	01.31.12
4	TENANT REVISIONS/RP SHTS A-1, 2, 3, 4 & 6	01.25.12
5	PLAN CHECK SUBMITTAL	01.25.12
6	RELEASED FOR ENGINEERING	01.13.12

REVISIONS

NO.	DESCRIPTION	DATE
1	MS/RP	10.06.11
2	CHECKED	RP
3	PRINT DATE	01.20.12

INTERIOR PLANNING & DESIGN
SPACES
P & D INC.
17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

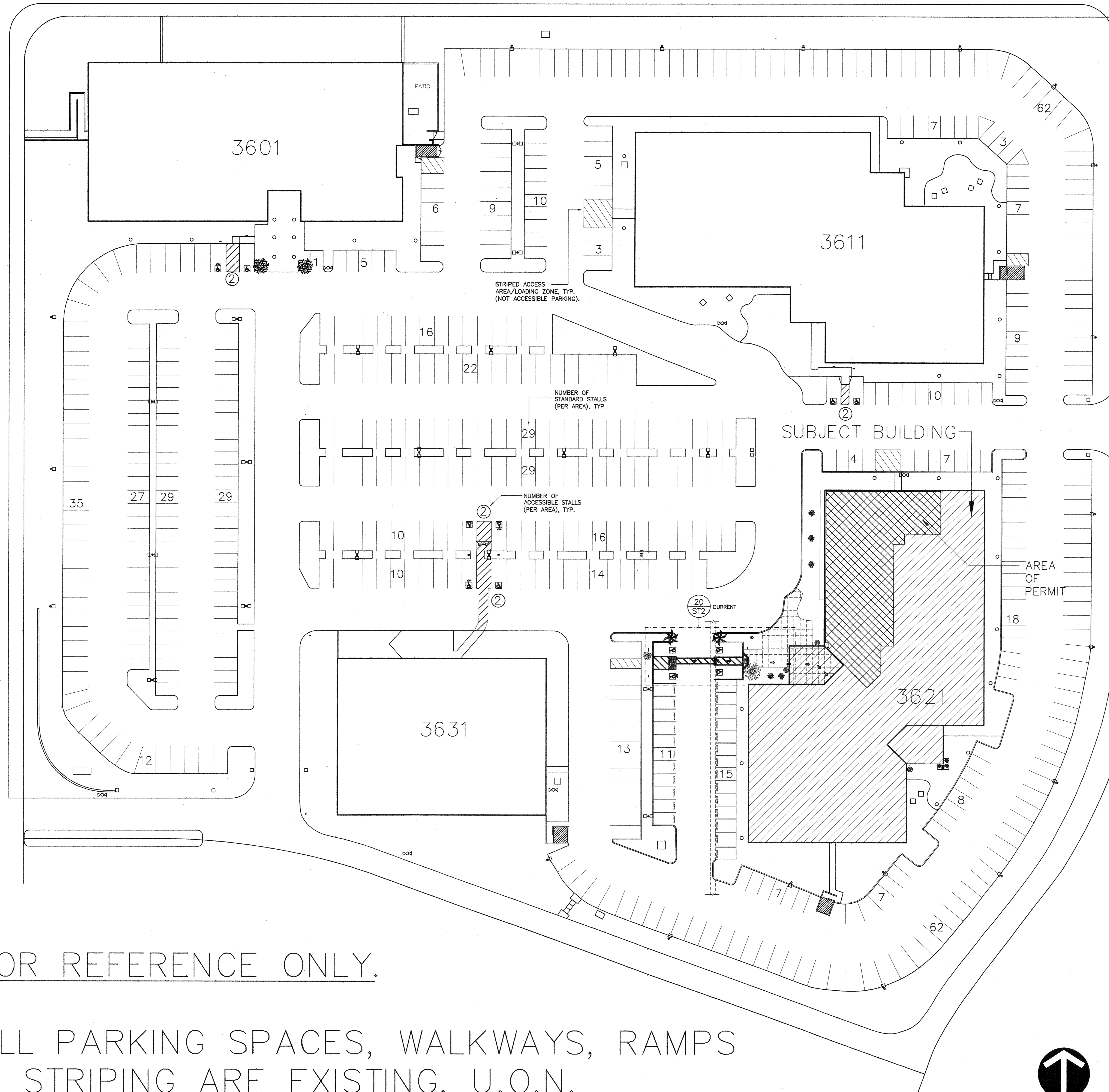
SQUARE FOOTAGE
USABLE: 5,486 SF

SECOND FLOOR
COVER SHEET
Sheet Title
Project Number 2778.15
Sheet Number A-0

10174236-37

LAKE CENTER DRIVE

HARBOR BLVD.



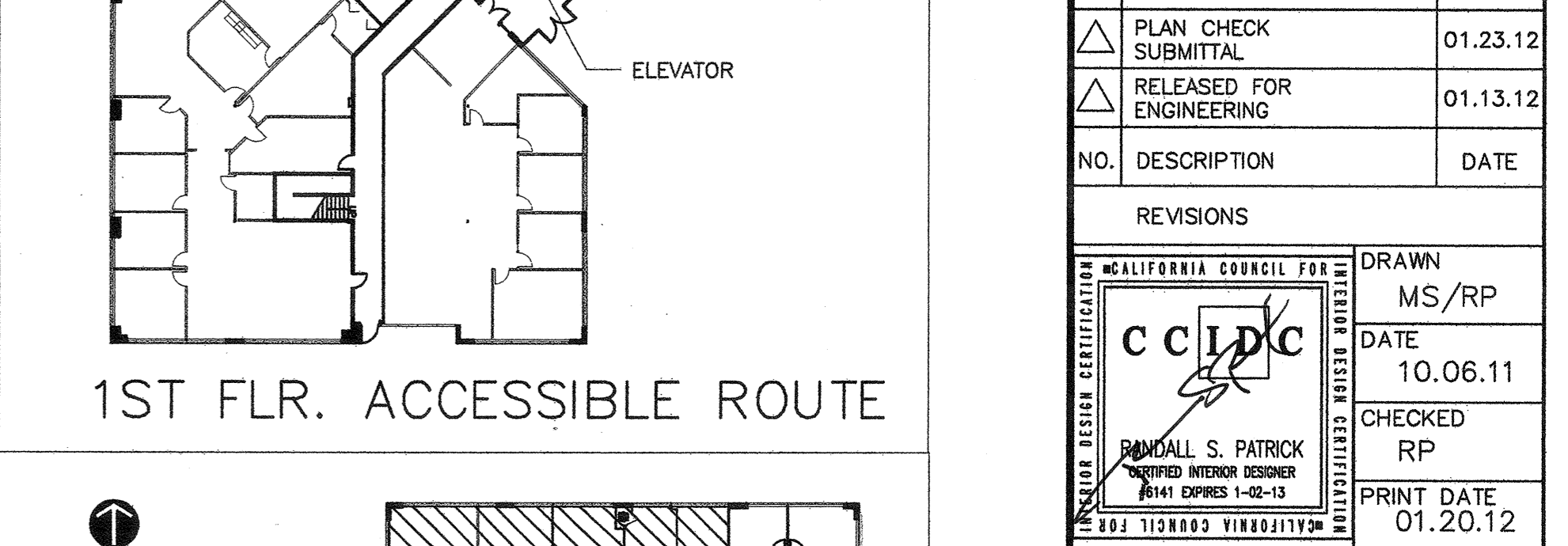
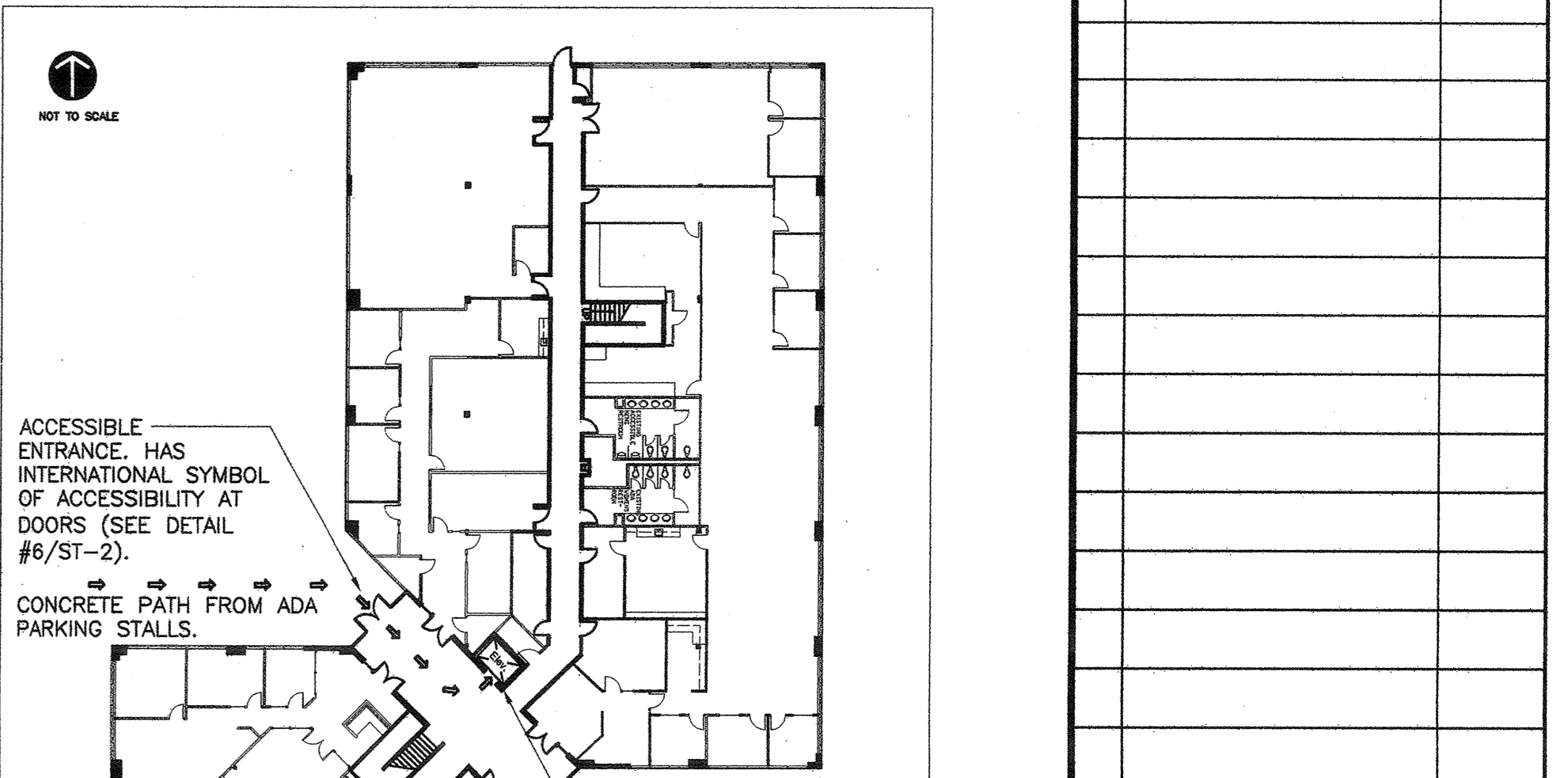
LEGEND

- SITE LIGHT FIXTURE
- ⊗ FIRE HYDRANT
- ↑ SIGNAGE
- BOLLARD
- ⊠ TRANSFORMER
- ▨ TRASH ENCLOSURE

STANDARD ACCESSIBLE PARKING:	9
VAN ACCESSIBLE PARKING:	3
TOTAL ACCESSIBLE PARKING:	12
STANDARD STALLS:	567
TOTAL PARKING STALLS:	579

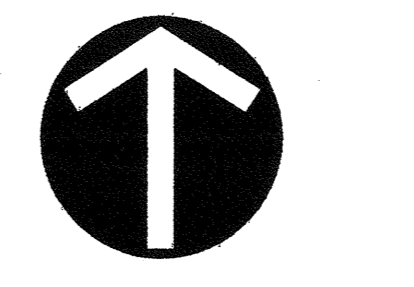
[TOTALS ABOVE INCLUDE 1 REGULAR ADA PARKING STALL ADDED PER RECENT STE WORK AT BUILDING 3621 FOR BELMONT PUBLISHING IN JULY 2011.]

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME, THE TENANT.



FOR REFERENCE ONLY.

ALL PARKING SPACES, WALKWAYS, RAMPS & STRIPING ARE EXISTING, U.O.N.



NOT TO SCALE

PROJECT

AR DEN
REALTY, INC.

HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS

SUITE 225

AGREED: _____
ACCEPTED THIS DAY OF _____, 2012

TENANT: _____
BY: _____

TITLE: _____

COMMENT: _____

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME, THE TENANT.

NO.	DESCRIPTION	DATE
△	PLAN CHECK SUBMITTAL	01.23.12
△	RELEASED FOR ENGINEERING	01.13.12

NO.	DESCRIPTION	DATE

REVISIONS

CALIFORNIA COUNCIL FOR PROFESSIONAL DESIGNERS

CCPDPC

MS/RP

DATE 10.06.11

CHECKED RP

PRINT DATE 01.20.12

INTERIOR PLANNING & DESIGN

SPACES

P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

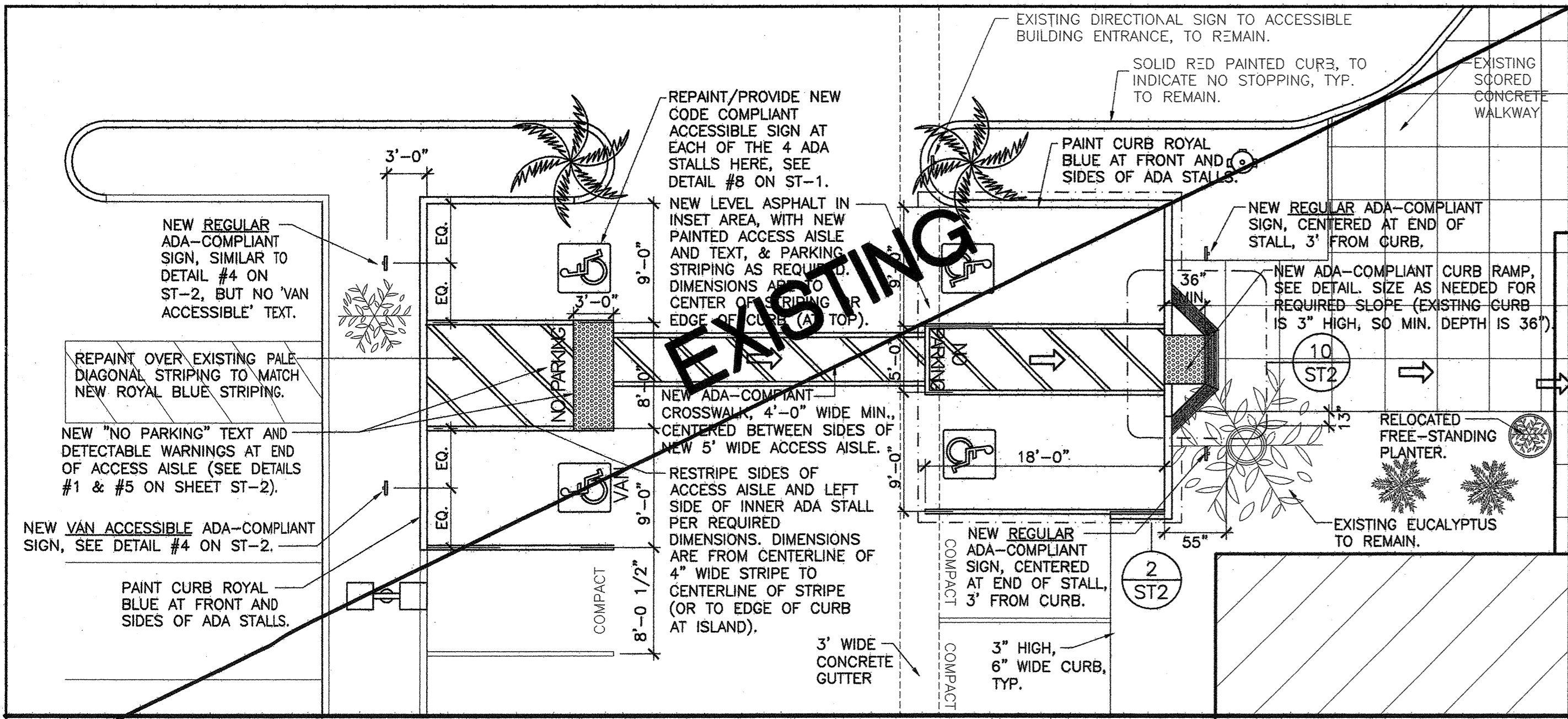
SQUARE FOOTAGE
USABLE: 5,486 SF

SECOND FLOOR
EXISTING SITE PLAN

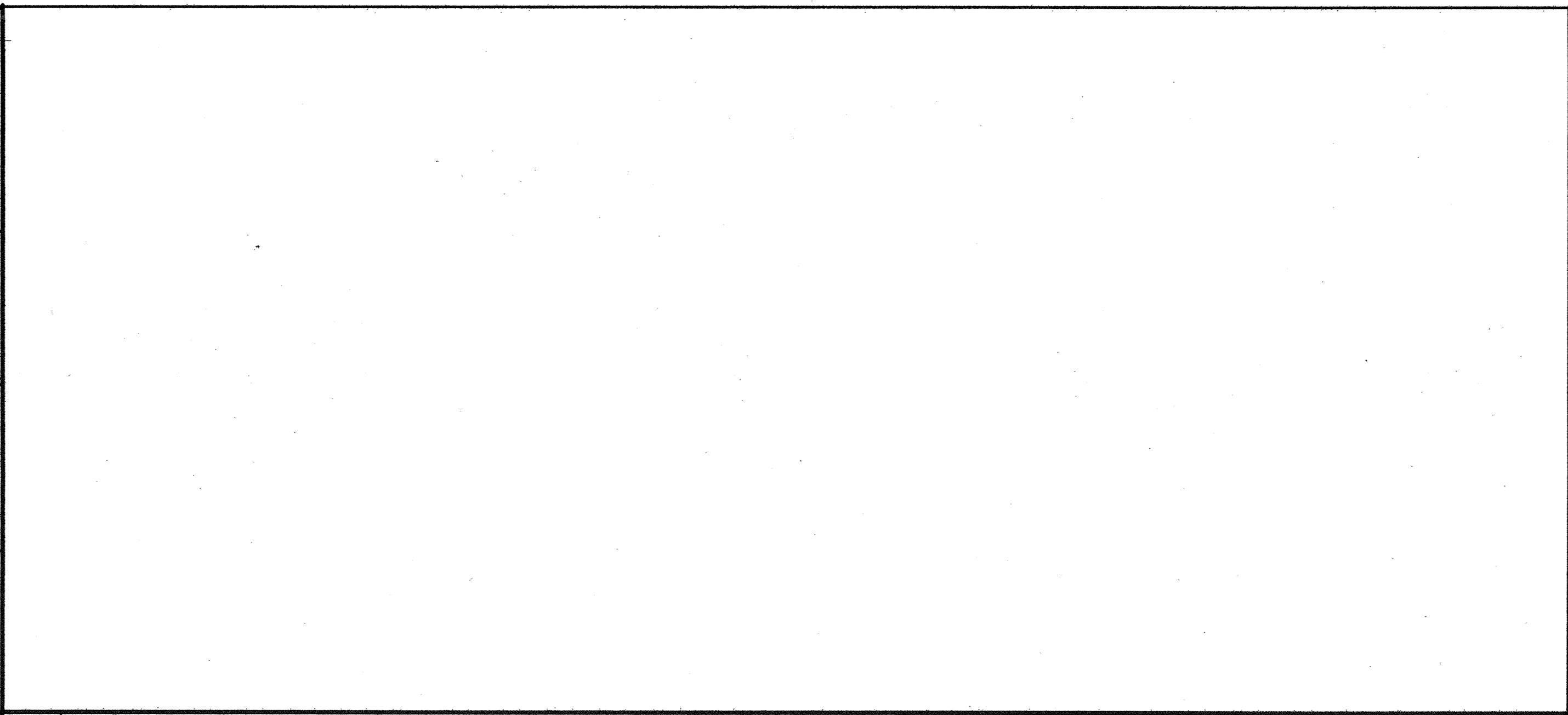
Sheet Title

Project Number 2778.15

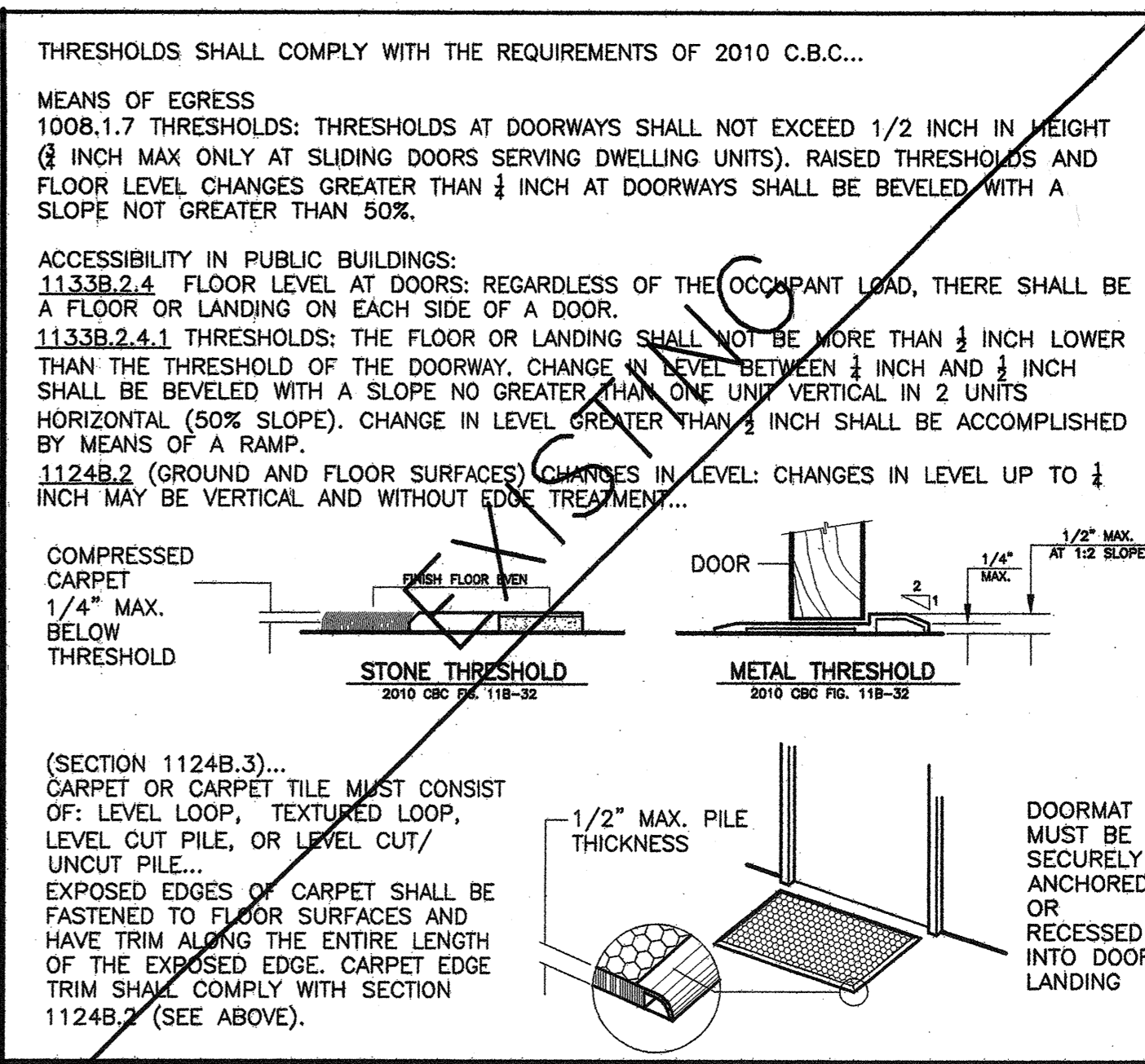
Sheet Number ST-1



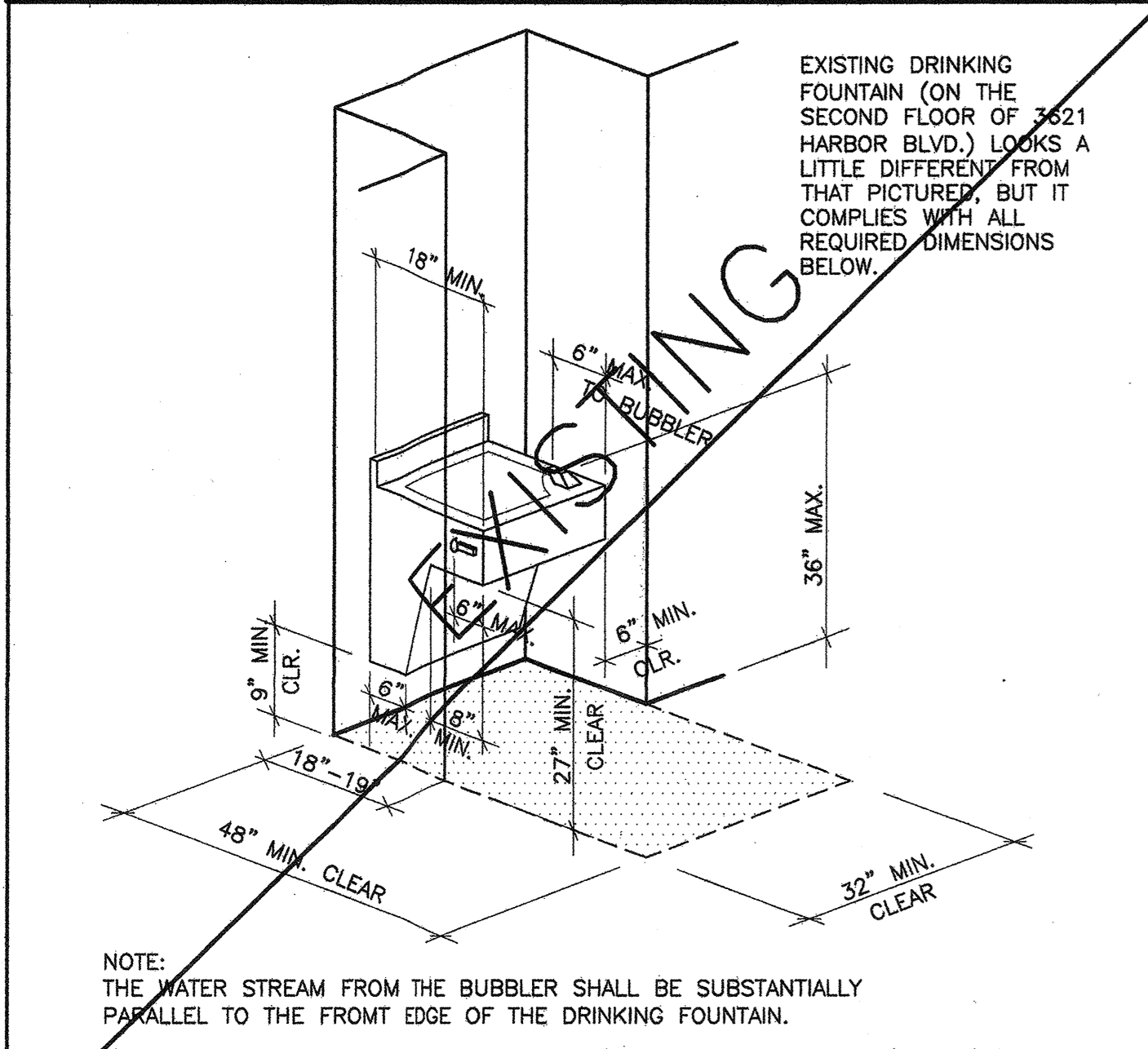
20 NEW PLAN AT ADA STALLS AT WEST SIDE OF 3621 BUILDING SCALE: 1/8" = 1'-0"



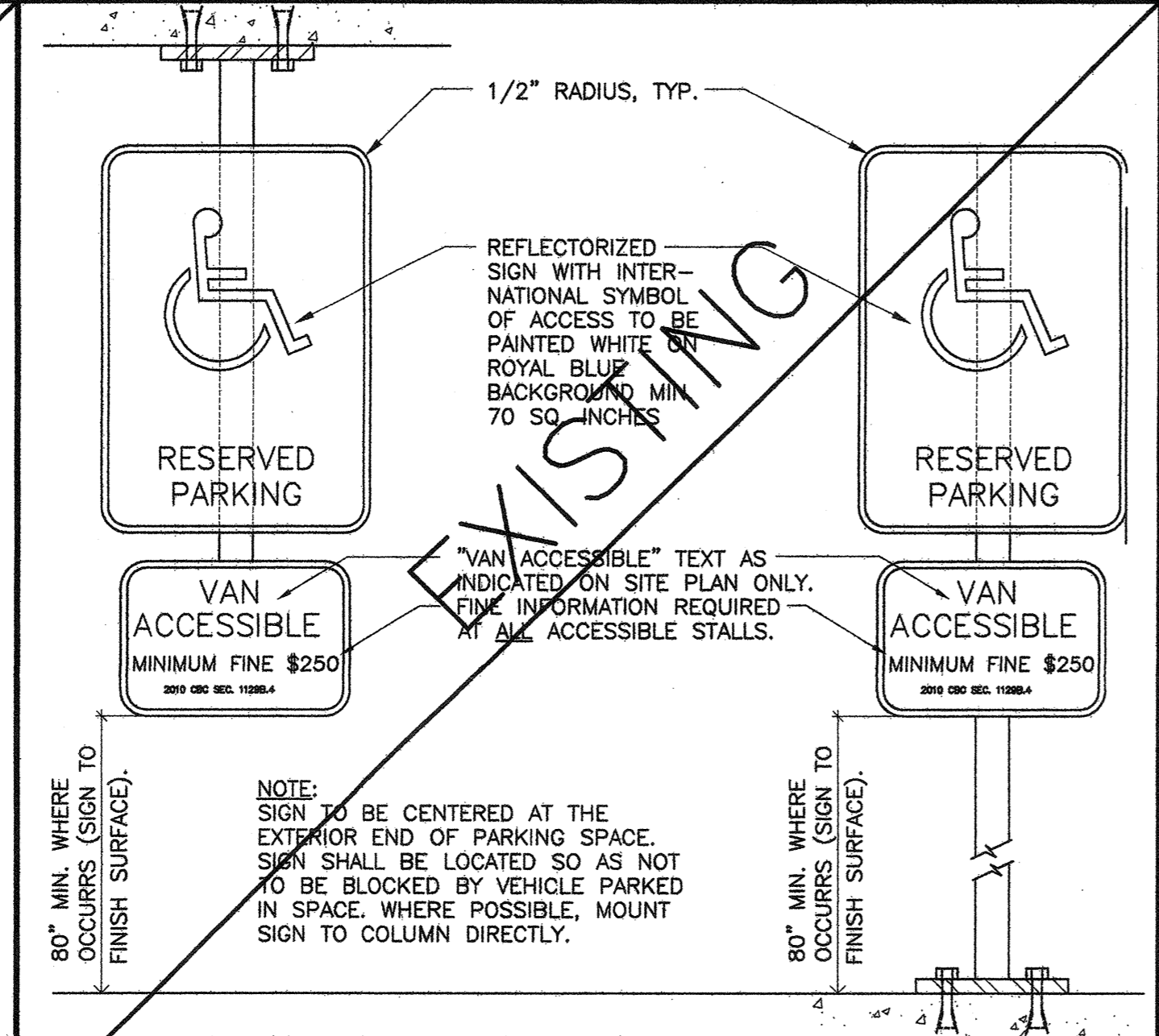
18 TYPICAL HANDRAILS SCALE: 1" = 1'-0"



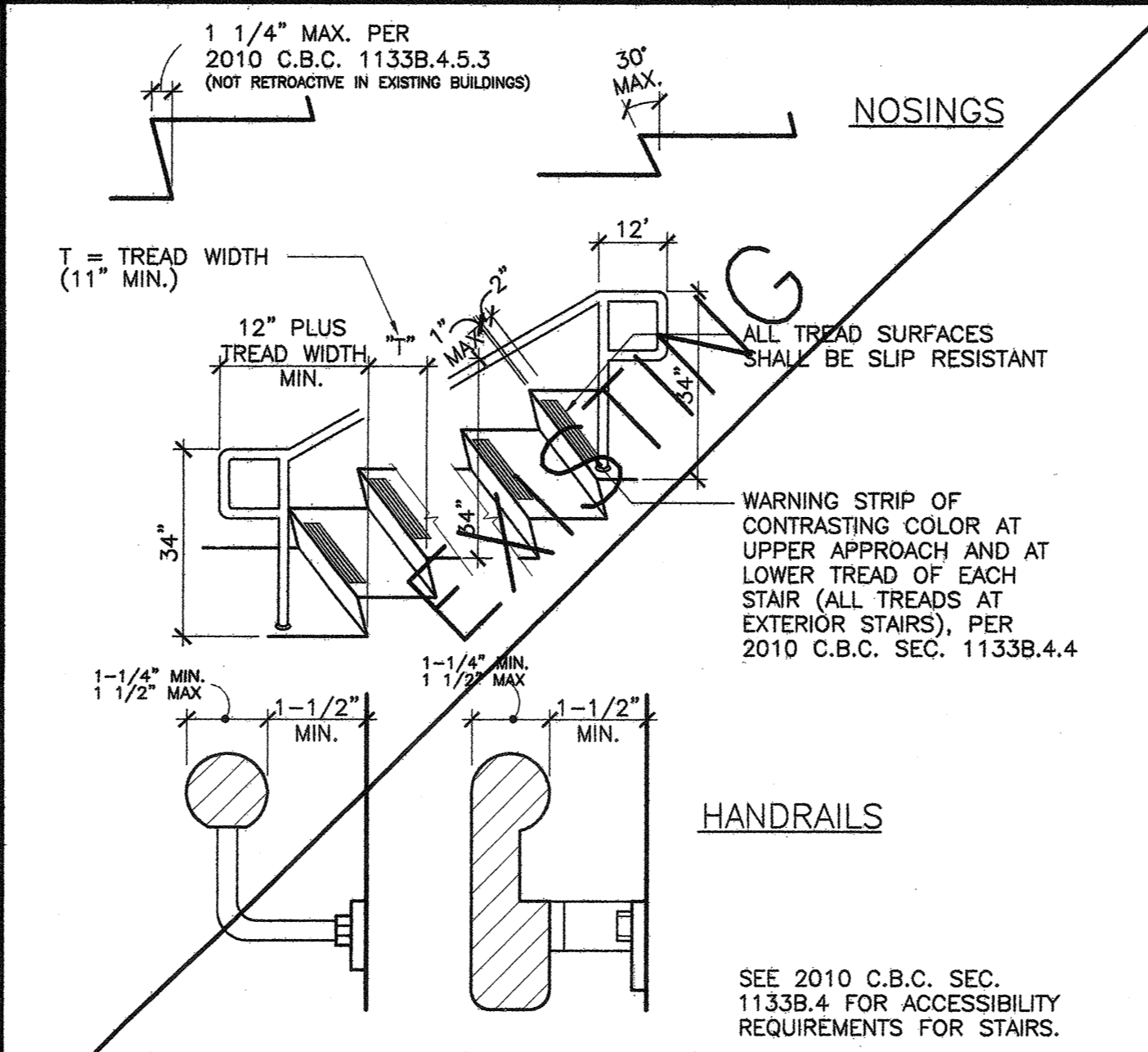
16 DOOR THRESHOLDS SCALE: 3/8" = 1'-0"



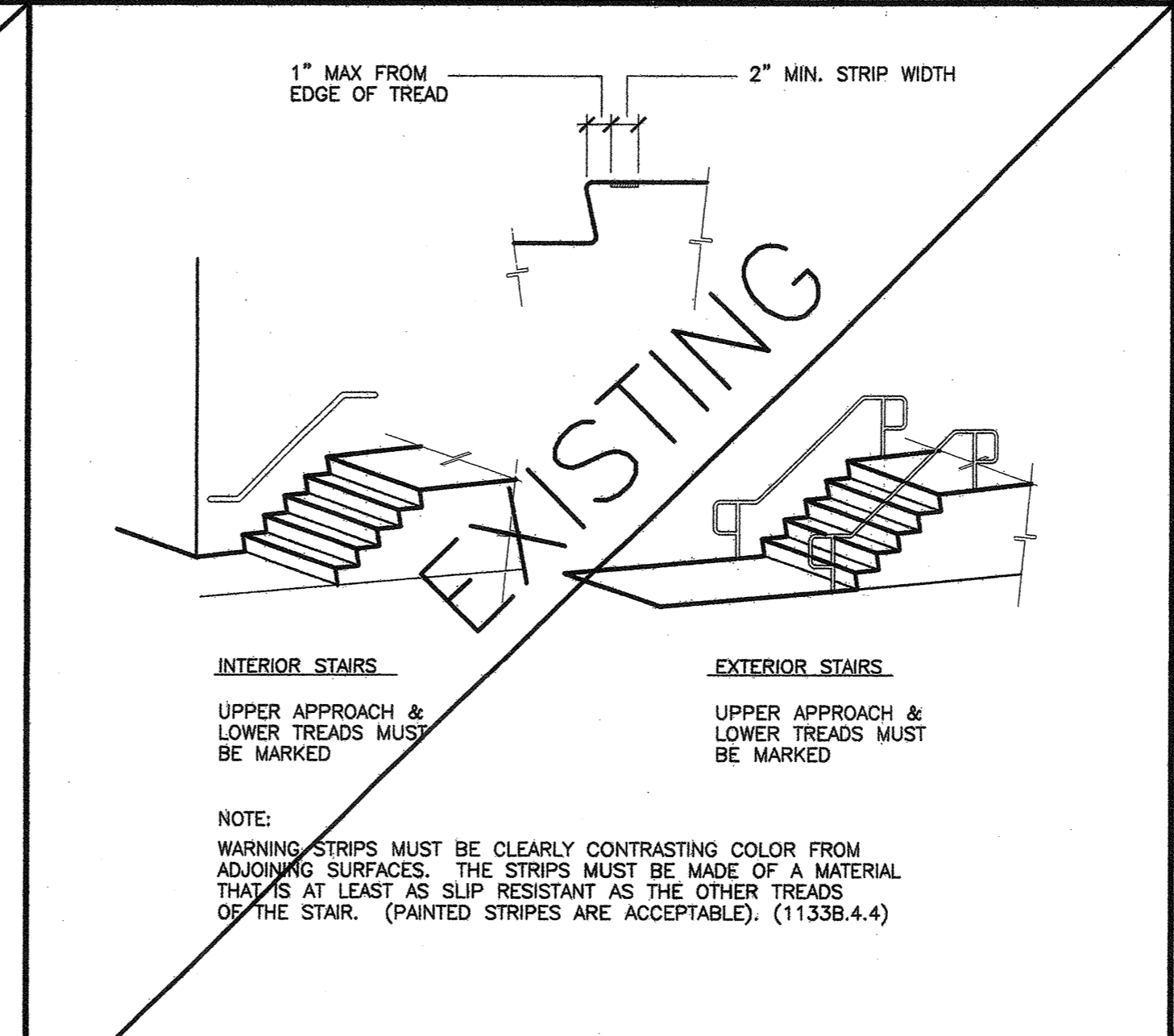
15 DRINKING FOUNTAIN SCALE: 1/2" = 1'-0"



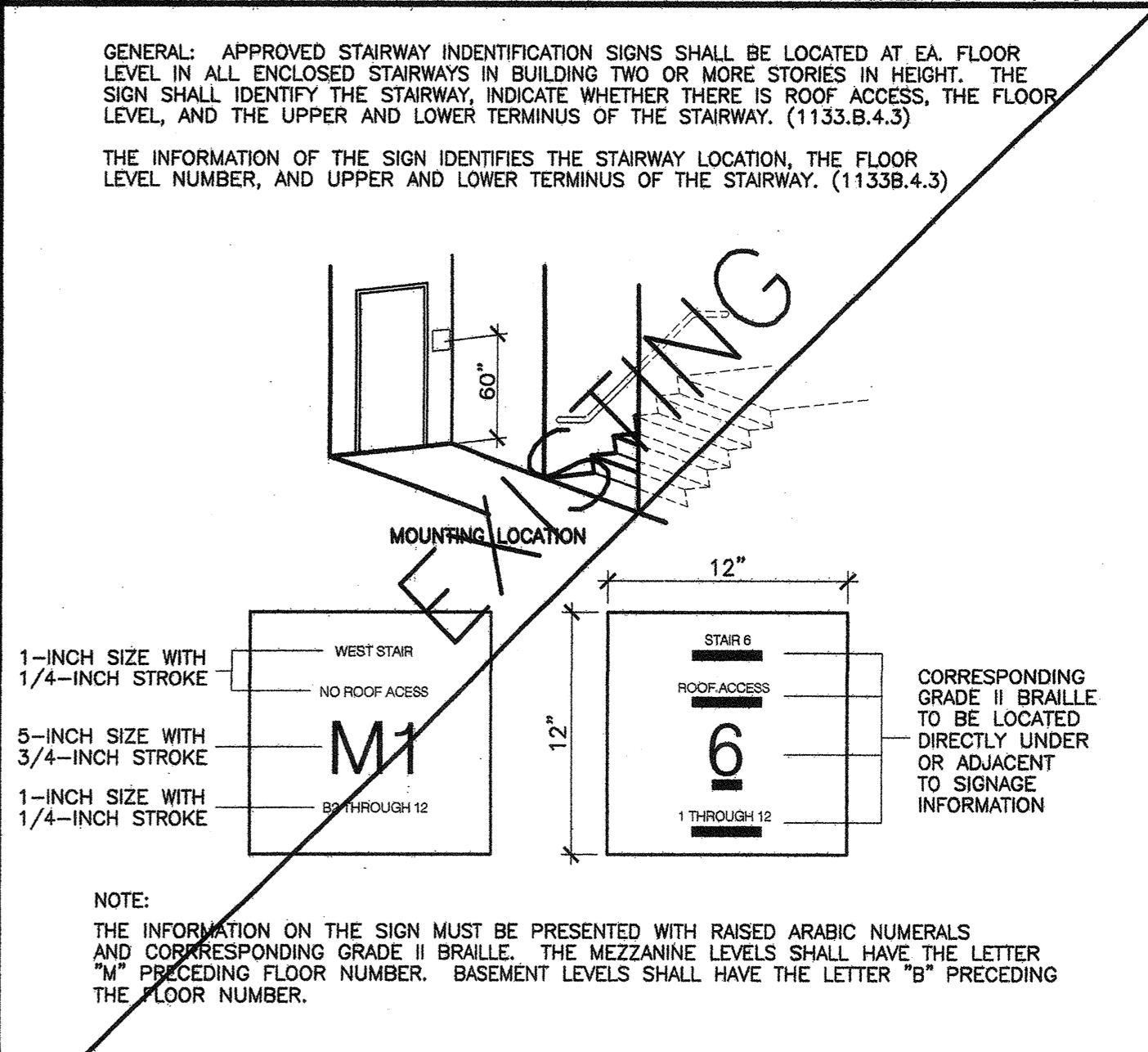
14 REQUIRED FOR TOW-AWAY FROM HANDICAPPED STALL SCALE: 1/2" = 1'-0"



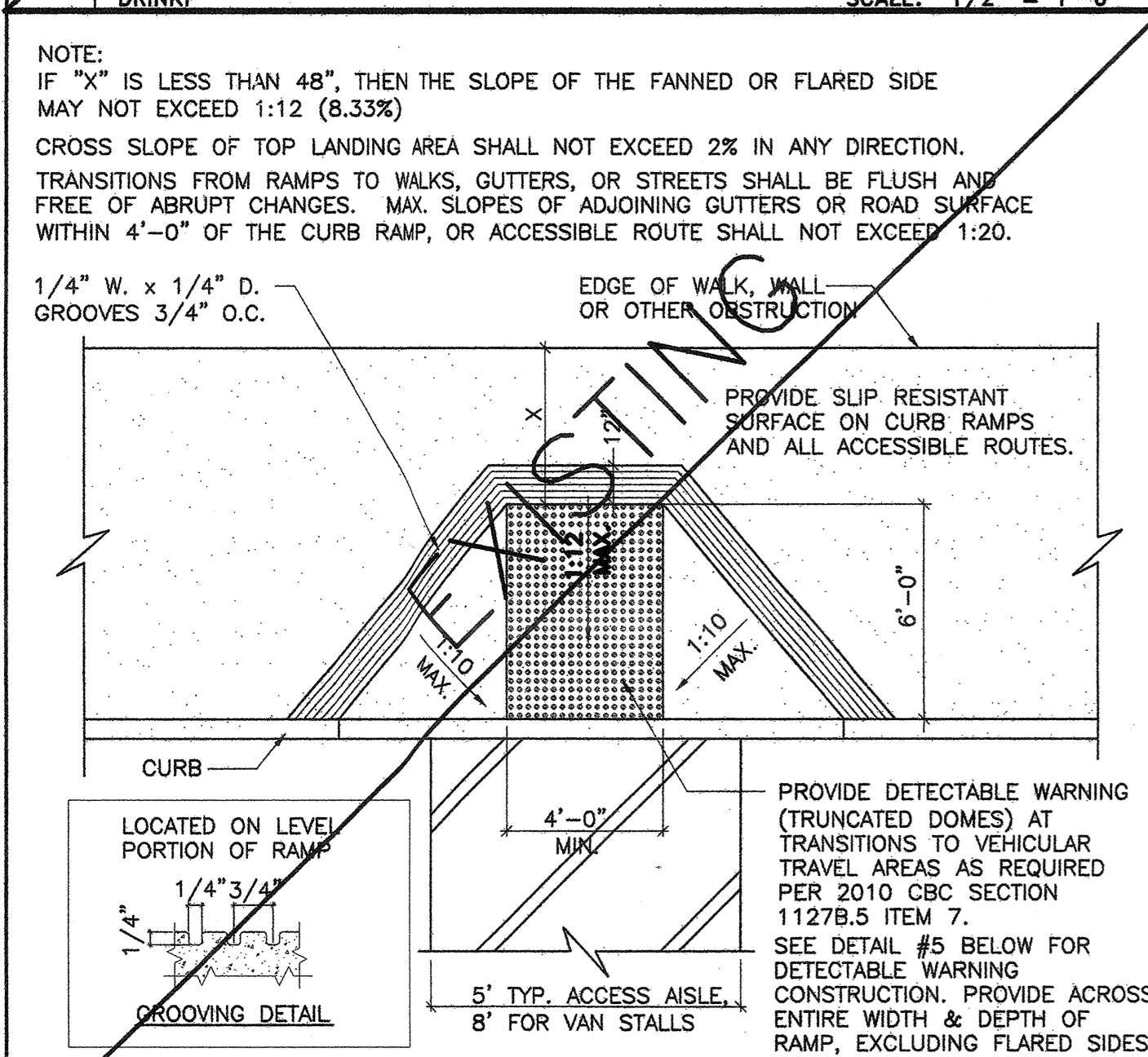
13 TYPICAL HANDRAILS SCALE: 1" = 1'-0"



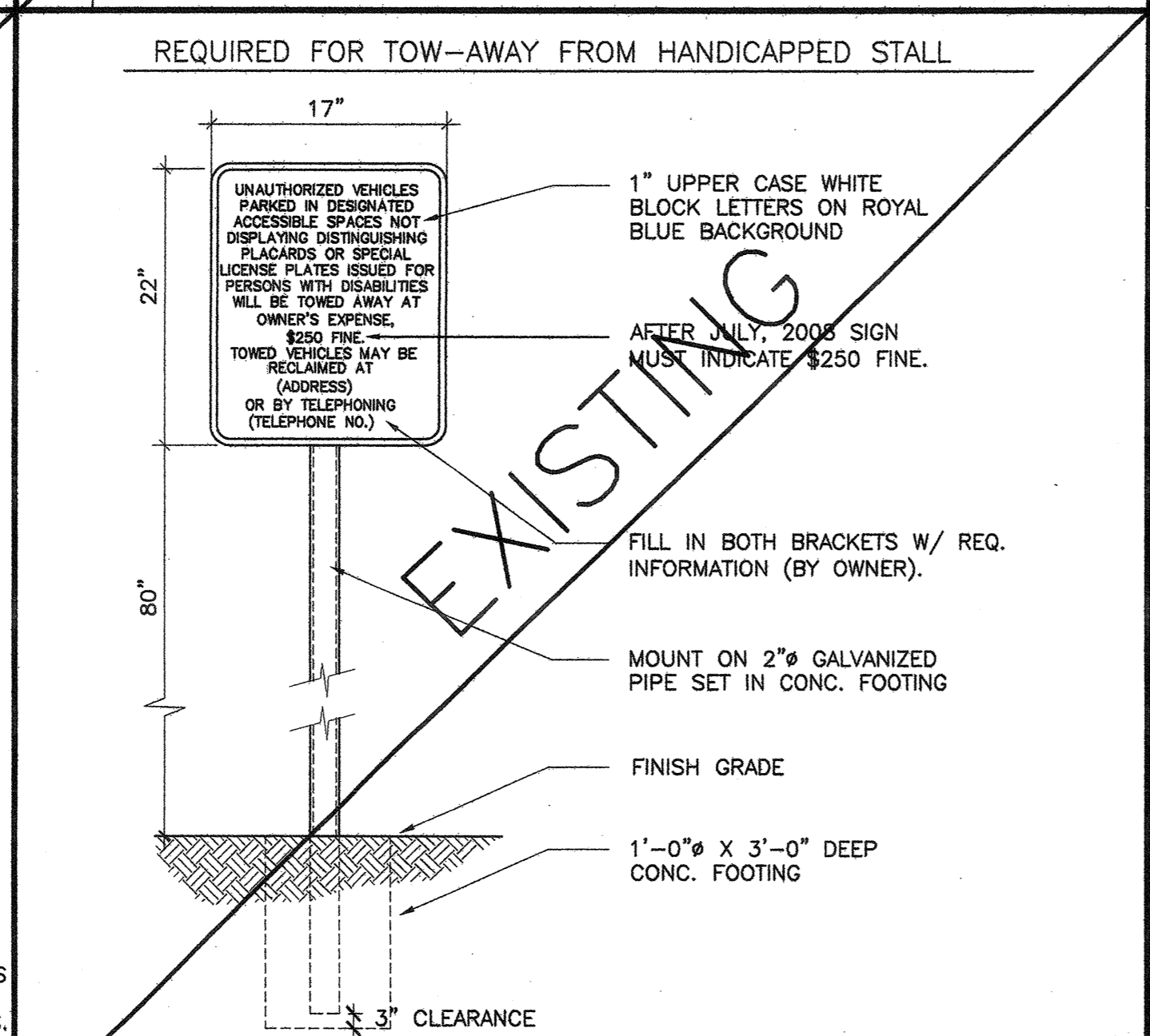
12 WARNING STRIPING SCALE: NTS



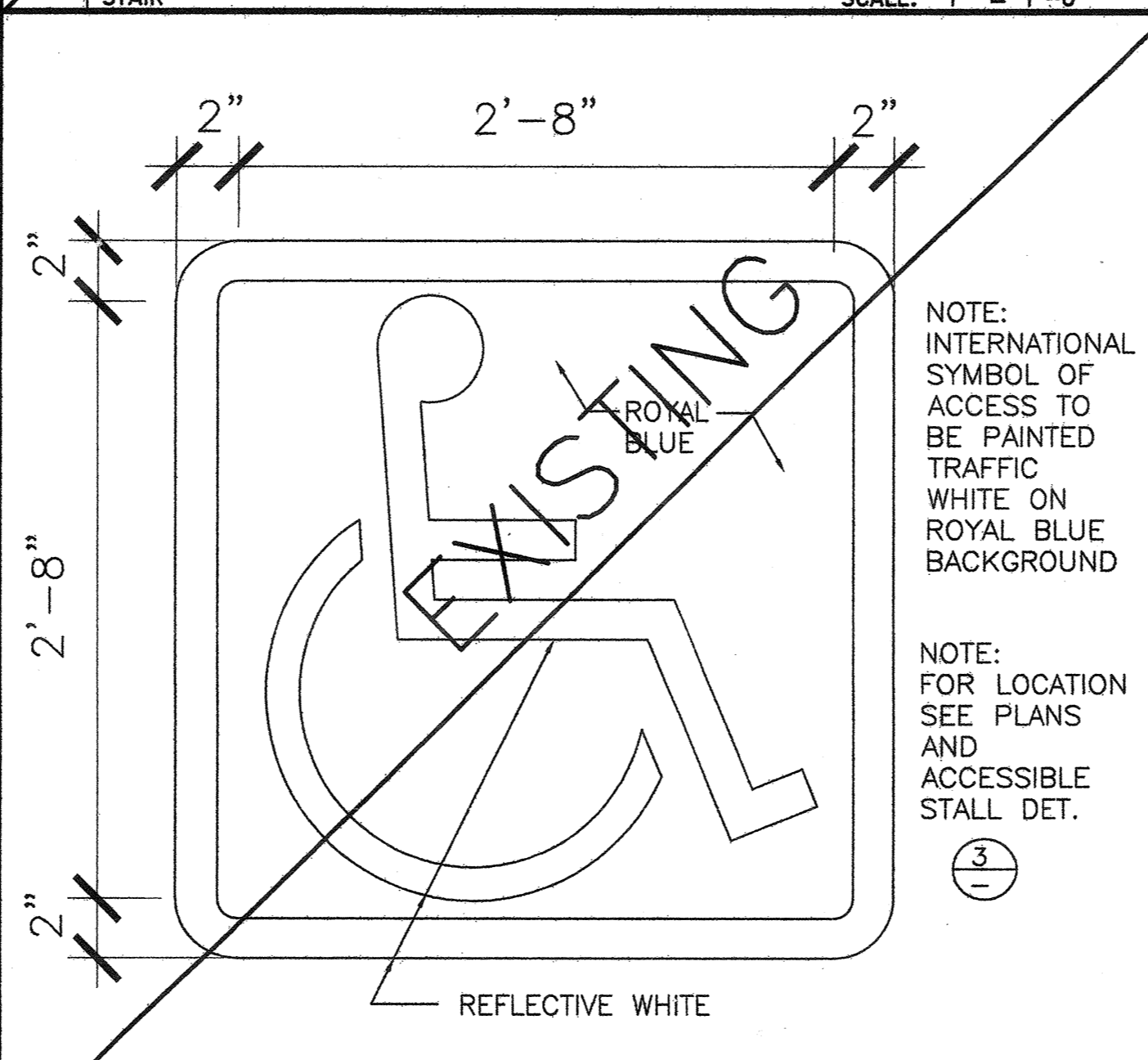
11 STAIRWAY IDENTIFICATION SCALE: NTS



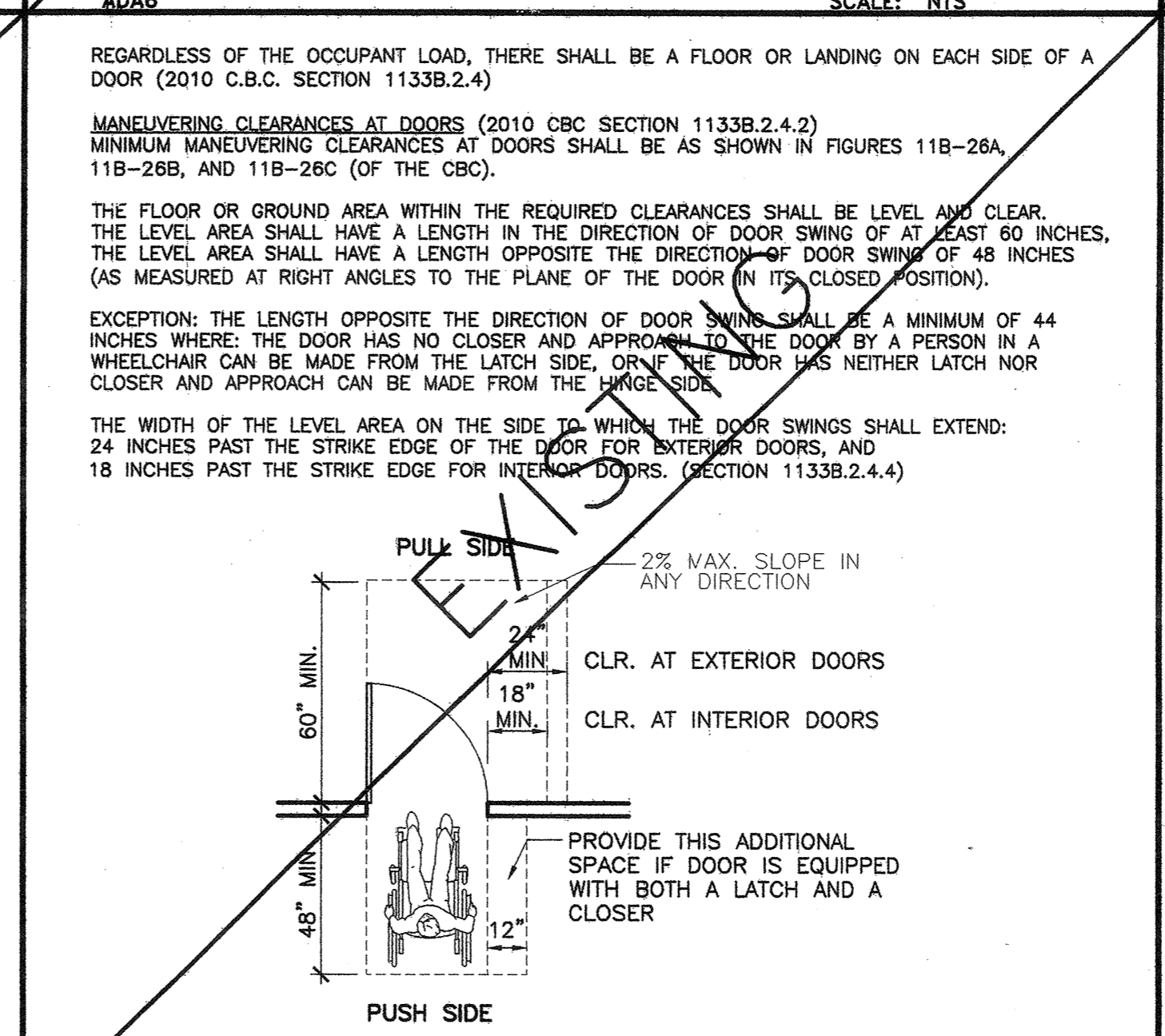
10 TYPICAL CURB RAMP SCALE: 1/4" = 1'-0"



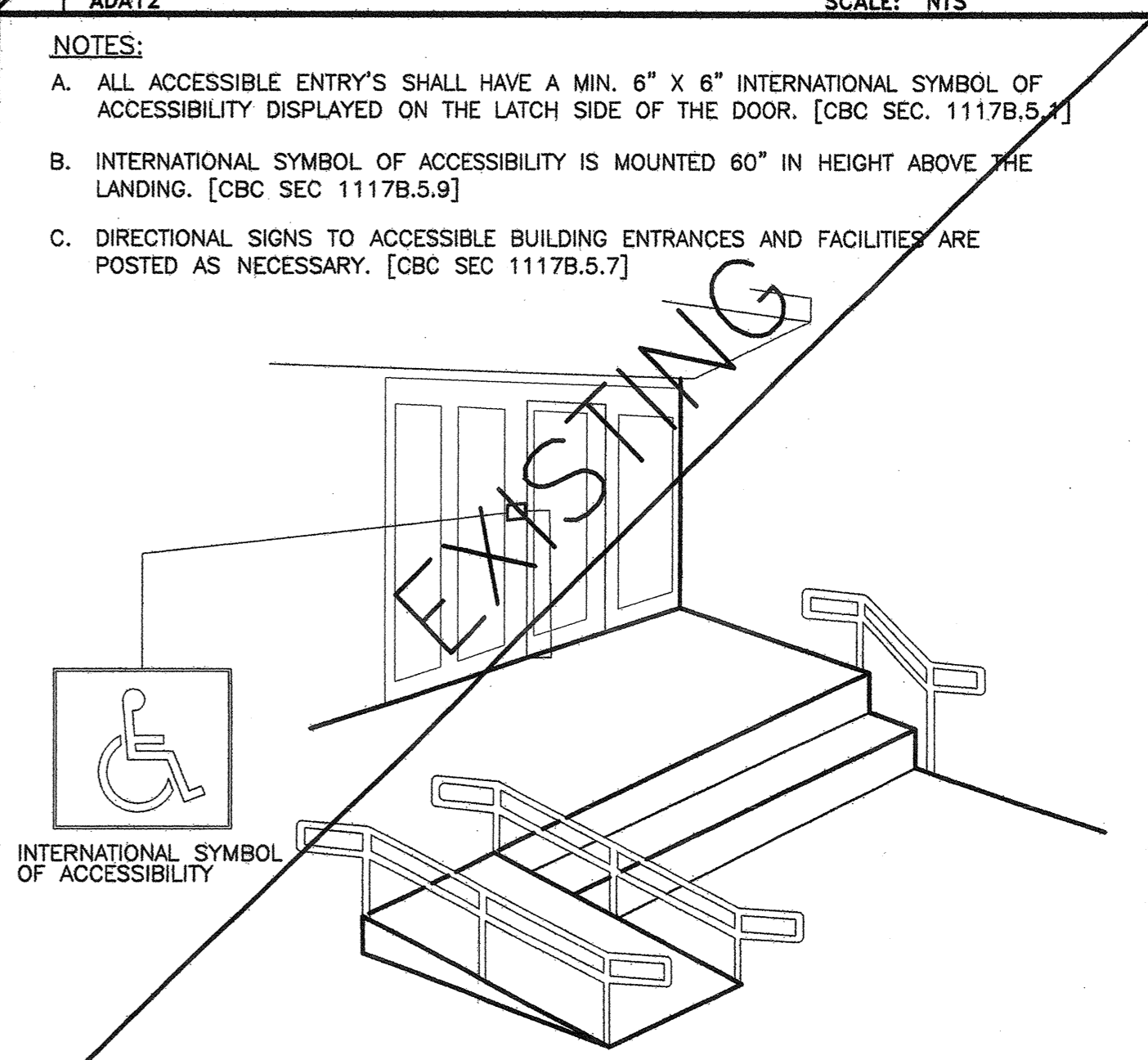
9 ACCESSIBLE WARNING SIGNAGE SCALE: 1/2" = 1'-0"



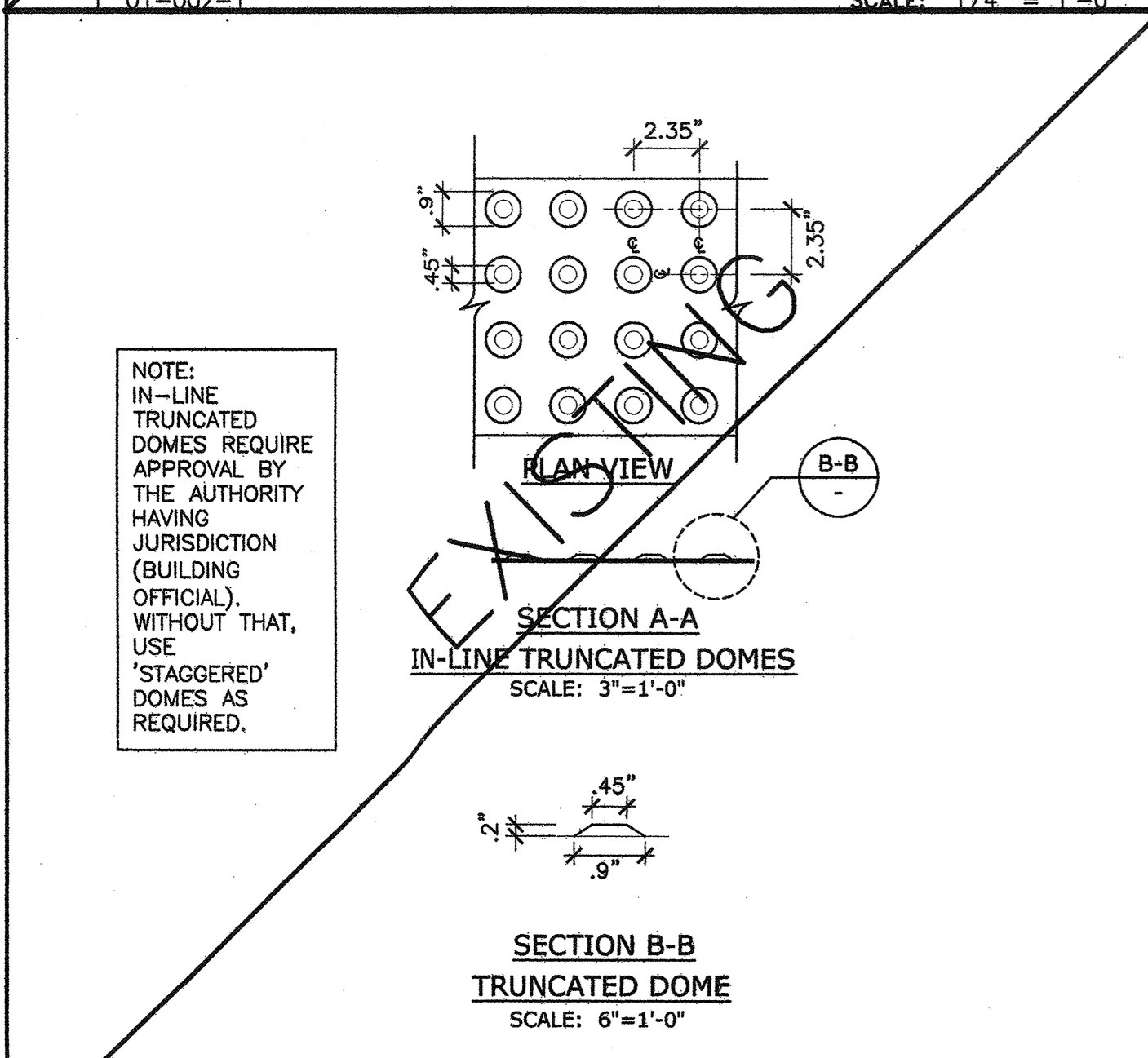
8 ACCESSIBLE PARKING SYMBOL SCALE: 1 1/2" = 1'-0"



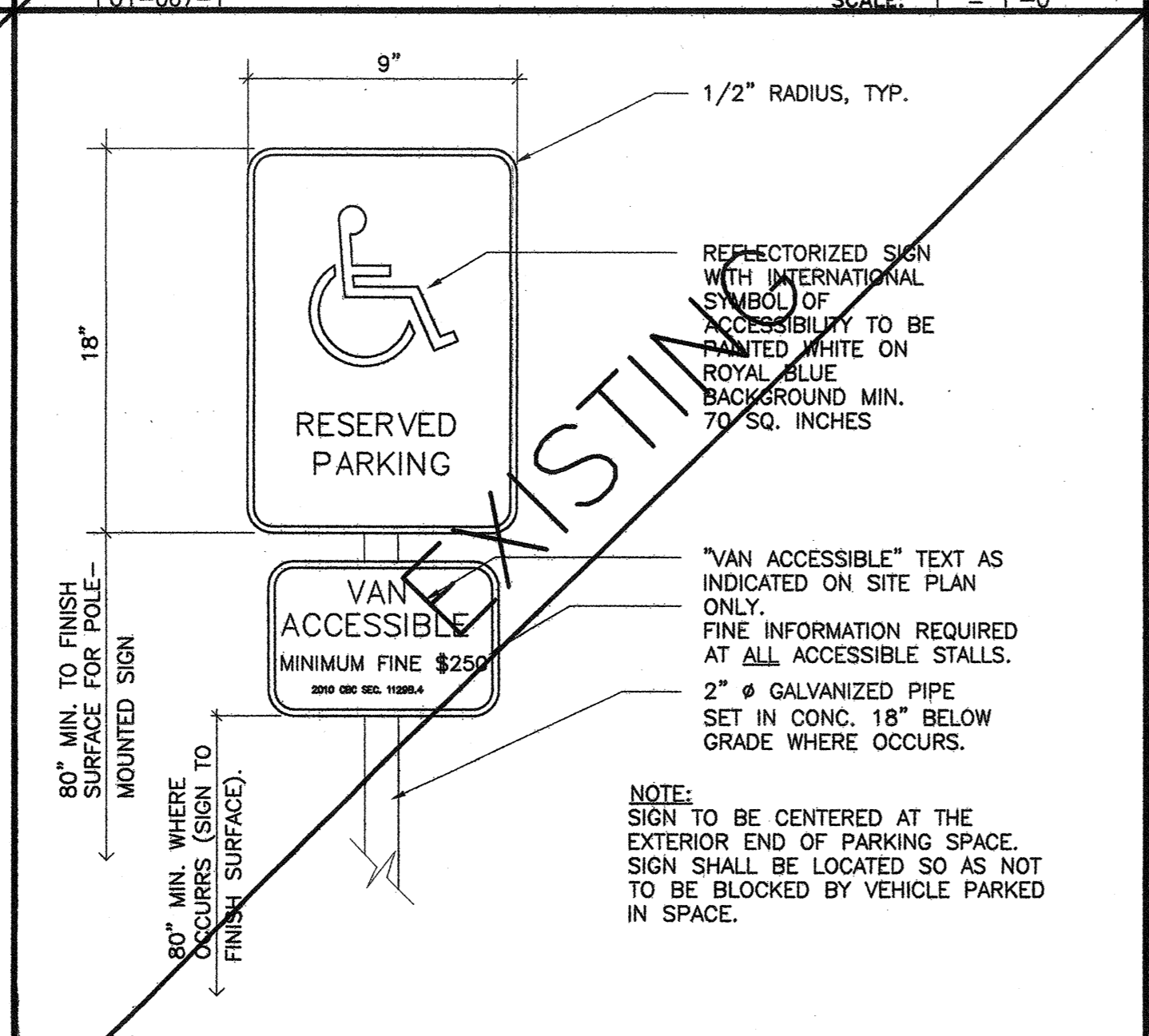
7 CLEAR SPACE AT DOORS SCALE: 1/4" = 1'-0"



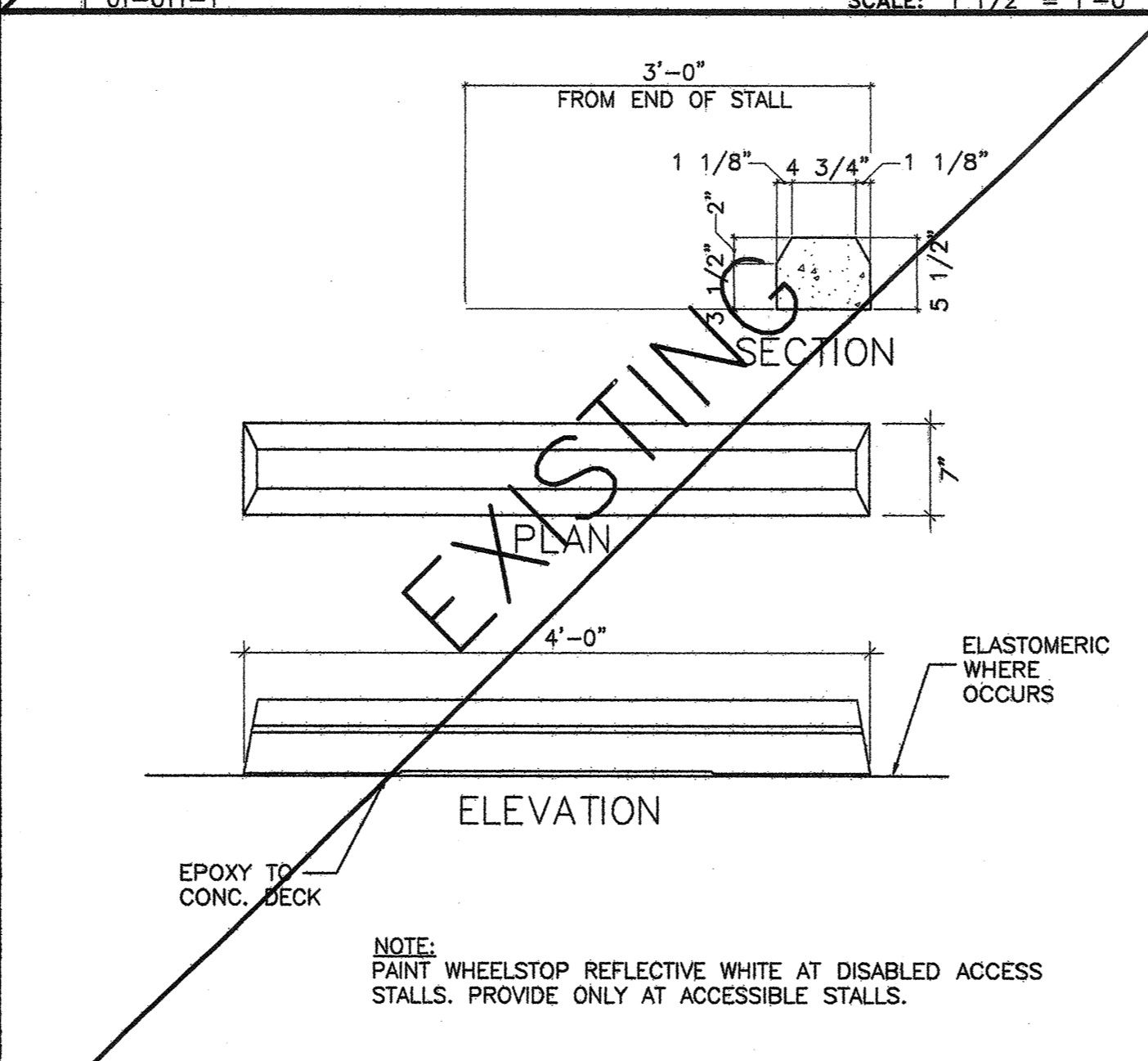
6 ENTRANCE SIGNAGE SCALE: N.T.S.



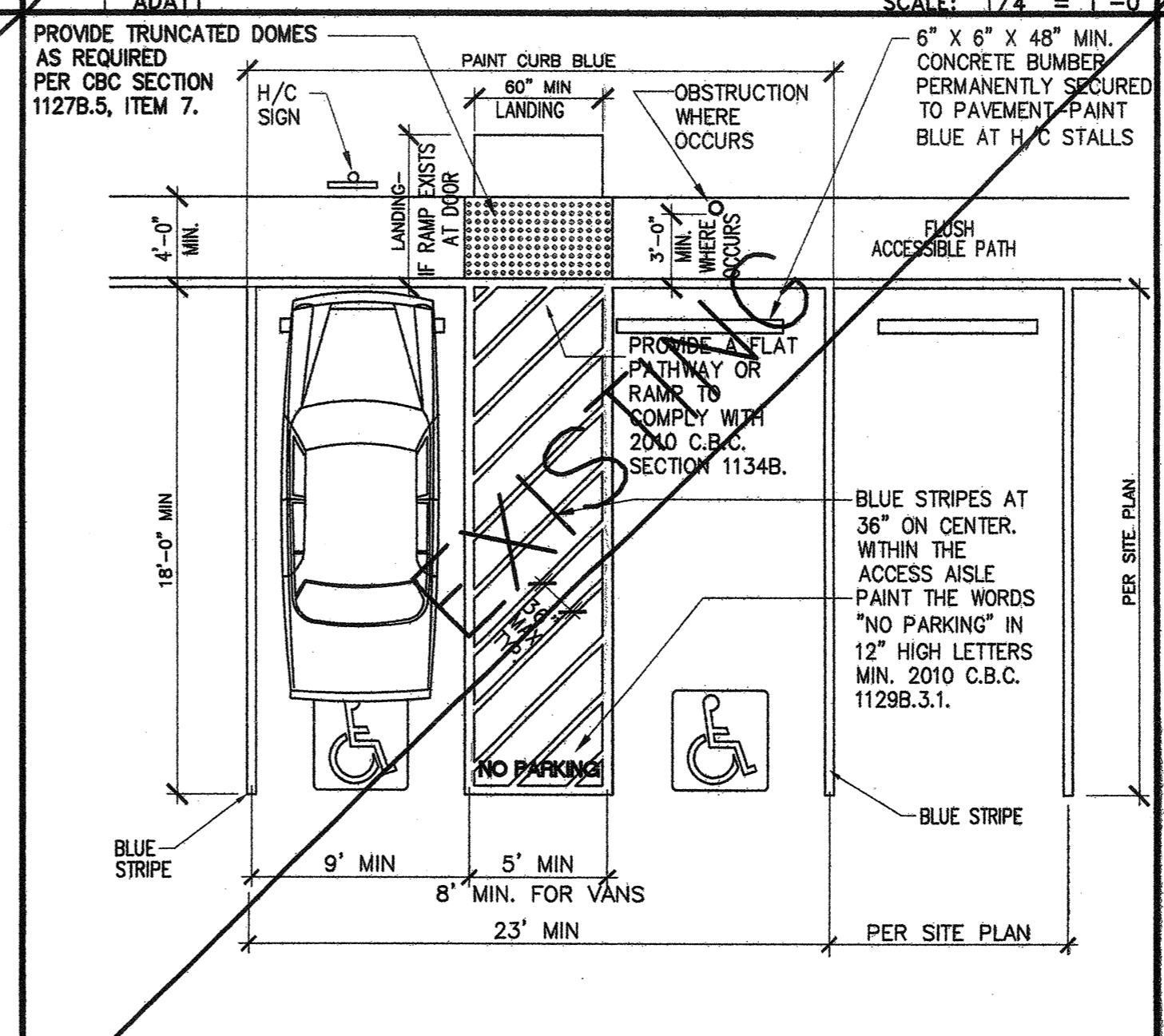
5 DETECTABLE WARNING DETAIL SCALE: 1" = 1'-0"



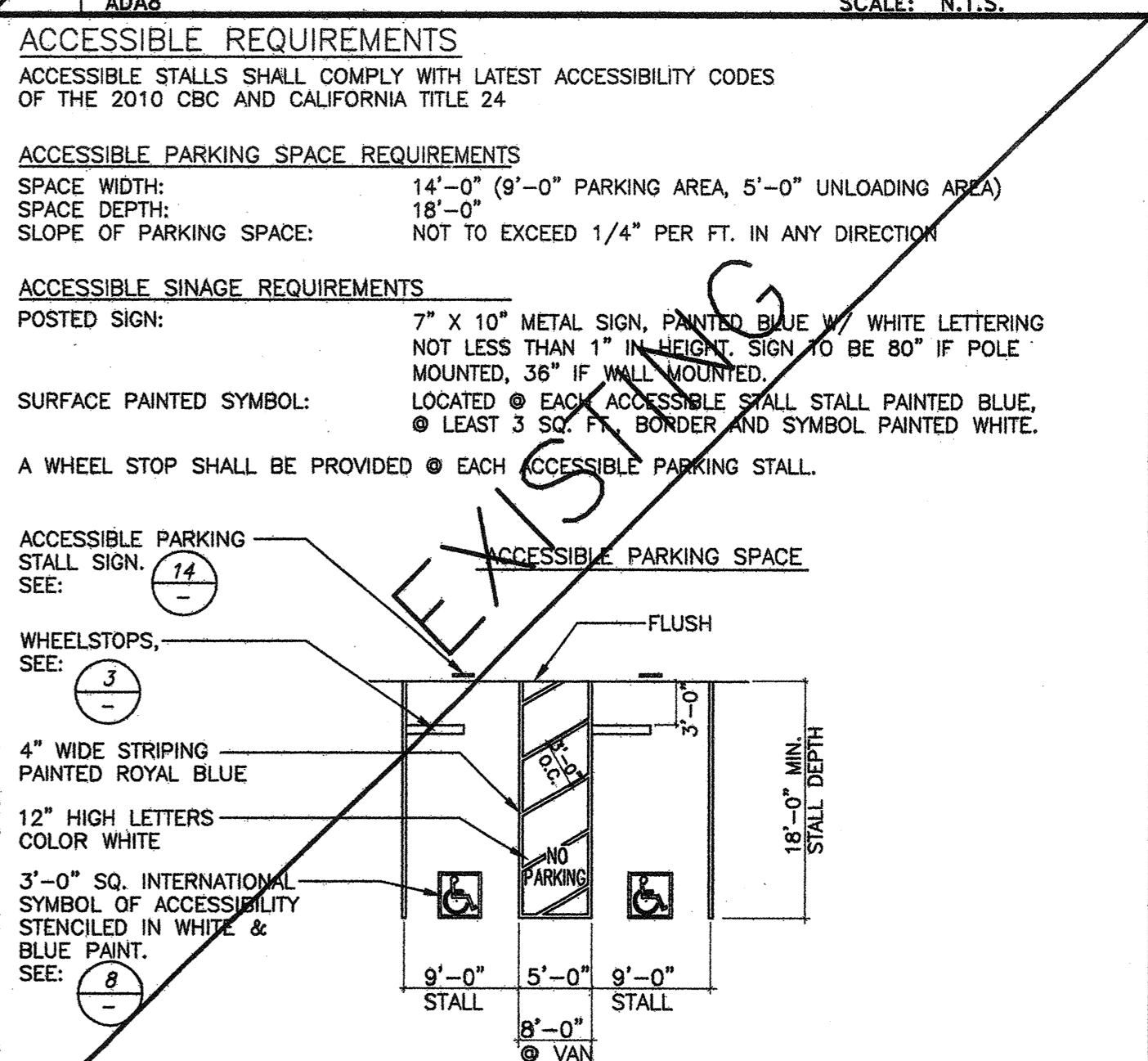
4 POLE MOUNTED ACCESSIBLE SIGN SCALE: 3/8" = 1'-0"



3 TYPICAL WHEELSTOP SCALE: 1" = 1'-0"



2 ACCESSIBLE PARKING STALLS SCALE: 3/32" = 1'-0"



1 DOUBLE ACCESSIBLE STALL SCALE: 3/32" = 1'-0"

PROJECT

ARDEN REALTY, INC.

HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS

SUITE 225

AGREED: _____
ACCEPTED THIS DAY OF _____, 2012

TENANT: _____
BY: _____
TITLE: _____

COMMENT: _____

IF YOU SIGN THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

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NO.	DESCRIPTION	DATE
1	PLAN CHECK SUBMITTAL	01.23.12
2	RELEASED FOR ENGINEERING	01.13.12

REVISIONS	DATE
1	10.06.11
2	01.20.12

INTERIOR PLANNING & DESIGN

SPACES

P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

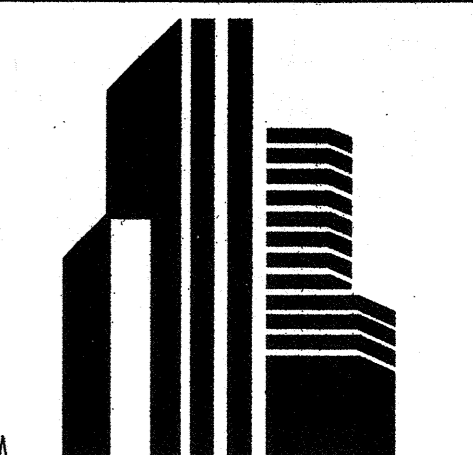
SQUARE FOOTAGE

USABLE: 5,486 SF

SECOND FLOOR ACCESSIBLE PARKING DETAILS

Sheet Title _____
Project Number 2778.15
Sheet Number ST-2

JAN 23 2012



ARDEN REALTY, INC.

HARBOR CORPORATE PARK 3621 SOUTH HARBOR BOULEVARD SANTA ANA, CA 92705

TRAINING CONSULTANTS

SUITE 225

AGREED: ACCEPTED THIS DAY OF 2012

TENANT: _____

BY: _____

TITLE: _____

COMMENT: _____

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO SIGN MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

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PLAN CHECK SUBMITTAL 01.23.12

RELEASED FOR ENGINEERING 01.13.12

NO. DESCRIPTION DATE

REVISIONS

DATE 10.06.11

CHECKED RP

PRINT DATE 01.20.12

INTERIOR PLANNING & DESIGN

SPACES P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614

949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE

USABLE: 5,486 SF

SECOND FLOOR

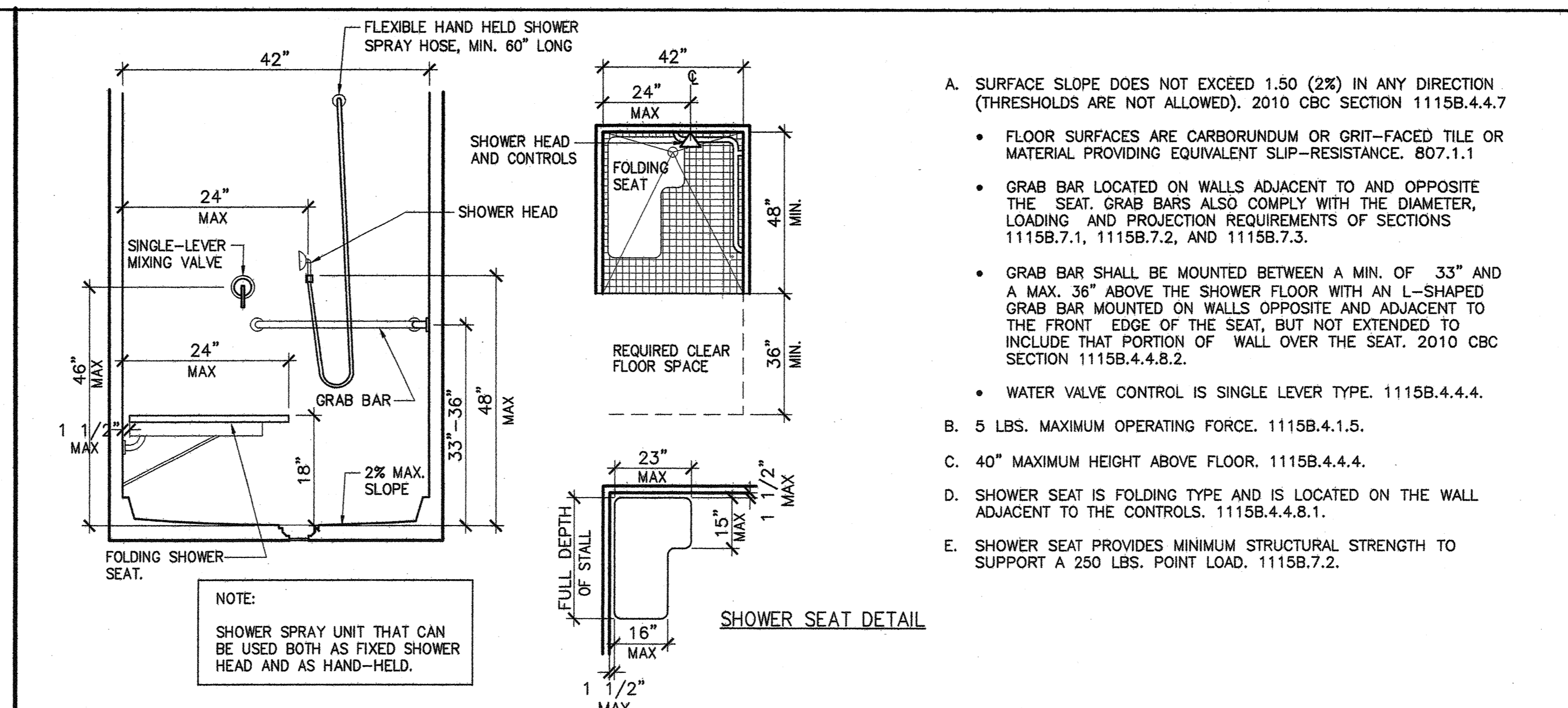
ACCESSIBLE RESTROOM DETAILS

Sheet Title

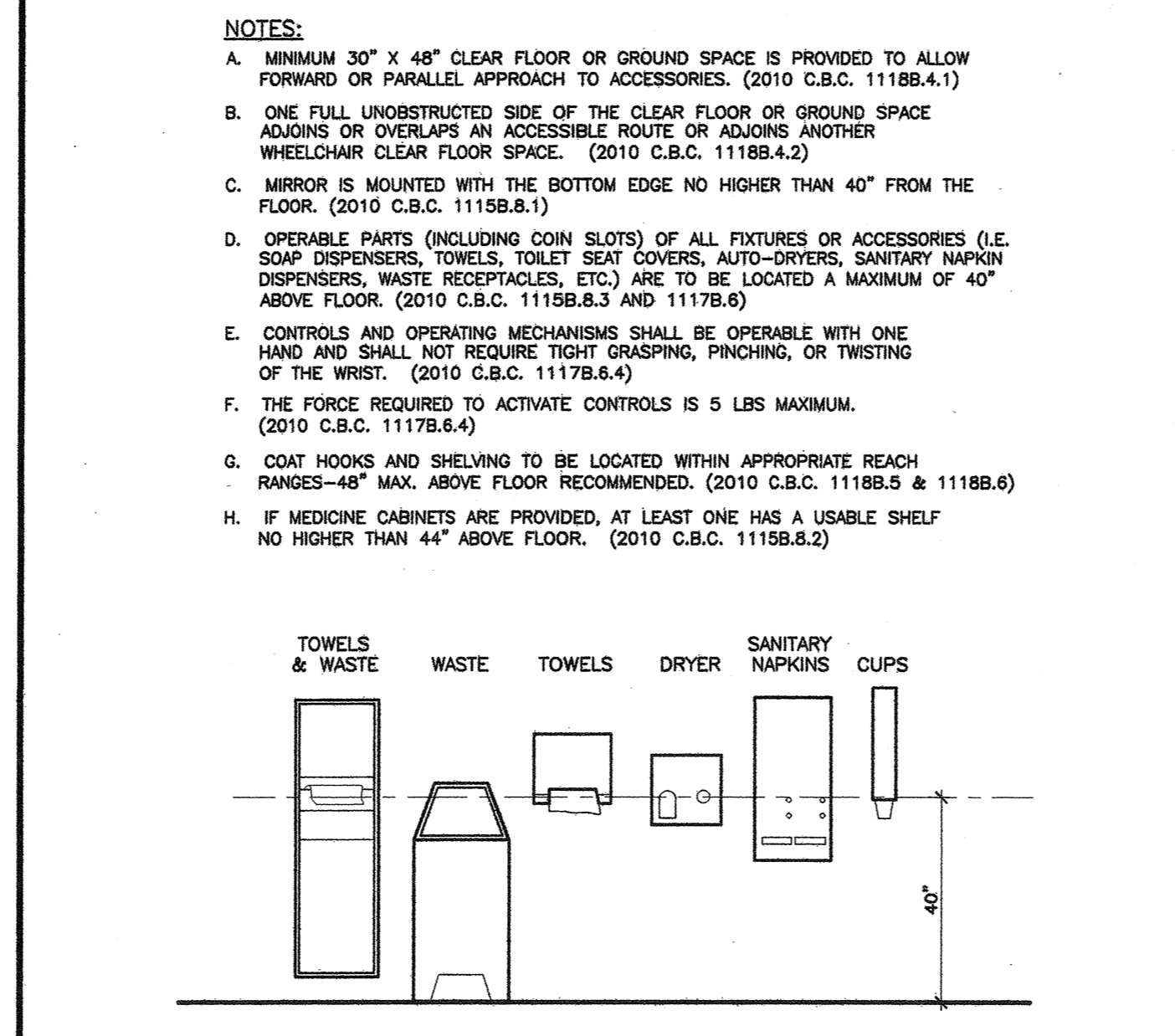
Project Number 2778.15

Sheet Number RR-1

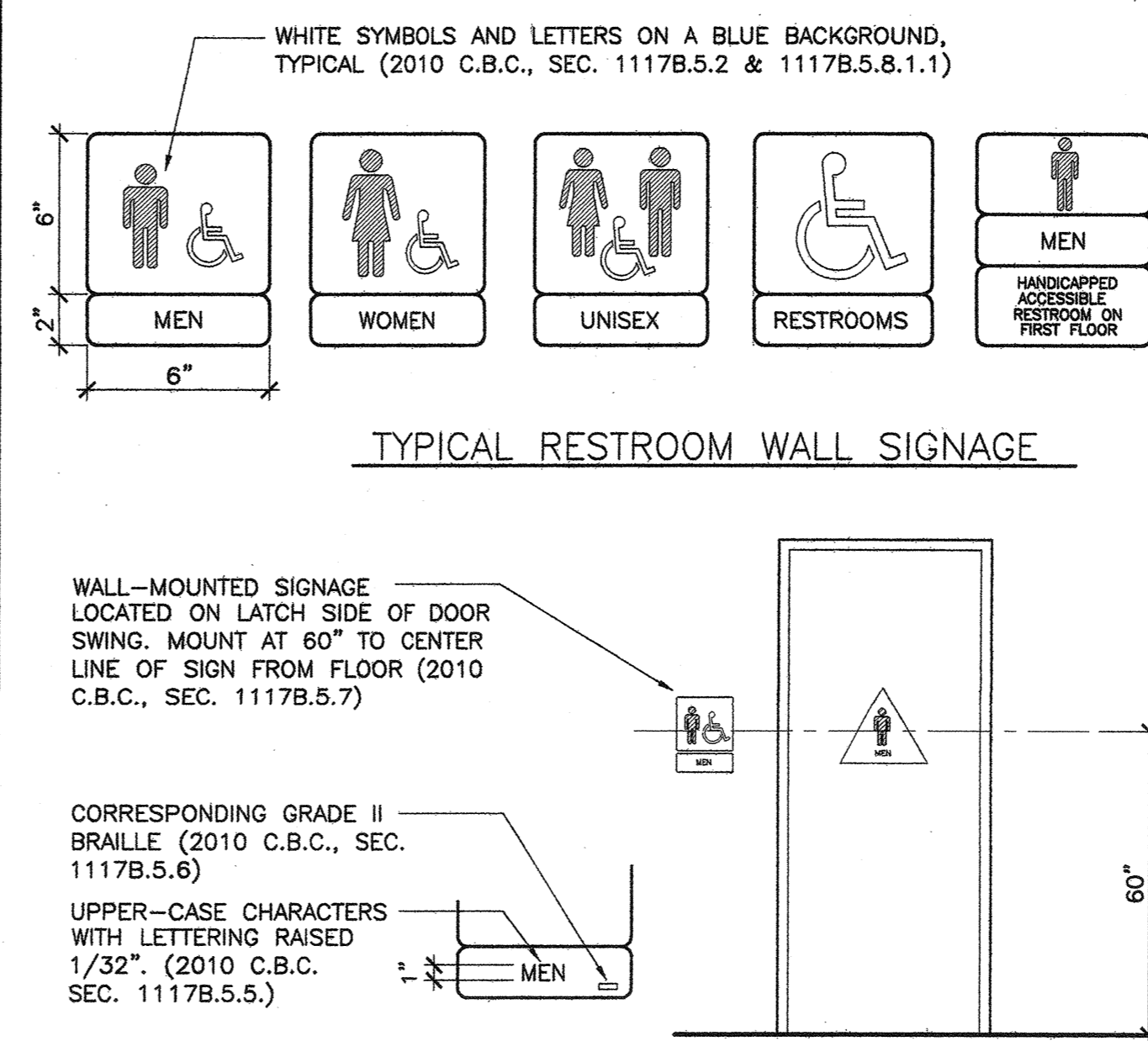
JAN 23 2012



18 TYPICAL CALIFORNIA TITLE 24 COMPLIANT SHOWER - FOR REFERENCE ONLY



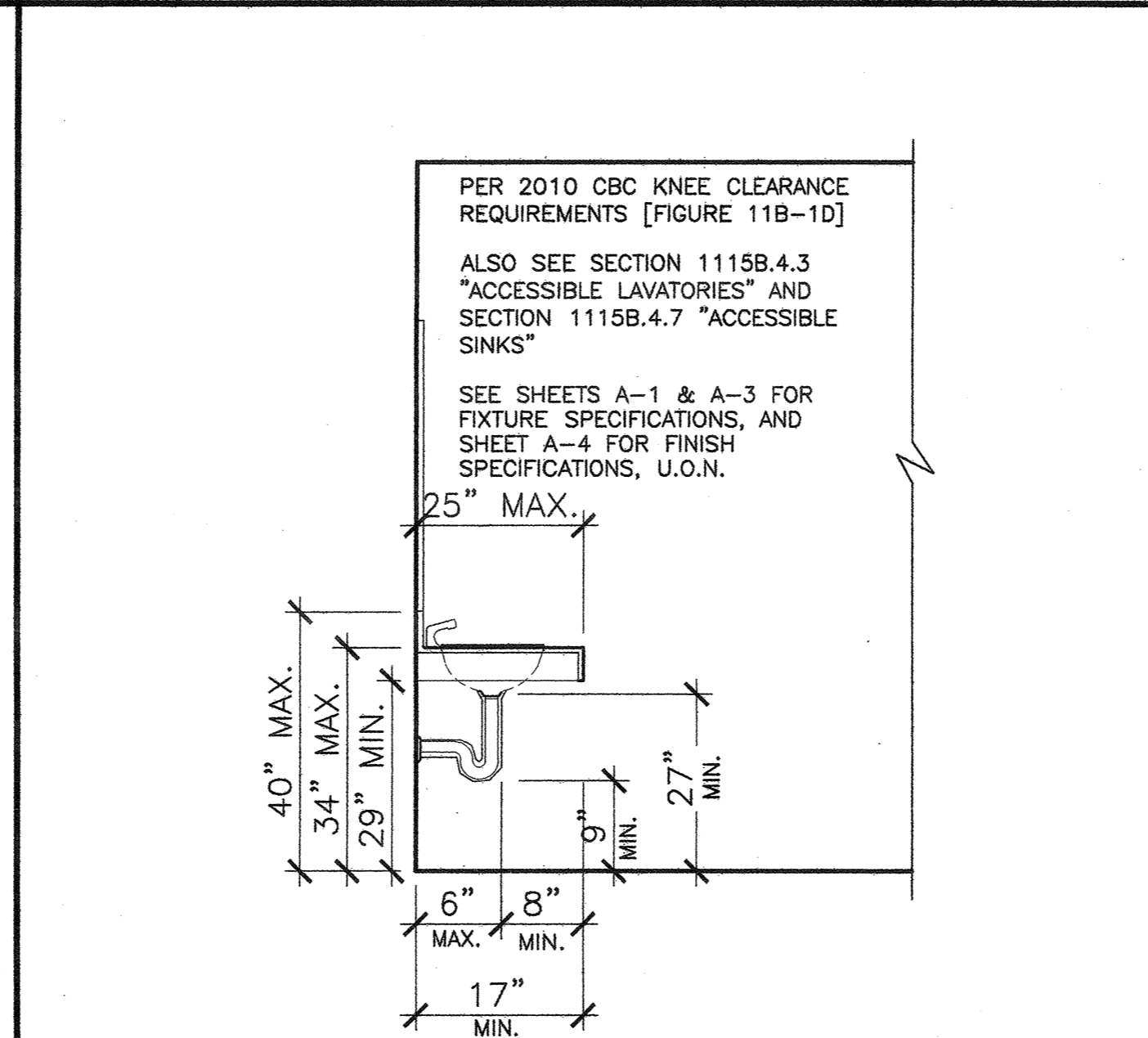
13 TOILET ROOM ACCESSORIES



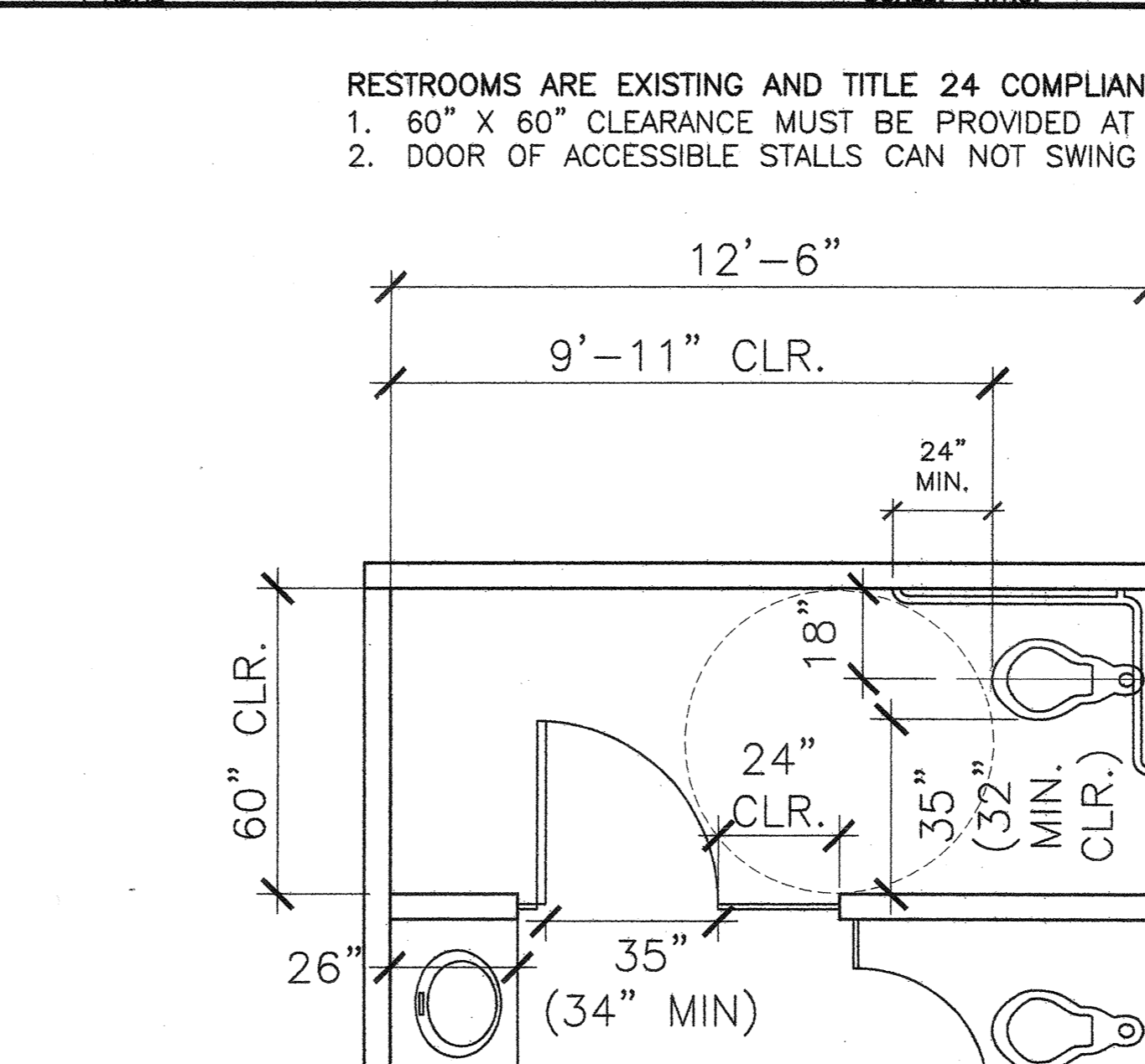
12 RESTROOM WALL HC SIGNAGE

THIS SHEET IS FOR REFERENCE ONLY - RESTROOMS ARE EXISTING.

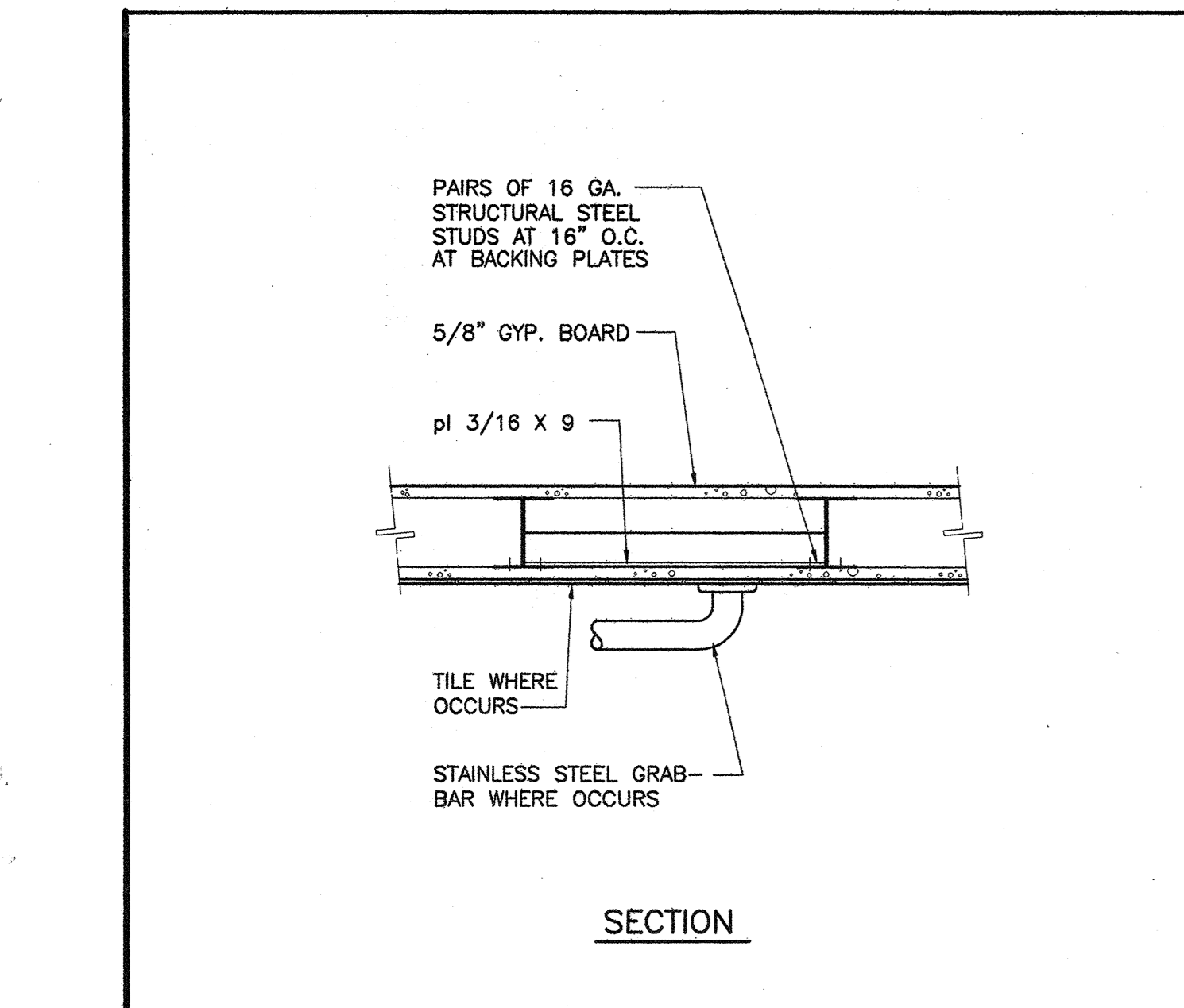
11



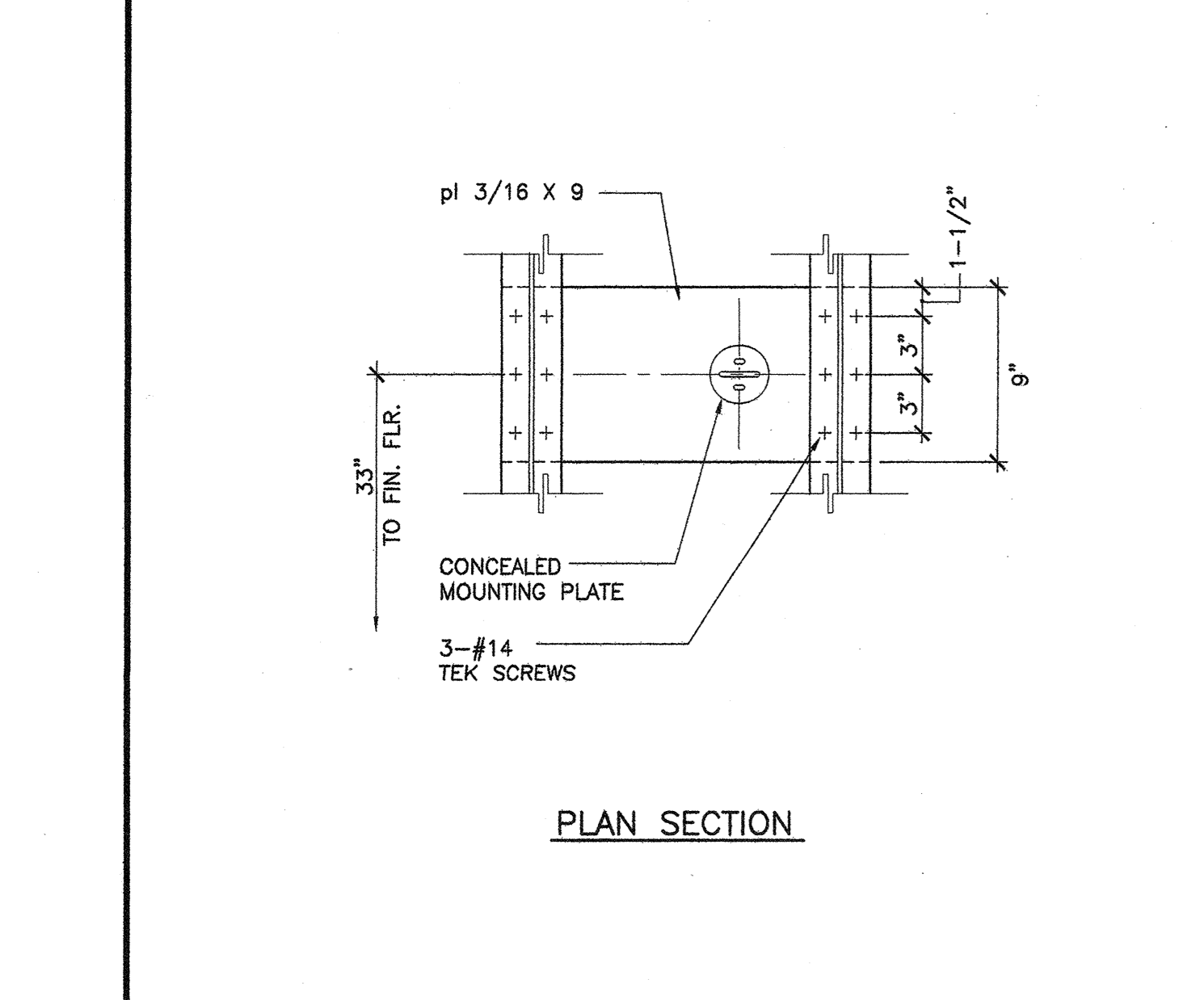
8 TYPICAL SECTION @ LAVATORY



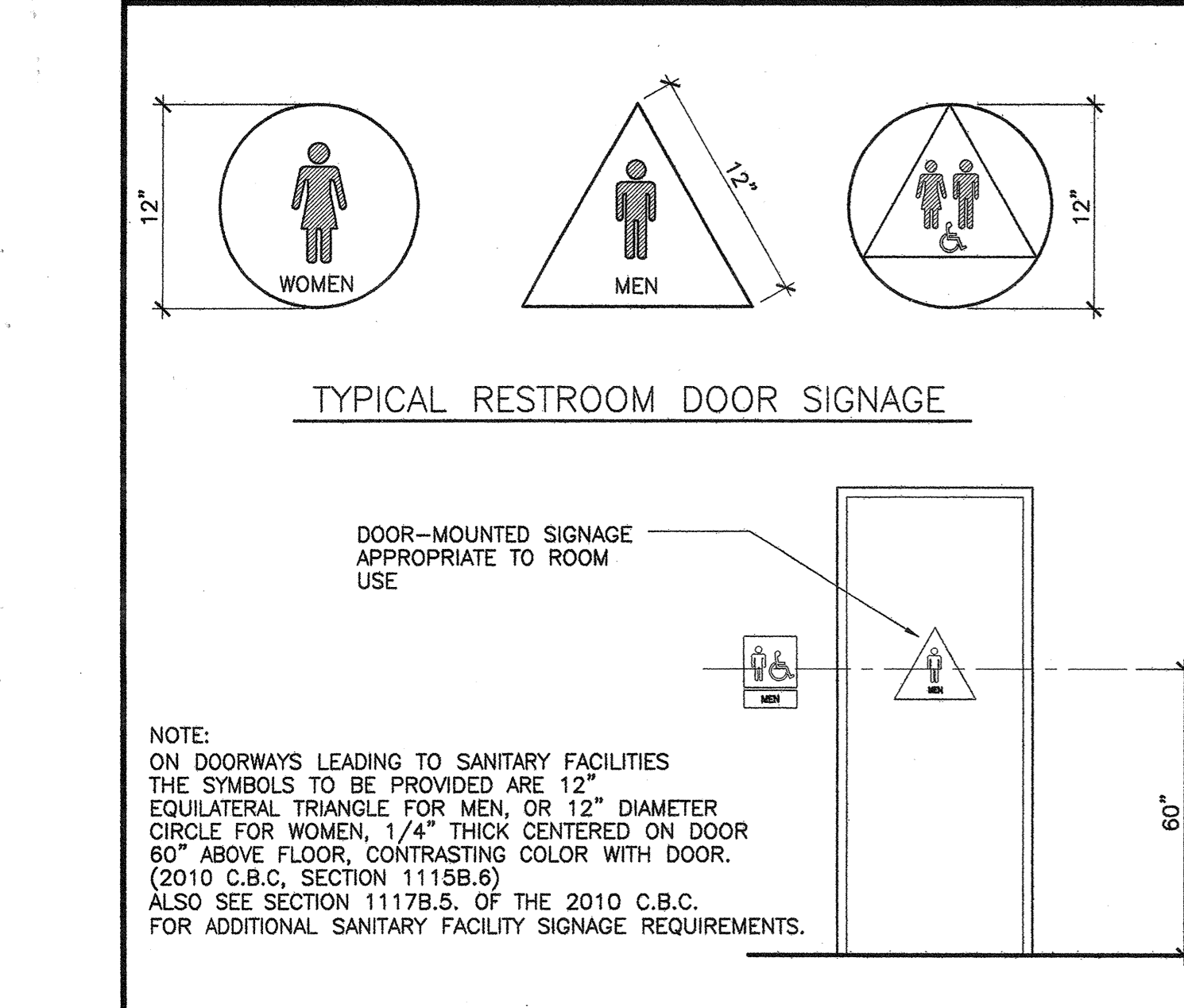
2 EXISTING ACCESSIBLE RESTROOMS



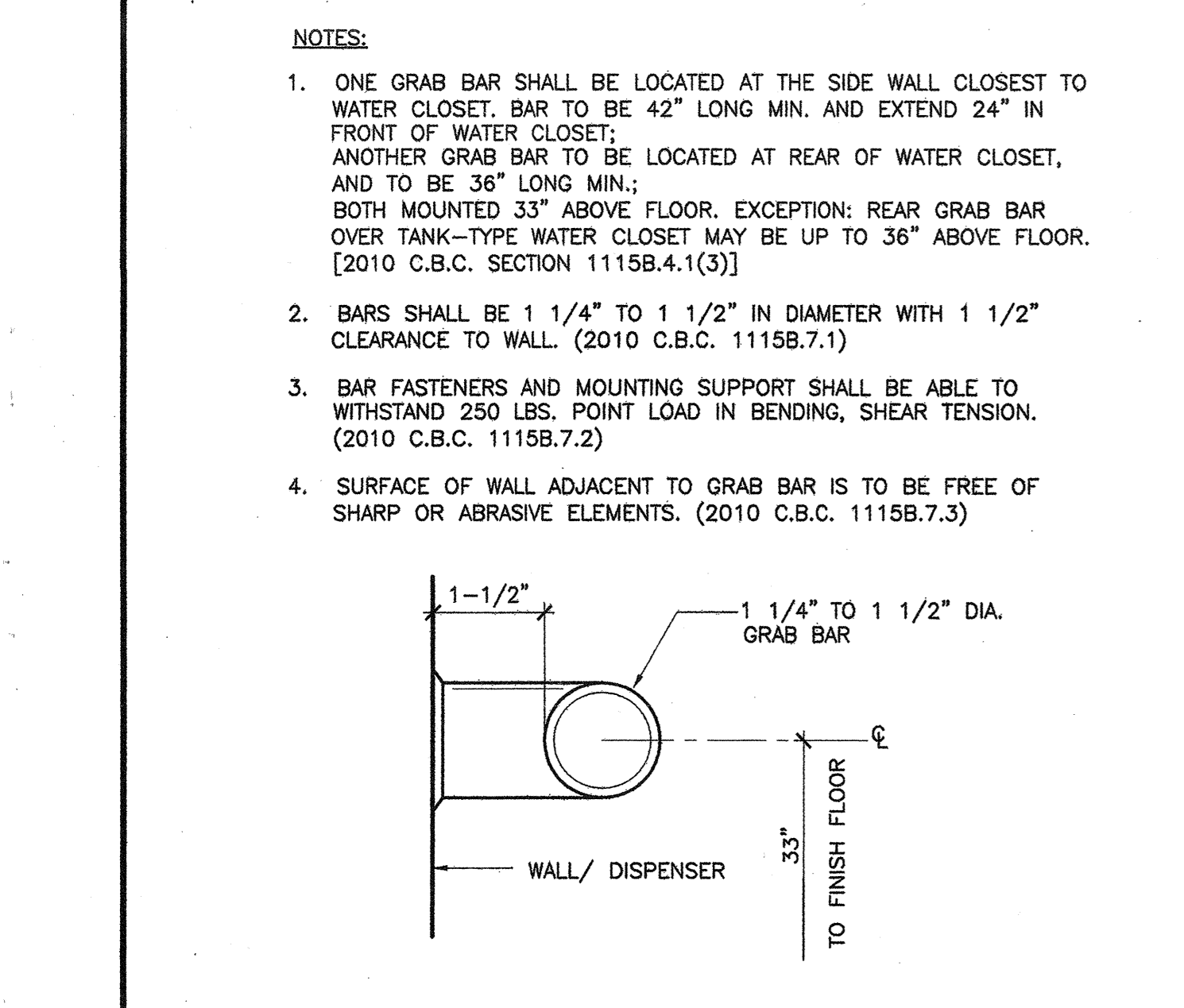
SECTION



15 GRAB BAR BACKING

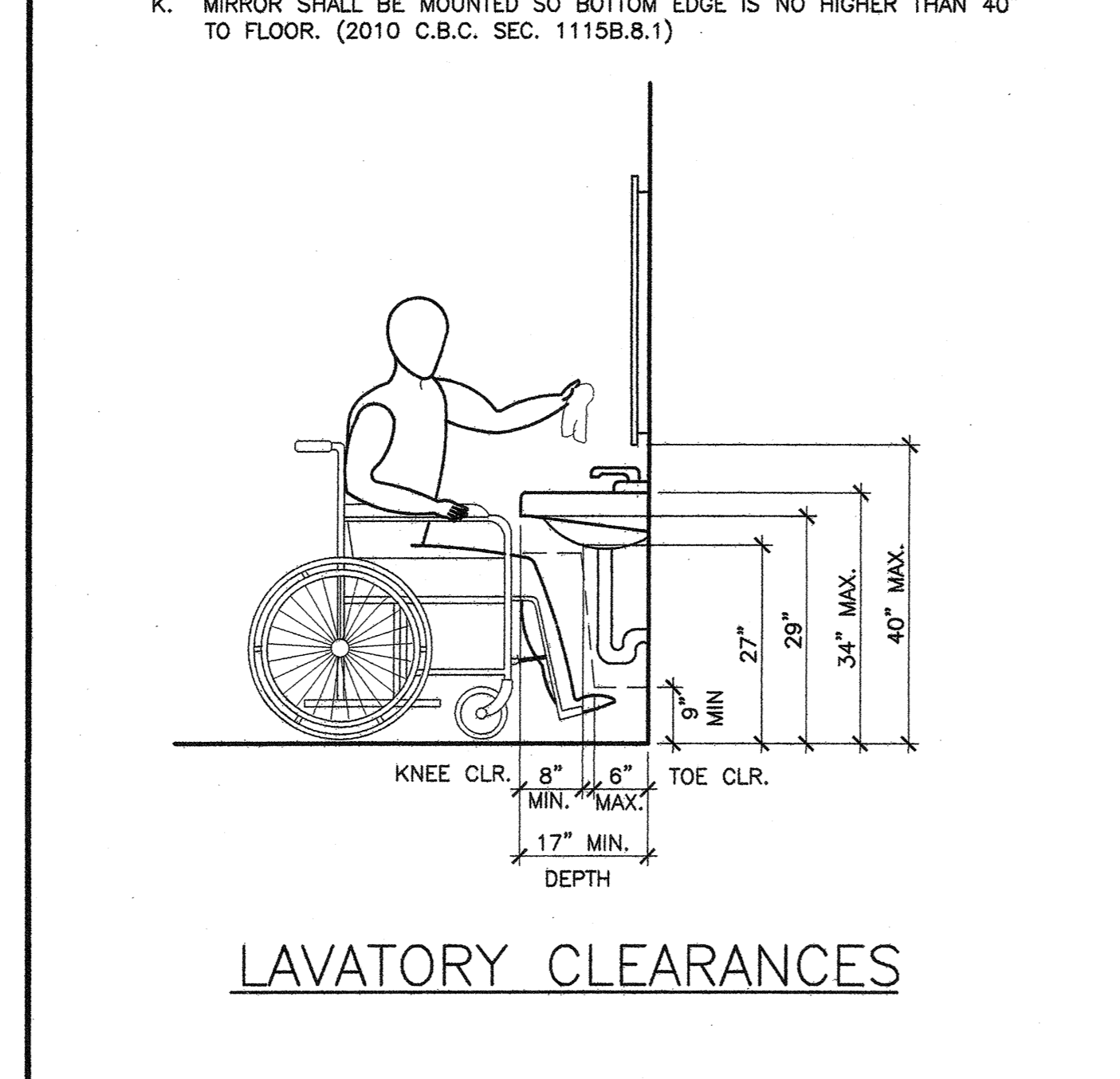


10 TOILET SIGNAGE

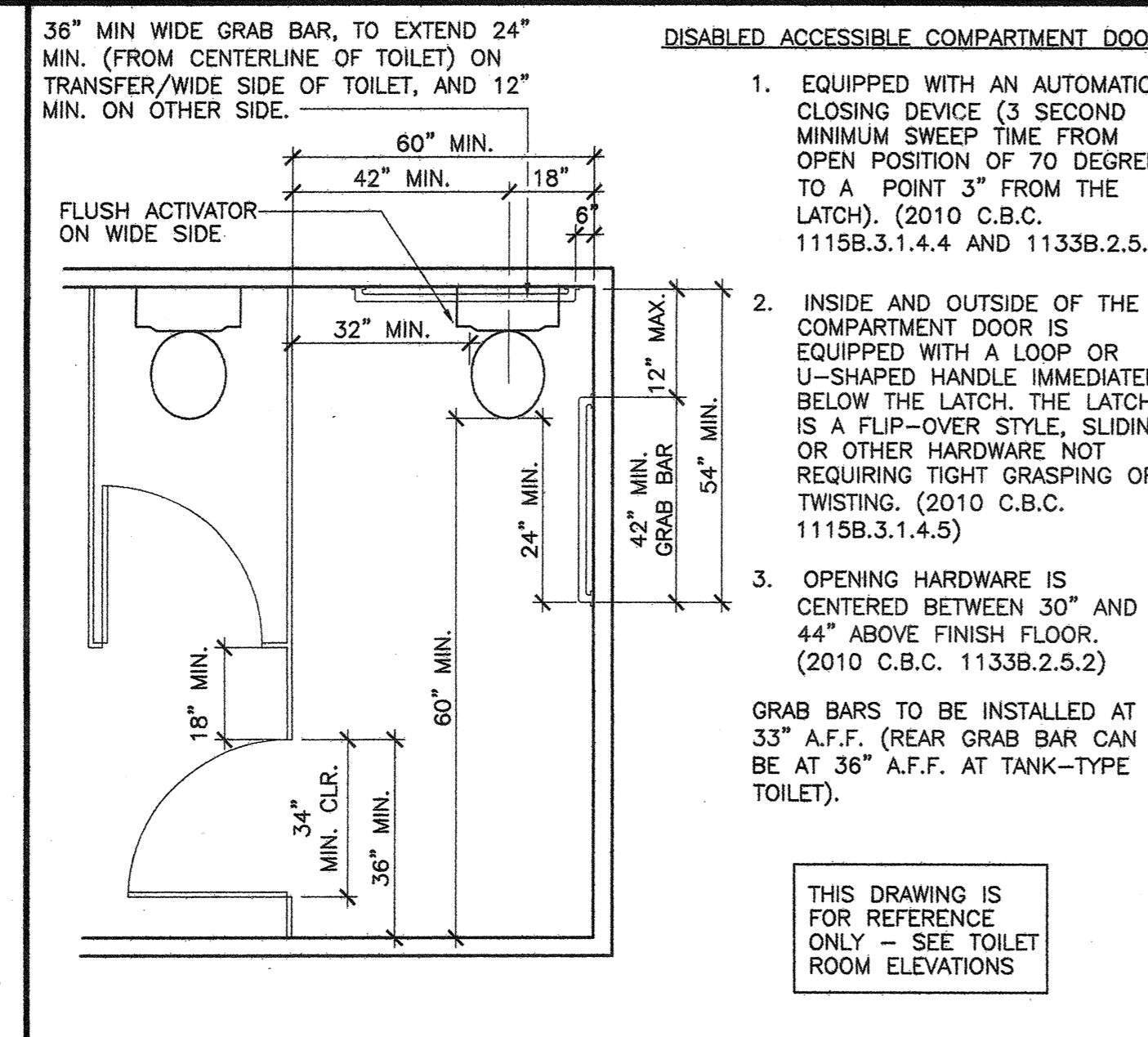


5 GRAB BAR DETAIL

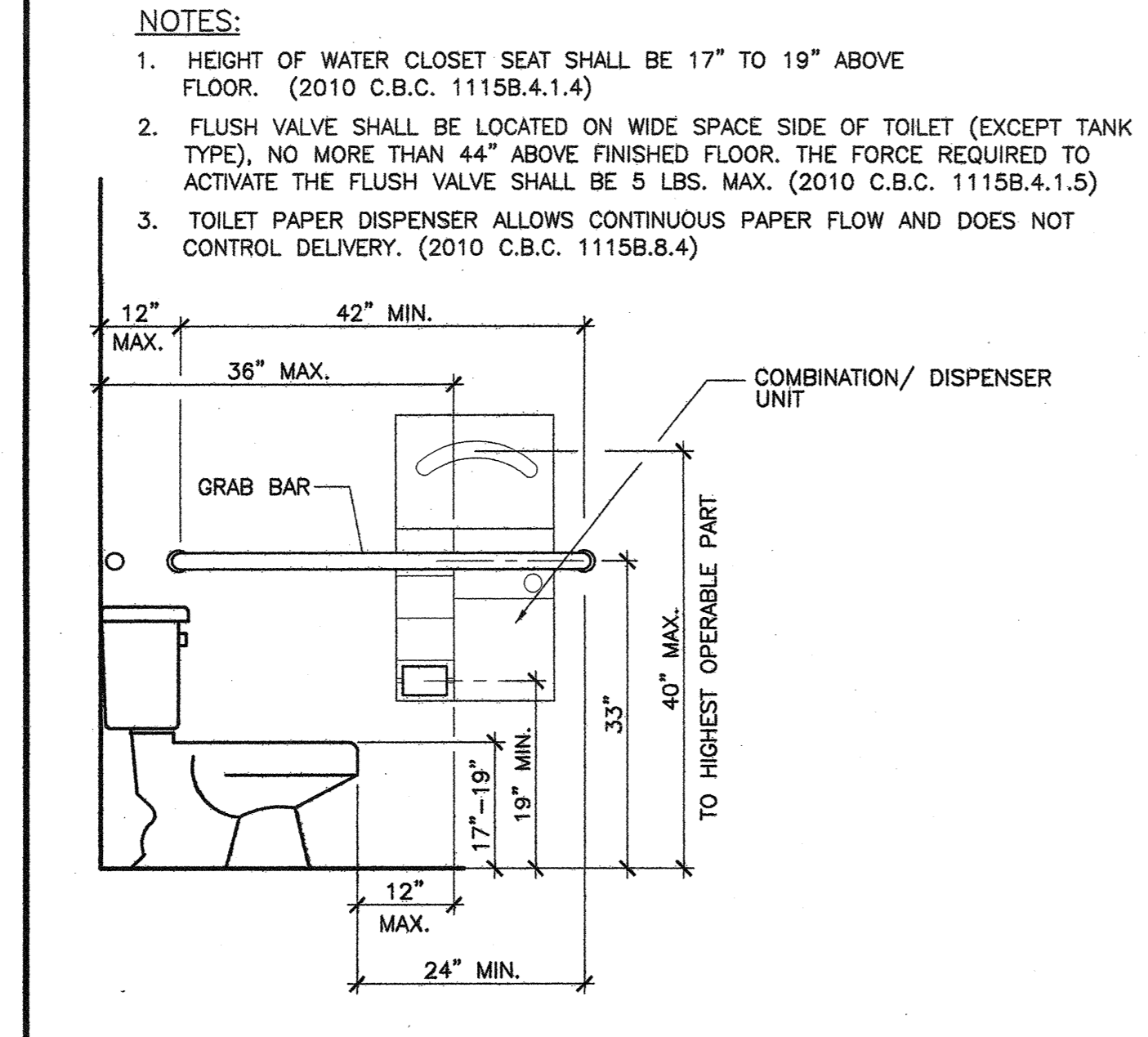
- NOTES: A. MINIMUM 30" X 48" CLEAR SPACE IS PROVIDED IN FRONT OF SINK... B. REQUIRED CLEAR SPACE ADJOINS OR OVERLAPS AN ACCESSIBLE ROUTE... C. LAVATORIES ADJACENT TO SIDE WALL SHALL HAVE 18" MIN. FROM WALL TO CENTER OF LAV... D. SINK IS A MAXIMUM OF 6 1/2" DEEP... E. KNEE CLEARANCE UNDER SINK IS A MINIMUM OF 30" WIDE... F. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED TO PROTECT AGAINST CONTACT... G. NO SHARP OR ABRASIVE SURFACES ARE ALLOWED UNDER LAVATORIES AND SINKS... H. FAUCETS ARE LEVER TYPE, ELECTRONICALLY ACTIVATED OR APPROVED SELF CLOSING VALVES... I. FAUCETS ARE OPERABLE WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST... J. 5 LBS. MAXIMUM OPERATING FORCE REQUIRED TO ACTIVATE CONTROLS... K. MIRROR SHALL BE MOUNTED SO BOTTOM EDGE IS NO HIGHER THAN 40" TO FLOOR.



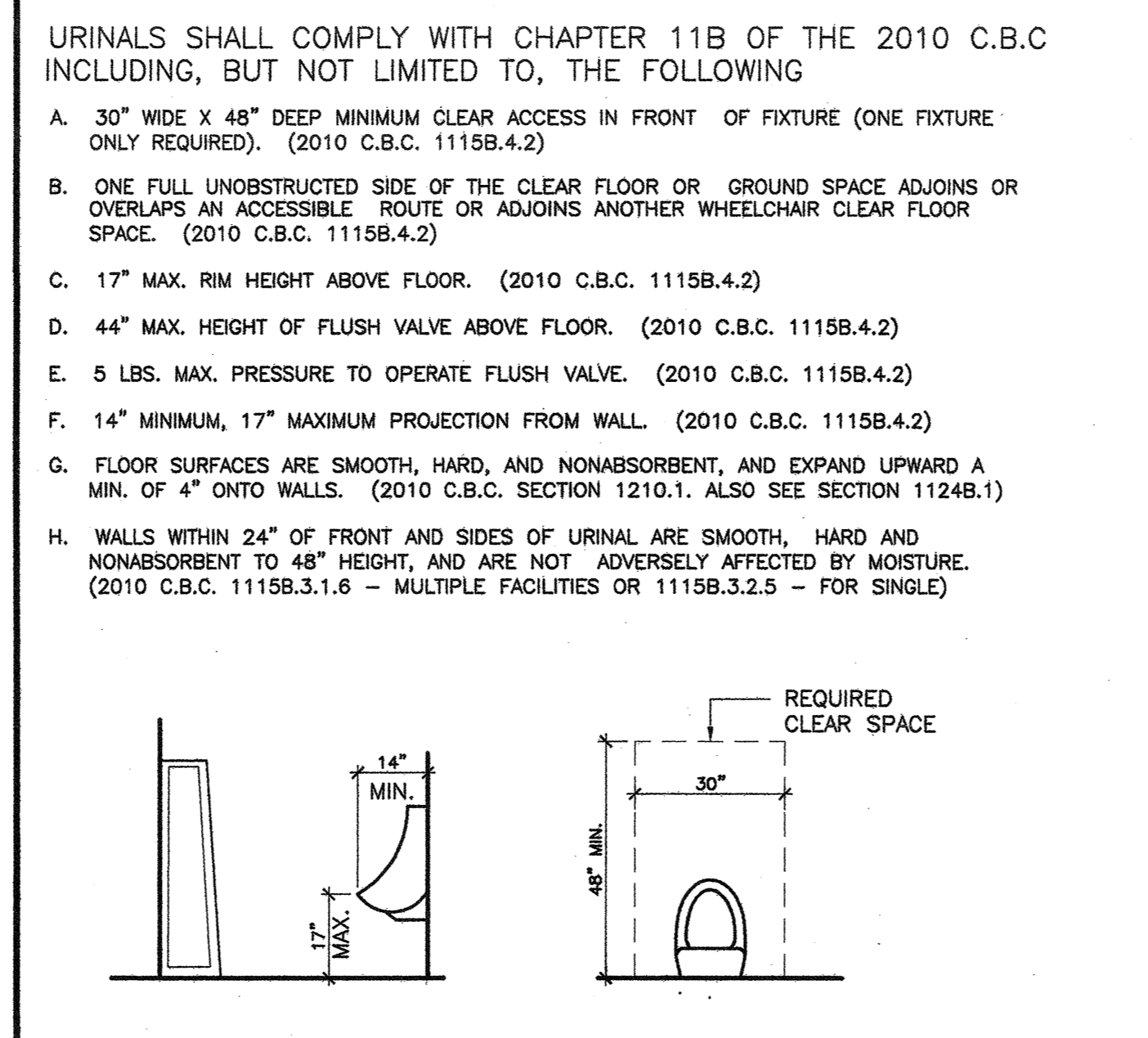
14 SINKS



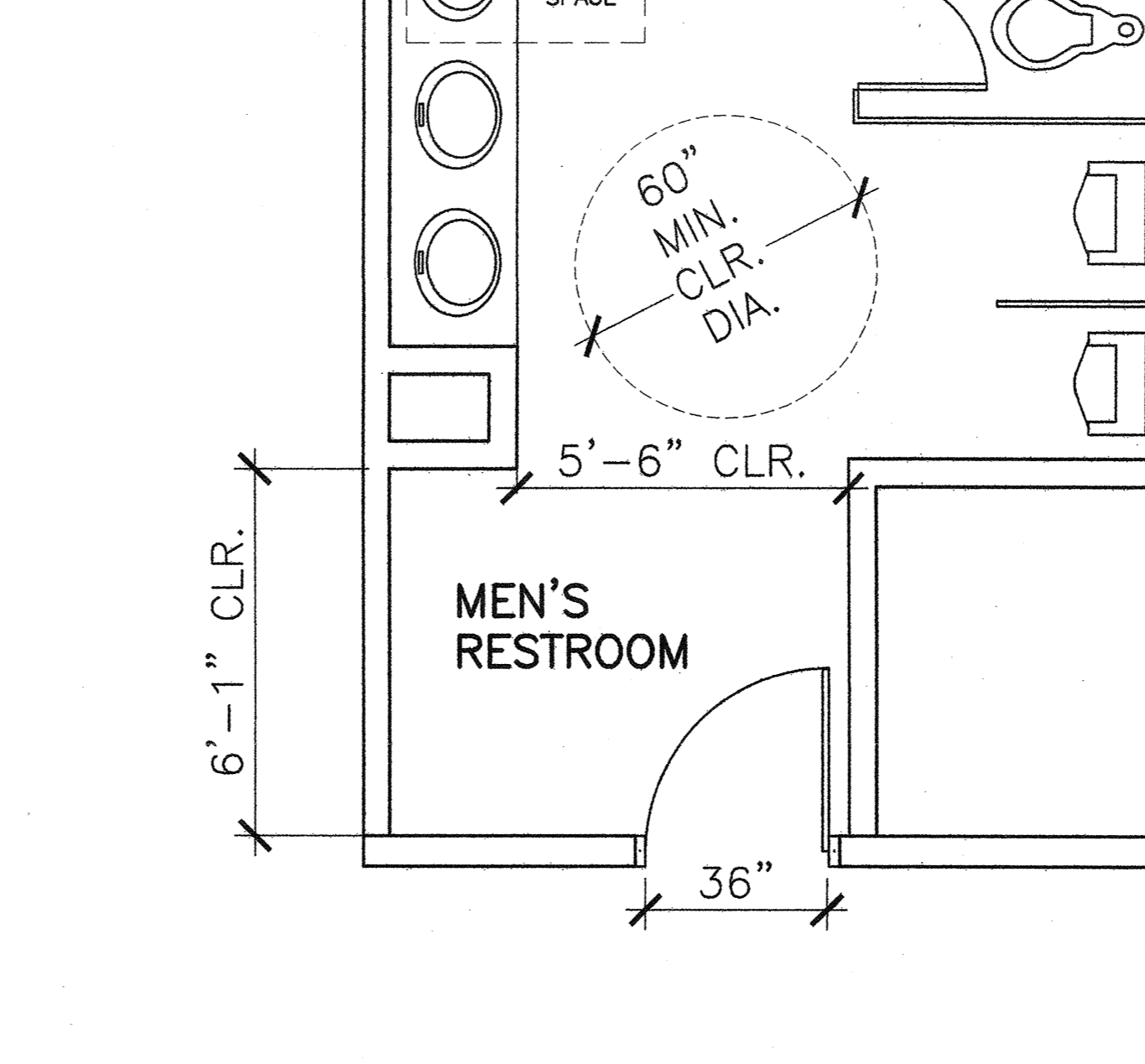
9 ACCESSIBLE STALL



4 TYPICAL ADA DIMENSIONS



3 URINALS



2 EXISTING ACCESSIBLE RESTROOMS

DEMO PLAN

A-1 KEY NOTES-MILLWORK:

A-1 KEY NOTES:

LEGEND:

PROJECT

- (KM1) BREAK ROOM (RIGHT SIDE): NEW UPPER & LOWER CABINETS WITH: SINK, FAUCET, GARBAGE DISPOSAL, INSTA-HO™, AND DISHWASHER. PROVIDE CUBBIE FOR TENANT'S MICROWAVE, AND COPPER WATER LINES FOR TENANT'S COFFEE MAKER & REFRIGERATOR. PROVIDE PRICE FOR ALTERNATE COUNTER TOPS-SEE SPECS #19 & 20 ON SHEET A-4. HAS UPGRADED BACKSPLASH.
- (KM2) BREAK ROOM (LEFT SIDE): NEW UPPER & LOWER CABINETS WITH: PROVIDE PRICE FOR ALTERNATE COUNTER TOPS-SEE SPECS #19 & 20 ON SHEET A-4. HAS UPGRADED BACKSPLASH.
- (KM3) COPY ROOM: NEW P-LAM UPPER & LOWER CABINETS.
- (KM4) CONFERENCE ROOM: NEW P-LAM LOWER CABINETS.

WALLS AND SOUND CONTROL

- (KW1) PONY-UP W/ SOUND INSULATED WALL TO DECK ABOVE AT ELECTRICAL ROOM, JANITORS CLOSET, ELEVATOR, & BUILDING CORRIDOR IF NOT ALREADY. STUC SIZE/GA/SPACING AS REQ.
- (KW2) CONTROL ROOM 226 & AV STUDIO 227: PROVIDE 1" GAP BETWEEN NEW SOUND INSULATED FULL-HEIGHT WALL (SLAB TO SLAB) AND EXISTING WALLS AS SHOWN FOR ADDITIONAL SOUND CONTROL OF ADJACENT ROOMS.
- (KW3) CONTROL ROOM, AV STUDIO, CONFERENCE, 4 OFFICES, AND BREAKROOM: PROVIDE ROOMS WITH INSULATION SOUND CONTROL (NEW AND EXISTING).
-SOUND BATT INSULATION IN NEW & EXISTING WALLS.
-SOUND CAULKING AT METAL STUD FLOOR CHANNELS.
-SOUND GASKET WHERE WALL TERMINATES AT MULLIONS.
-INSTA-COIL ABOVE CEILING.
-SOUND GASKETS IN AIR VENTS.
-SOUND GASKET AROUND DOOR FRAMES. (EXCEPT AT GLASS DOORS)
-SOUND SWEEPS ON DOORS. (EXCEPT AT GLASS DOORS)
- (KW4) ALL NEW WALLS TO HAVE 3-5/8" STUDS, U.O.N.

- (K1) CONFERENCE ROOM 229: NEW 6-PANEL FULL-HEIGHT BUTT-JOINT FRAME-LESS WINDOW (NO BLINDS). WITH FULL-HEIGHT FRAME-LESS HERCULITE DOUBLE DOORS.
- (K2) CONTROL ROOM 226: NEW SINGLE PANEL FULL-HEIGHT FRAME-LESS WINDOW (NO BLINDS). (ELEVATION AND SECTIONS ARE SIMILAR TO THAT OF CONFERENCE ROOM GLAZING. BUT CONTROL ROOM GLAZING ONLY HAS A SINGLE PANEL, AND WALLS ABOVE AND TO THE SIDES OF GLAZING ARE FULL HEIGHT (SLAB TO SLAB). PROVIDE STRUCTURAL SUPPORT AS REQUIRED.)
- (K3) OFFICE 231 & 232, AND BREAK ROOM 242: PROVIDE NEW FULL-HEIGHT BUTT-JOINT WINDOWS IN BUILDING STANDARD FRAME TO ALIGN WITH DOORS. PROVIDE AND INSTALL VERTICAL BUILDING STANDARD BLINDS. PANELS OF EQUAL WIDTH U.O.N., NUMBER & TOTAL LENGTH AS ON PLAN.
- (K4) OFFICE #233 & 234: PROVIDE AND INSTALL VERTICAL BUILDING STANDARD BLINDS ON EXISTING & RELOCATED (SEE KS BELOW) SIDE LIGHTS.
- (K5) TELE/ATA #237: INSTALL A DOOR VENT IN EXISTING DOOR, OR PROVIDE NEW (LIKE DOOR DETAIL "E" ON A-4). REMOVE SIDELIGHT & INSTALL AT OFFICE #233.
- (K6) AV STUDIO 227: RELOCATE WINDOW FROM SUITE 150. SEE THAT PLAN FOR EXISTING PLACEMENT. HEIGHT TO MATCH EXISTING HEIGHT IN SUITE 150. VERIFY IF TO RECEIVE BLINDS.
- (K7) RECEPTION, BREAK ROOM, OPEN OFFICE 230, OFFICES 231, & 232 (5 LOC): PROVIDE BACKING SUPPORT FOR WALL MOUNTED T.V. HEIGHT TO BE VERIFIED WITH TENANT DURING CONSTRUCTION.
- (K8) THROUGHOUT: PAINT ALL NEW & EXISTING INTERIOR WINDOW & DOOR FRAMES IN SUITE. SEE FINISH SPEC #17 ON SHEET A-4. VERIFY FINISHES AT ENTRY DOORS.
- (K9) BOTH ENTRY DOORS & AT CONTROL ROOM DOOR: PROVIDE CONDUIT & DOOR PREP FOR TENANT'S VENDOR TO INSTALL CARD READERS. SPECS & PLACEMENT MUST BE CODE-COMPLIANT. HEIGHT OF CARD READERS TO BE BETWEEN 30-44" A.F.F. PER C.B.C. SECTION 1133B.2.5.2. MODIFY EXISTING HARDWARE AS REQ. SEE HARDWARE SPEC #5 & HARDWARE NOTES ON SHEET A-4.
- (K10) CONFERENCE ROOM: TENANT TO PROVIDE WHITE BOARD(S).
- (K11) PROVIDE CONDUIT CONNECTION FROM TELE/DATA ROOM TO SUITE 150. (BELOW) FOR TENANT DATA AND TELEPHONE CABLING BETWEEN THE TWO SUITES. CONDUIT SIZE TO BE DETERMINED PER TENANT'S CABLING NEEDS.
- (K12) WORK ROOM #235: RELOCATED DOOR IS NOT TO HAVE A CLOSER. REMOVE IF ALREADY EXISTING.
- (K13) PROVIDE CLOSER ON BREAK ROOM DOOR.
- (K14) PLAN CHECK CORRECTIONS (REGARDING KEYNOTE K9 ABOVE): INSTALL THE CARD READER EACH OF THE ENTRY DOORS MUST BE RE-CERTIFIED (TO MAINTAIN RATING) AFTER CARD READERS ARE INSTALLED, OR REPLACED WITH NEW DOORS WITH CARD READERS THAT MEET CERTIFICATION REQUIREMENTS.
- (K15) CONFERENCE ROOM: PROVIDE SIGNAGE INDICATING THE MAXIMUM OCCUPANT LOAD: 46 PERSONS, AS REQUIRED. SEE POSTING OF OCCUPANT LOAD NOTE BELOW.

- EXISTING WALLS TO REMAIN SEE DEMO PLAN
- DEMO EXISTING WALLS/ITEMS SEE DEMO PLAN
- NEW CEIL. HT. INTERIOR PARTITION SEE DETAIL #1/A-5
- NEW CEIL. HT. INSULATED WALLS SEE DETAIL #2/A-5
- NEW FULL-HT. INSULATED WALLS SEE DETAIL #3/A-5
- EXISTING DOOR-HEIGHT SIDELIGHTS DET. "G"/A-4 IS TYP.
- HALF-HEIGHT FRAMED WINDOWS SEE DETAIL #1/A-6
- FRAME-LESS FULL-HEIGHT BUTT-JOINT GLAZING SEE DETAIL #5/A-6
- FRAMED FULL-HT BUTT-JOINT GLAZING SEE DETAIL #2/A-6
- ALIGN
- DOOR TAGS FOR NEW DOORS SEE A-4 FOR SPECS.
- NEW CARD READERS SEE KEYNOTE #K9
- TELEPHONE BACKBOARD SPEC #1, NOTE #12, SEE KEYNOTE K11
- TACTILE EXIT SIGN (PROVIDE AS REQ.) SEE NOTES ON A-4
- FIRE EXTINGUISHER SPEC #2, NOTE #7
- EXISTING TO BE RELOCATED SEE DEMO PLAN
- RELOCATED SEE DEMO PLAN
- DEMOLISH SEE DEMO PLAN
- NEW

ARDEN REALTY, INC.
HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

ALL ITEMS TO REMAIN U.O.N. SEE DEMO PLAN AT LEFT FOR ITEMS TO BE RELOCATED OR REMOVED.

SPECIFICATIONS

- 1 TELEPHONE BACKBOARD: (DEMO/NEW) 4' X 4' X 3/4" FIRE TREATED PLYWOOD TELEPHONE BACKBOARD. SAND AND PAINT TO MATCH WALL. PROVIDE ONE (1) 2" CONDUIT RUN TO BASE BUILDING TELEPHONE ROOM WITH ONE (1) SEPARATE CIRCUIT DUPLEX OUTLET. MOUNT AT FINISHED CEILING.
- 2 FIRE EXTINGUISHER: (NEW) TO MATCH BUILDING STANDARD. PROVIDE AS NEEDED IF NOT EXISTING.
- 3 TELEPHONE WALL OUTLETS: STANDARD GANG BOX WITH 3/4" CONDUIT TO TERMINATE 6" ABOVE CEILING LINE WITH PULLSTRING. INSTALL BOX VERTICALLY 17" A.F.F. TO CENTER LINE OF OUTLET. NEW TO MATCH EXISTING.
- 4 SINGLE SINK & FAUCET: (NEW) ALL COMPONENTS TO BE TITLE 24 COMPLIANT AS NEEDED. "JUST" BRAND.
 - SINK: #S1-ADA-1921-A-GR SINGLE ADA BOWL WITH CENTER DRAIN, 6 1/2" DEEP.
 - FAUCET: #FTR-51-W4 OR SIMILAR
 - DRAIN SYSTEM: #J-ADA-35 WITH OVERFLOW SYSTEM IF REQUIRED, AND
 - DRAIN INSULATOR #C: #J-ADA-150 OR SIMILAR INSULATION IF AS REQUIRED BY CODES. INCLUDE ALL NECESSARY PLUMBING AS NEEDED. MODIFY STANDARD CONSTRUCTION IF/AS NEEDED TO ALLOW FOR INSTALLATION OF GARBAGE DISPOSAL, IF SPECIFIED.
- 5 GARBAGE DISPOSAL: (NEW) IN-SINK-ERATOR, MODEL: "EVOLUTION" SERIES, "EVOLUTION COMPACT", BLACK ENAMEL FINISH, 8" DIAMETER, 12-1/8" DEEP. SINGLE PHASE, 3/4 H.P., 120V, 60HZ, 8.1 AMPS, PROVIDE SEPARATE CIRCUIT OUTLET AND WALL SWITCH.
- 6 INSTANTHOT: (NEW) CHROMIUM INSTANTANEOUS HOT WATER HEATER, UNDER CABINET MOUNT, MODEL #SR-30, 8320W, 277 VOLTS, 30 BREAKER. INSTALL WITH 1/4" COPPER WATER LINE & PROVIDE SEPARATE CIRCUIT OUTLET AS NEEDED.
- 7 PANEL FURNITURE: (NEW) TO BE PROVIDED BY TENANT. GC TO PROVIDE POWER AND TO HARDWARE SYSTEM. TENANT TO PROVIDE "WHIPS". SEE A-3 FOR LOC.
- 8 REFRIGERATOR W/ ICE MAKER: (NEW) TO BE PROVIDED BY G.C. AND G.C. TO PROVIDE COPPER WATER LINE.
- 9 COFFEE MAKER: (NEW) TO BE PROVIDED BY TENANT. G.C. TO PROVIDE COPPER WATER LINE.
- 10 DISHWASHER: (NEW) G.C. TO PROVIDE & INSTALL NEW ADA ASKO SELF HEATING: D5122aDA. COLOR: T.B.D.
- 11 MICROWAVE: (NEW) TENANT TO PROVIDE AND MILL WORK TO HAVE A BUILT-IN CUBBIE SIZE AND TYPE: T.B.D.
- 12 COPIER: (NEW) BY TENANT.

TRAINING CONSULTANTS

SUITE 225

AGREED:
ACCEPTED THIS DAY OF _____, 2012
TENANT: _____
BY: _____
TITLE: _____
COMMENT: _____
UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

NO.	DESCRPTION	DATE
1	PLAN CHECK CORRECTIONS	01.23.12
2	PLAN CHECK CORRECT/MS	01.31.12
3	TENANT REVISION	01.25.12
4	PLAN CHECK SUBMITTAL	01.25.12
5	RELEASED FOR ENGINEERING	01.13.12
6	NO. DESCRPTION	DATE

NOTES:

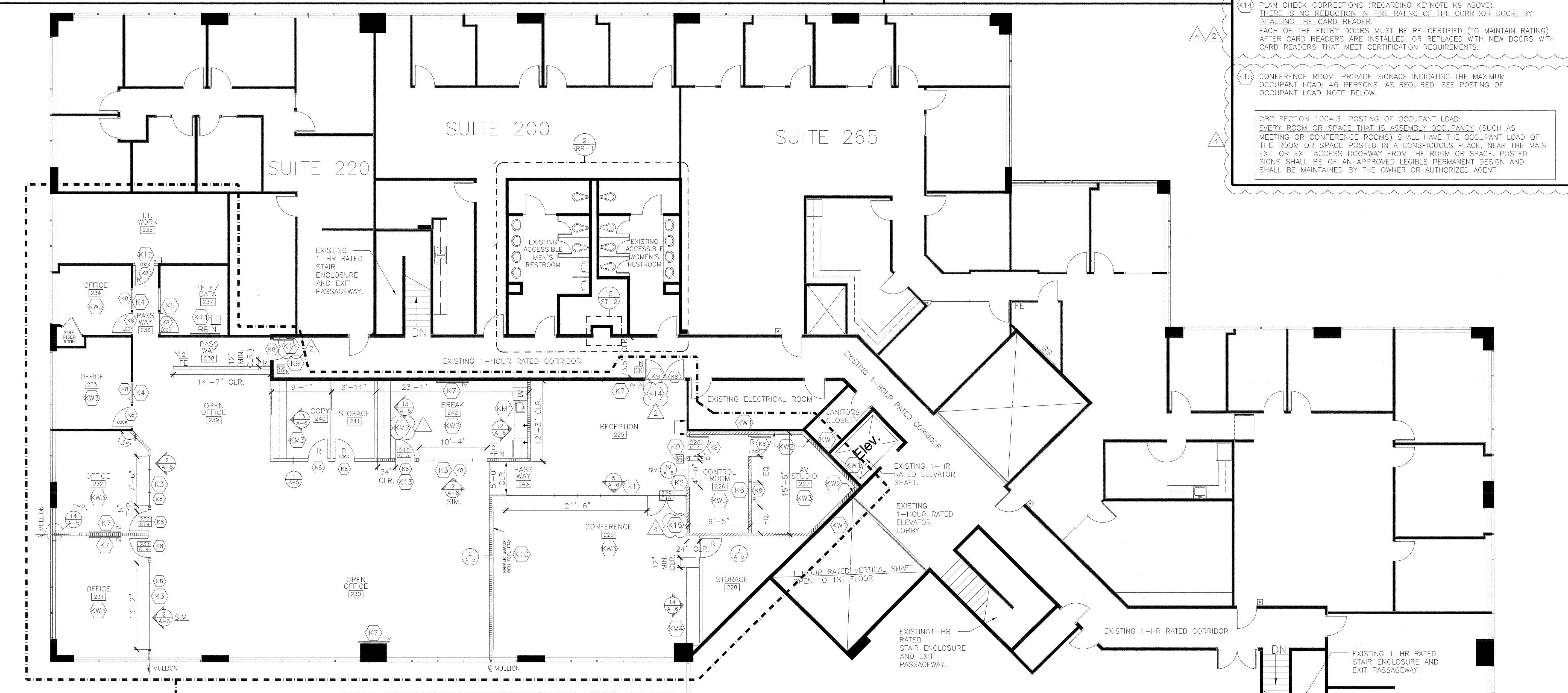
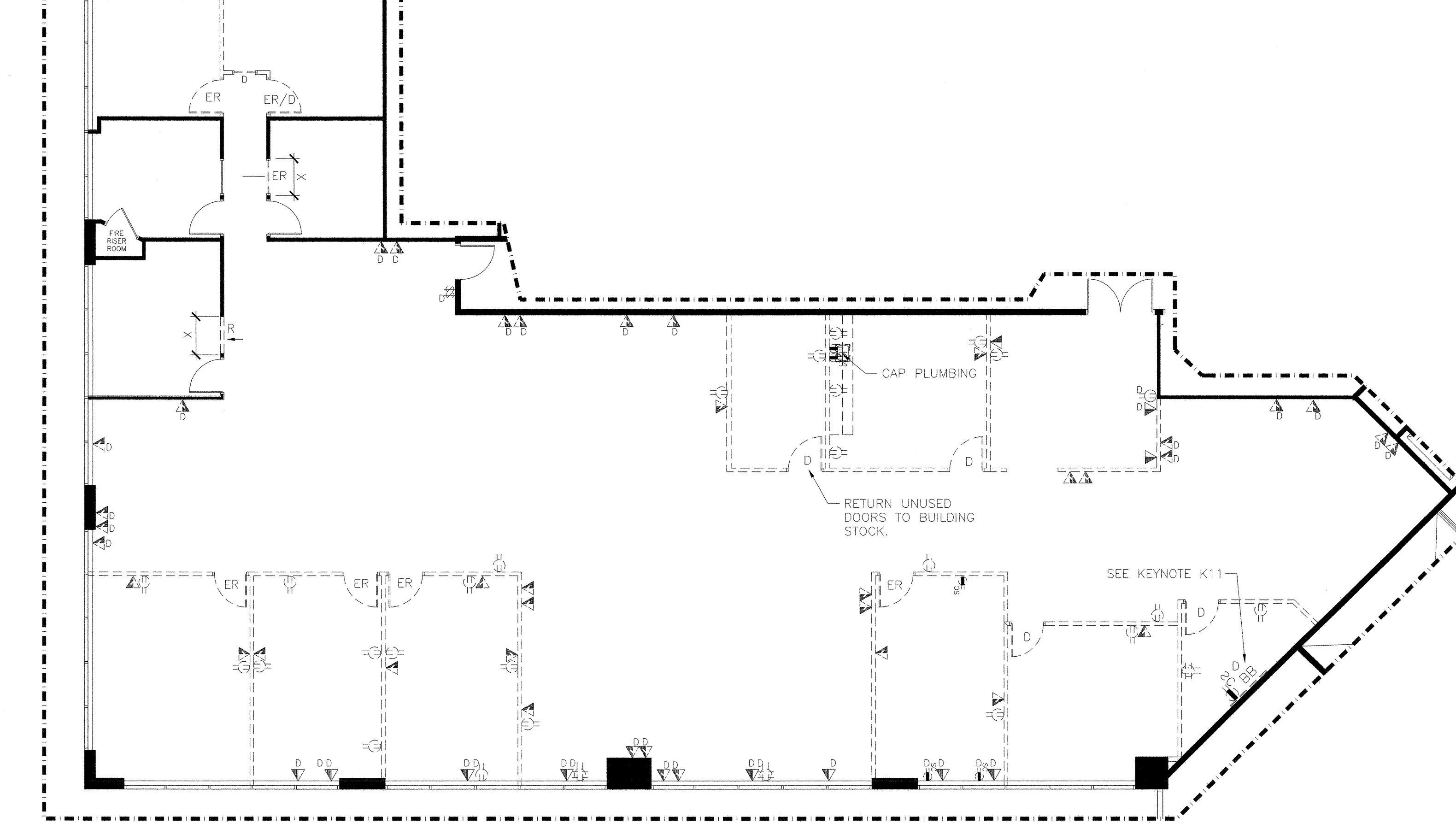
1. VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
2. ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
3. ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED BY AUTOCAD. PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS. NO DXF FILES.
4. ALL DOORS SHALL BE HANDICAPPED ACCESSIBLE. FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" BELOW THRESHOLD. MAXIMUM EFFORT TO OPEN DOORS SHALL NOT EXCEED 5 LBS (EXIT DOORS) & 5 LBS. (INTERIOR DOORS). DOORS SHALL COMPLY WITH REQUIREMENTS OF THE 2010 C.B.C.
5. ALL EXISTING HANDICAPPED FACILITIES SHALL MEET OR COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS.
6. ALL MILLWORK (EXISTING OR NEW) IS TO COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR 2010 CBC COMPLIANCE AND INTERPRETATION OF REQUIREMENTS.
7. FIRE LIFE SAFETY:
 8. ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCES MUST BE INCLUDED IN BID.
 9. PUBLIC CORRIDORS SHALL BE OF ONE-HOUR CONSTRUCTION WITH DOOR OPENINGS PROTECTED WITH 20-MINUTE SELF-CLOSING AND LATCHING ASSEMBLIES AND SMOKE SEALS.
 10. WALLS:
 11. ALL DRYWALL IS TO BE INSTALLED VERTICALLY.
 12. PATCH AND PAINT DRYWALL WHERE EXISTING ELECTRICAL IS TO BE REMOVED. BLANK PLATES SHALL NOT BE PERMITTED. REMOVE EXISTING BLANK PLATES.
 13. PROVIDE BRACING AT CEILING AND THE WIRES AT FIXTURES TO MEET C3C/BOCA/LOCAL CODES. CONFIRM EXISTING CONDITIONS.
 14. (DEMO AT STORAGE/NEW AT TELE/DATA) ALL SUITES TO RECEIVE TELEPHONE BACKBOARD, IF NOT ALREADY EXISTING, AND U.O.N. TELEPHONE BACKBOARD TO HAVE 1 (ONE) SEPARATE CIRCUIT AND 1 (ONE) 2" CONDUIT TO BASE BUILDING TELEPHONE. SAND AND PAINT BACKBOARD.
 15. ALL EXISTING INTERIOR DOORS ARE EXISTING TO REMAIN, U.O.N. DOORS TO BE REPAIRED AS REQUIRED. NEW DOORS TO CHECK EXISTING IN MANUFACTURER, STYLE, FINISH AND SIZE. CONTRACTOR TO CHECK BUILDING STOCK IF NEW DOORS ARE REQUIRED. DUE TO ENVIRONMENTAL HAZARDS NO DOORS ARE TO BE FINISHED ON SITE. REPLACE ALL NON-COMPLIANT HARDWARE WITH NEW ADA-COMPLIANT HARDWARE TO MATCH BUILDING STANDARD.
 16. RETURN UNUSED DOORS AND SIDELIGHTS TO BUILDING STOCK U.O.N.
 17. ALL EXTERIOR WINDOW COVERINGS ARE EXISTING TO REMAIN, U.O.N. CLEAN AND REPAIR OR REPLACE AS REQUIRED WHERE DAMAGED OR MISSING VEINS OCCUR. NEW TO MATCH EXISTING.
 18. WALLS TO BE REPAIRED AS REQUIRED. PREP, PATCH & PAINT WITH NEW BUILDING STANDARD PAINT, TWO (2) COATS TO COVER.
 19. REMOVE ALL EXISTING CARPET, PAD, VCT, BASE, AND WALLCOVERING, U.O.N. PREP FOR NEW FINISHES AS REQ. SEE SHEET A-4 FOR LOCATIONS AND SPECIFICATIONS.

INTERIOR PLANNING & DESIGN
SPACES
P & D INC.
17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE
USABLE: 5,486 SF

SECOND FLOOR PARTITION & DEMO PLAN

Sheet Title
Project Number 2778.15
Sheet Number A-1



AREA OF PERMIT SUITE 225

3621 BLDG
2ND FLR.

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.
NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.

1/8" = 1'-0"

OCCUPANT LOAD INFORMATION

SUITE 225-5,486 SF.
B OCCUPANCY LOAD: 55 PER SUITE / EXITS REQUIRED: TWO (TWO PROVIDED)
MAX OCCUPANT LOAD PER ROOM/AREA

ROOM #	S.F.	OCC. LOAD FACTOR	OCC. LOAD
RECEPTION 225	413	100	4 OCC.
CONTROL ROOM 226	135	100	1 OCC.
AV STUDIO 227	177	100	2 OCC.
STORAGE 228	132	300	0 OCC.
CONFERENCE 229	700	15	46 OCC.
OPEN OFFICE 230	1539	100	15 OCC.
OFFICE 231	268	100	3 OCC.
OFFICE 232	222	100	2 OCC.
OFFICE 233	157	100	2 OCC.
OFFICE 234	120	100	1 OCC.
I.T. WORK 235	284	100	3 OCC.
PASSWAY 236	44	N/A	0 OCC.
TELE/DATA 237	108	300	0 OCC.
PASSWAY 238	90	N/A	0 OCC.
OPEN OFFICE 239	286	100	3 OCC.
COPY 240	102	300	0 OCC.
STORAGE 241	77	300	0 OCC.
BREAK 242	27	15	18 OCC.
PASSWAY 243	3	N/A	0 OCC.

PROJECT CEILING PLAN NOTES:

- (C1) EXISTING 2X4 T-BAR GRID TO REMAIN THROUGHOUT SUITE (EXCEPT CONFERENCE ROOM AND RECEPTION) CLEAN, PATCH AND PAINT.
REMOVE EXISTING 2X4 CEILING TILES AND REPLACE WITH NEW 2X4 CEILING TILES-SPEC; ARMSTRONG DUNN SECOND LOOK.
- (C2) CONFERENCE ROOM TO RECEIVE NEW 2X2 T-BAR GRID WITH NEW 2X2 DUNN CEILING TILES.
- (C3) RECEPTION AREA TO BE GYP. BOARD CEILING-SEE PLAN.

TRAINING CONSULTANTS LIGHTING SCHEDULE						
KEY	FIXTURE TYPE	LAMP TYPE	LOCATION	NEW SPEC	QTY	NOTES
A	2X4 RECESSED DIRECT/INDIRECT		GENERAL - T-BAR	SAME FIXTURE WITH 2 LAMP AND 28 WATT	55	
B						
C	2" RECESSED DOWNLIGHT	LED	LOBBY; 4" RECESSED CIRCLE	MATCH TO ELITE FIXTURE	7	
D	6" RECESSED DOWNLIGHT	CFL	GENERAL; LOBBY, OPEN OFFICE, CORRIDORS	MATCH TO ELITE FIXTURE	19	DIMMABLE IN CONFERENCE
E	8" RECESSED DOWNLIGHT	2X CFL	CONFERENCE/TRAINING ROOM/OPEN OFFICE	MATCH TO ELITE FIXTURE	19	DIMMABLE IN CONFERENCE
F	6" WALL WASHER	CFL	LOBBY AND OPEN OFFICE AREA	MATCH TO ELITE FIXTURE	6	

NOTE: FOR PURCHASING INFORMATION AND GENERAL INQUIRIES, CONTACT JOHN LOMELI 949.294.7537; JLOMELI@SCLIGHTS.COM

PROJECT CEILING PLAN LEGEND

- NOTE CEILING HEIGHTS WHERE CALL-OUTS OCCUR ALL OTHERS ARE 9'-0".
- 2x2 SUSPENDED ACOUSTIC CEILING TILE GRID SPEC: ARMSTRONG DUNE REGULAR WITH SILHOUETTE 9/16" BOLT SLOT GRID; 1/4" REVEAL
*RECOMMENDATION ONLY; PLEASE COMPARE TO BUILDING STANDARDS
 - A - RECESSED 2X4 FIXTURE, SPEC-A
 - B - OMIT
 - C - RECESSED DOWNLIGHT; 2" APERTURE, SPEC-C OR EQUAL
 - D - RECESSED DOWNLIGHT; 6" APERTURE; DIMMABLE IN CONFERENCE, SPEC-D OR EQUAL
 - E - RECESSED DOWNLIGHT; 8" APERTURE; DIMMABLE IN CONFERENCE, SPEC-E OR EQUAL
 - F - WALL WASHER; 6" APERTURE; SPEC-F OR EQUAL

PROJECT WALL LEGEND

- EXISTING WALLS TO REMAIN, HEIGHTS VARY
- NEW CEILING HT. INTERIOR WALLS (SEE DETAIL #1/A-5)
- NEW CEILING HEIGHT INSULATED WALLS (SEE DETAIL #2/A-5)
- FULL-HEIGHT (SLAB-SLAB) INSULATED WALLS (DETAIL #3/A-5)

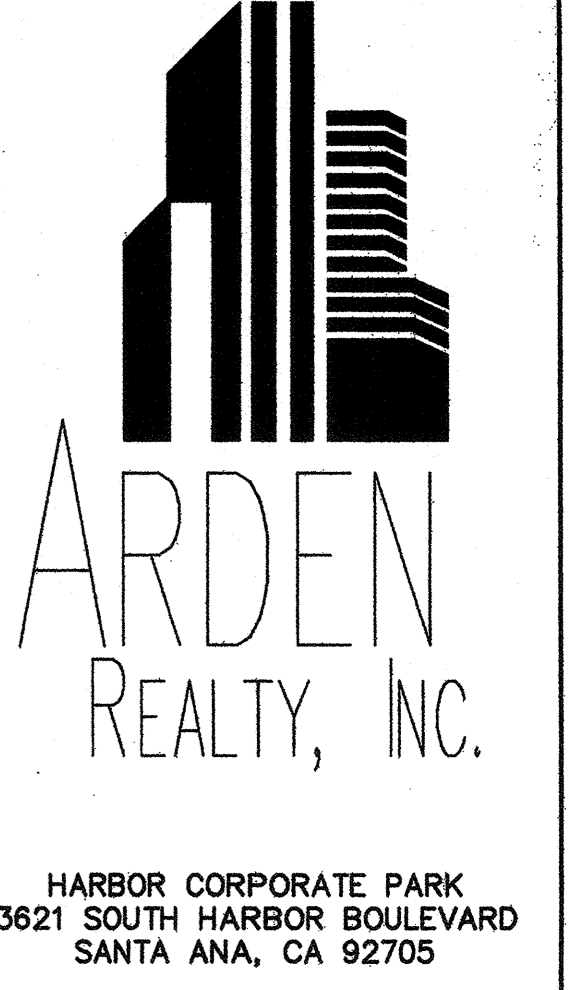
A-2 KEY NOTES:

- MATERIALS:**
ON ALL CONSTRUCTION PROJECTS WITH LIGHTING SCOPE, THE LAND LORD REQUIRES THE ELECTRICAL SUBS RECEIVE THEIR MATERIALS FROM PSS ONLY. THE PSS CONTACT PERSON: JARED JOHNSON, DIVISION MANAGER, OFFICE: 800.285.0439 X 14233, CELL: 714.748.4361 JARED.JOHNSON@PSS.COM
- (K1) PROVIDE J-BOX CONNECTIONS AND POWER (ABOVE CEILING) FOR TENANT'S VENDOR PROVIDED EQUIPMENT IN STUDIO ROOM. ALL EQUIPMENT AND PLACEMENT TO BE DETERMINED.
 - (K2) PROVIDE REWORKING OF HVAC SYSTEM PER NEW ROOM LAYOUT & ZONES PER PLAN AND RE-BALANCE THE AIR SYSTEM THROUGHOUT THE SUITE.
 - (K3) PROVIDE & INSTALL A TEMPERATURE CONTROLLED EXHAUST FAN WITH DOOR VENT IN THE TELE/DATA ROOM.
 - (K4) REMOVE ALL EXISTING BUILDING STANDARD 2X4 LIGHT FIXTURES AND REPLACE WITH NEW-SEE SPEC ON PROJECT CEILING LEGEND AND NOTES. (DEMO'D LIGHTS NOT SHOWN ON PLAN)
 - (K5) PROVIDE AND INSTALL NEW ELECTRIC 12" PROJECTION SCREEN. SPEC-DA-LITE OR SIMILAR (TENANT TO SELECT PER THEIR NEEDS)
 - (K6) PROVIDE J-BOX CONNECTION FOR TENANT PROVIDE PROJECTOR. (EXACT PLACEMENT TBD DURING CONSTRUCTION).
 - (K7) PROVIDE J-BOX WITH SWITCHING FOR TENANT PROVIDED LIGHTING.
 - (K8) PROVIDE 1" GAP BETWEEN NEW SOUND INSULATED FULL-HEIGHT WALL (SLAB TO SLAB) AND EXISTING WALLS AS SHOWN FOR ADDITIONAL SOUND CONTROL OF ADJACENT ROOMS.
 - (K9) PROVIDE ROOMS WITH INSULATION SOUND CONTROL. (NEW AND EXISTING).
-SOUND BATT INSULATION IN NEW & EXISTING WALLS.
-INSTA-QUIL ABOVE CEILING.
-SOUND BOOTS IN AIR VENTS.
-SOUND CAULKING AT METAL STUD FLOOR CHANNELS.
-SOUND GASKET WHERE WALL TERMINATES AT MULLIONS.
-SOUND GASKET AROUND DOOR FRAMES. (EXCEPT AT GLASS DOORS)
-SOUND SWEEPS ON DOORS. (EXCEPT AT GLASS DOORS)
 - (K10) MECHANICAL ENGINEER TO PROVIDE SOUND CONTROL AT EXISTING HVAC UNITS THROUGHOUT SUITE. SEE MECHANICAL ENGINEERING DRAWINGS DURING CONSTRUCTION DOCUMENT PHASE.

LEGEND:

- EXISTING ACOUSTICAL CEILING GRID & TILE, 2' x 2' IN SUITES [12" x 12" IN COMMON CORRIDORS-G.C. TO VERIFY] SPEC #1
 - 2' x 4' PARABOLIC FLUORESCENT FIXTURE REMOVE
 - 2' x 4' PARABOLIC FLUORESCENT NIGHT LIGHT FIXTURE REMOVE
 - 1-WAY CEILING MOUNTED SENSOR SPEC #6
 - 2-WAY CEILING MOUNTED SENSOR SPEC #6
 - WALL MOUNTED SENSOR, W/ INTEGRAL OVERRIDE BUTTON SPEC #5
 - DOUBLE TOGGLE OVERRIDE SWITCH. SPEC #4
 - EXIT SIGN SPEC #3
 - TEMPERATURE CONTROLLED EXHAUST FAN SEE KEYNOTE K2
 - J-BOX ABOVE CEILING
 - FIRE STROBE
 - FIRE LIFE SAFETY SPEAKER NOT SHOWN ON ARCHITECTURAL PLANS. G.C. TO PROVIDE AS REQUIRED-SEE ENGINEERING PLANS.
 - SMOKE DETECTOR
 - FIRE LIFE SAFETY OBJECT NOTE #15
 - D DEMOLISH N NEW
 - R RELOCATED ER EXISTING TO BE RELOCATED
- ALL ITEMS ARE EXISTING TO REMAIN, U.O.N.

PROJECT



TENANT

TRAINING CONSULTANTS
SUITE 225

AGREED:
ACCEPTED THIS DAY OF 2012

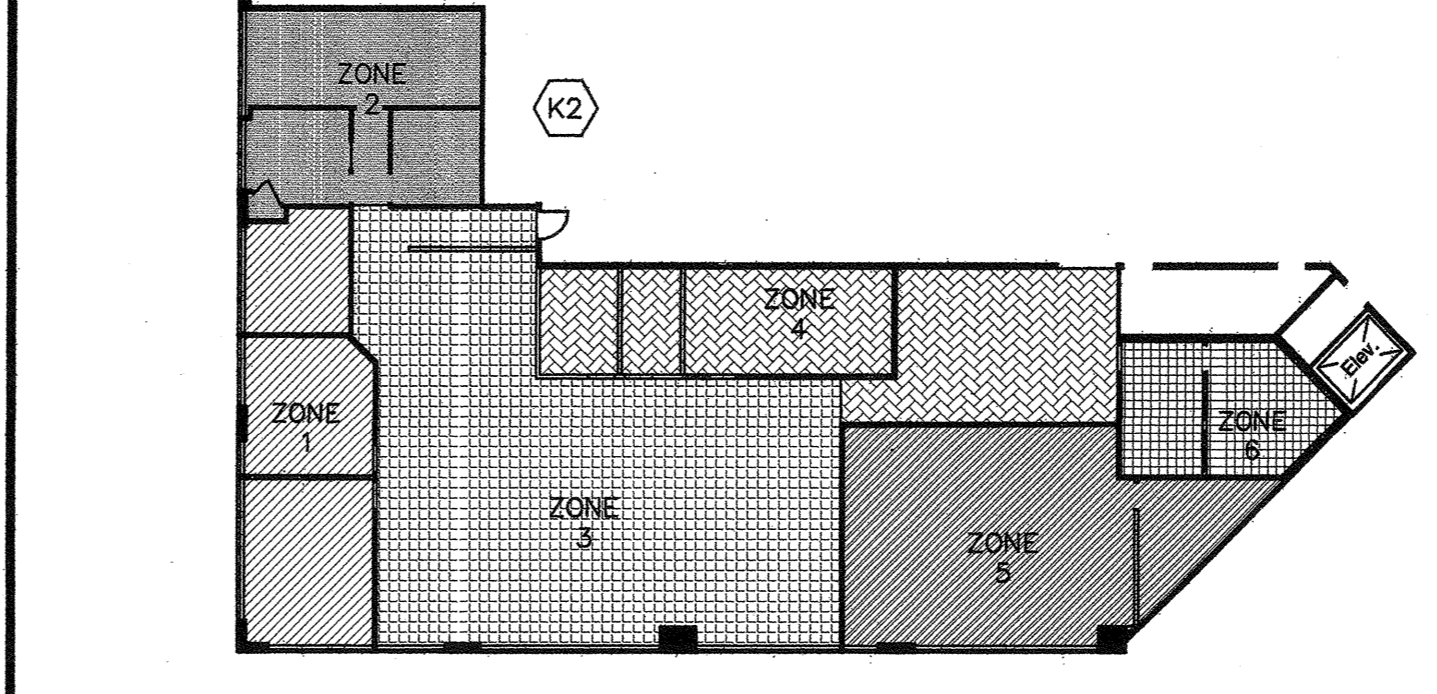
BUILDING STANDARD SPECIFICATIONS

- CEILING TILE: MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH. G.C. TO VERIFY. SUSPENDED CEILING GRID: TO MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH. G.C. TO VERIFY. SUPPRESSION SYSTEM TO COMPLY WITH ASTM C635 SPECIFICATIONS. COMPRESSION STRUTS TO COMPLY WITH TITLE 24.
- RECESSED 2' x 4' FLUORESCENT FIXTURE: MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH U.O.N. PROVIDE EARTHQUAKE CLIPS AND WIRE AS REQUIRED. "NL" DENOTES FIXTURE WITH BACK-UP BATTERY PACK FOR NIGHT-LIGHT. G.C. TO VERIFY.
- EXIT SIGN: PROVIDE AS NEEDED PER CODES. MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH. CEILING MOUNTED. EQUIP WITH BACK-UP POWER.
- SWITCHES: MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH. SWITCHES PAIRED IN DOUBLE GANG BOX. PROVIDE A/B OR OVERRIDE SWITCHING AS APPLICABLE TO MEET TITLE 24 REQUIREMENTS.
- WALL MOUNTED MOTION SENSOR/SWITCH: MATCH EXISTING BUILDING STANDARD SETUP IN MANUFACTURER, STYLE, AND FINISH.
- CEILING MOUNTED MOTION SENSORS: MATCH EXISTING BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH.
- DOWNLIGHTS: SEE SPECS
- FIRE SPRINKLERS: EXISTING TO REMAIN/PROVIDE AS REQUIRED PER CODES. G.C. TO VERIFY. IF NEW ARE REQUIRED, THEY ARE TO MATCH BUILDING STANDARD. SEE SPRINKLER SHOP DRAWINGS FOR SPECIFICATIONS.
- SMOKE DETECTOR: NOT SHOWN IN SUITES, PROVIDE IF/AS REQUIRED BY CODES. G.C. TO VERIFY EXISTENCE & LOCATION. SPECIFICATION TO BE PROVIDED BY FIRE LIFE SAFETY ENGINEER. MATCH EXISTING U.O.N.
- FIRE LIFE SAFETY SPEAKERS & STROBES: PROVIDE IF/AS REQUIRED BY CODES. G.C. TO VERIFY EXISTENCE & LOCATION. SPECIFICATION TO BE PROVIDED BY FIRE LIFE SAFETY ENGINEER. MATCH EXISTING U.O.N.

BUILDING STANDARD NOTES:

- GENERAL:**
- VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
 - ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
 - ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED ON AUTOCADD. PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS. NO DXF FILES.
 - COMBINE ALL MECHANICAL, HVAC, ELECTRICAL, AND FIRE LIFE SAFETY WITHIN EXPANDED SUITE. IF NOT ALREADY, SEPARATE THESE SYSTEMS FROM THOSE OF ADJACENT SUITES.
 - G.C. TO VERIFY HVAC CONDITIONS/ZONING WITH BUILDING ENGINEER TO ENSURE ADEQUACY OF EXISTING UNITS FOR SUITE. ANY ADDITIONS TO HVAC EQUIPMENT SHALL BE INCLUDED IN SCOPE AND BID FOR PROPOSED WORK. G.C. TO REPAIR DUCTS AS REQUIRED. EXISTING HVAC GRILLS ARE TO BE REBALANCED. ALL EXISTING SUPPLY & RETURN AIR GRILLS ARE TO BE CLEANED, REPAIRED, AND REPAINTED (AS NEEDED) TO MATCH CEILING FOR CONTINUOUS UNIFORM APPEARANCE. REPLACE WITH NEW ONLY AS REQUIRED.
- CEILING GRID, TILES, LIGHTS, SWITCHES:**
- ALL SUSPENDED T-BAR IS EXISTING TO REMAIN, U.O.N. CLEAN/PATCH/REPAIR AS REQUIRED.
 - ALL ACOUSTICAL CEILING TILES ARE EXISTING TO REMAIN, U.O.N. TRIM/PATCH/REPLACE AS REQUIRED AND UNIFORM APPEARANCE THROUGHOUT SUITE AS REQUIRED WITH BUILDING STANDARD TILES.
 - SEE SHEET A-1 FOR HEIGHTS & CONSTRUCTION OF NEW WALLS. TRIM CEILING GRID AND TILES AS NEEDED.
 - LIGHT FIXTURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. G.C. TO ALLOW FOR MINIMUM LIGHT LEVEL OF ONE (1) FIXTURE PER EIGHTY (80) SQUARE FEET U.O.N. REPAIR/REPLACE FIXTURES AS REQUIRED. ALL EXISTING FIXTURES TO BE CLEANED. G.C. TO RELAMP AND REPLACE LENSES WITH BUILDING STANDARD ONLY PER DIRECTION OF LANDLORD.
- FIRE LIFE SAFETY & STRUCTURAL:**
- ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID.
 - PROVIDE EXIT SIGNS, SMOKE DETECTORS & LIFE SAFETY AS REQUIRED PER CODES. NEW TO MATCH EXISTING BUILDING STANDARD, U.O.N. G.C. TO VERIFY ALL ARE OPERATIONAL. PROVIDE 24 HOUR BATTERY PACK FOR EXIT SIGNS, IF REQUIRED. VERIFY AND REUSE EXISTING FIRE LIFE SAFETY ITEMS IF POSSIBLE-SEE ENGINEERING PLANS (IF NOT SHOWN ON THIS PLAN).
 - FIRE SPRINKLER DRAWINGS TO BE SUBMITTED TO SPACES ONE WEEK PRIOR TO ANY CONSTRUCTION. NO EXCEPTIONS. CONTRACTOR RESPONSIBLE FOR DELIVERING DRAWINGS TO SPACES. FIRE SPRINKLERS TO BE LOCATED TO MEET THE CITY FIRE DEPT. REQUIREMENTS.
 - WHERE ABOVE-CEILING WALLS HAVE BEEN DEMOLISHED, CEILING GRID AND TILES TO BE MODIFIED AND/OR REPLACED AS REQUIRED.
 - WHERE WALLS HAVE BEEN DEMOLISHED OR NEW CEILINGS ADDED REINFORCE CEILING GRID WITH COMPRESSION STRUTS PER 2010 CBC.
 - PROVIDE BRACING AT CEILING AND THE WIRES AT FIXTURES TO MEET CBC/BOCA/LOCAL CODES. CONFIRM EXISTING CONDITIONS.
 - PROVIDE NATURAL VENTILATION PER SECTION 1203.4 AND NATURAL OR ARTIFICIAL LIGHTING PER SECTION 1205 OF CBC. IN LIEU OF NATURAL VENTILATION PROVIDE MECHANICAL VENTILATION PER CALIFORNIA MECHANICAL CODE. SEE MECHANICAL ENGINEERING DRAWINGS FOR HVAC COMPLIANCE.

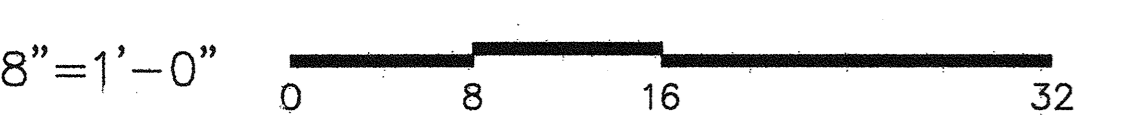
HVAC ZONE PLAN:



AREA OF PERMIT
SUITE 225

3621 BLDG
2ND FLR.

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.
NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.



SQUARE FOOTAGE
USABLE: 5,486 SF

SECOND FLOOR REFLECTED CEILING PLAN

Sheet Title
Project Number 2778.15
Sheet Number A-2

CARD READER NOTES:

DOORS AND CARD READERS SHALL COMPLY WITH THE 2010 CALIFORNIA BUILDING CODE, INCLUDING SECTION 1005.1.4.4, WHICH STATES:

"ACCESS-CONTROLLED EGRESS DOORS. THE ENTRANCE DOORS IN A MEANS OF EGRESS IN BUILDINGS WITH AN OCCUPANCY IN GROUP A, B, M, R-1, OR R-2 AND ENTRANCE DOORS TO TENANT SPACES IN OCCUPANCIES IN GROUPS A, B, M, R-1 AND R-2 THAT ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 AND APPROVED AUTOMATIC SMOKE DETECTION SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 907, ARE PERMITTED TO BE EQUIPPED WITH AN APPROVED ENTRANCE AND EGRESS ACCESS CONTROL SYSTEM WHICH SHALL BE INSTALLED IN ACCORDANCE WITH ALL OF THE FOLLOWING CRITERIA:

1. A SENSOR SHALL BE PROVIDED ON THE EGRESS SIDE ARRANGED TO DETECT AN OCCUPANT APPROACHING THE DOORS. THE DOORS SHALL BE ARRANGED TO UNLOCK BY A SIGNAL FROM OR LOSS OF POWER TO THE SENSOR.
2. THE DOORS SHALL BE ARRANGED TO UNLOCK FROM A MANUAL UNLOCKING DEVICE LOCATED 40 INCHES TO 48 INCHES (1016 MM TO 1219 MM) VERTICALLY ABOVE THE FLOOR AND WITHIN 5 FEET (1524 MM) OF THE SECURED DOORS. READY ACCESS SHALL BE PROVIDED TO THE MANUAL UNLOCKING DEVICE AND THE DEVICE SHALL BE CLEARLY IDENTIFIED BY A SIGN THAT READS "PUSH TO EXIT". WHEN OPERATED, THE MANUAL UNLOCKING DEVICE SHALL RESULT IN DIRECT INTERRUPTION OF POWER TO THE LOCK-INDEPENDENT OF THE ACCESS CONTROL SYSTEM.
3. ACTIVATION OF THE BUILDING FIRE ALARM SYSTEM, SHALL AUTOMATICALLY UNLOCK THE DOORS, AND THE DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.
4. ACTIVATION OF THE BUILDING AUTOMATIC SPRINKLER OR FIRE DETECTION SYSTEM, SHALL AUTOMATICALLY UNLOCK THE DOORS. THE DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.
5. ENTRANCE DOORS IN BUILDINGS WITH AN OCCUPANCY IN GROUP A, B, OR M SHALL NOT BE SECURED FROM THE EGRESS SIDE DURING PERIODS THAT THE BUILDING IS OPEN TO THE GENERAL PUBLIC."

FIRE DEPARTMENT REQUESTED NOTE:
DOORS WITH CARD READERS TO BE FALL-SAFE IN THE DIRECTION OF EGRESS TRAVEL.

BUILDING STANDARD NOTES:

13. DEDICATED/ISOLATED OUTLETS TO BE COLOR CODED ORANGE OR TO MATCH BUILDING STANDARD.
14. ALL OUTLETS TO BE OPERATIONAL. TYPICAL SPACING FOR ALL NEW OUTLETS IS 8" FROM EACH OTHER. NO BACK TO BACK OUTLETS. OUTLETS TO BE VERTICAL AND CENTERED AT 18" A.F.F. U.O.N.
15. NEW SWITCHES TO BE LOCATED NOT MORE THAN 8" FROM DOOR FRAME U.O.N. MOUNT @ 42" A.F.F.
16. PATCH AND PAINT DRYWALL WHERE EXISTING ELECTRICAL IS TO BE REMOVED. BLANK PLATES SHALL NOT BE PERMITTED. REMOVE EXISTING BLANK PLATES.
17. TENANT TO SPECIFY ALL REQUIREMENTS NEEDED FOR THEIR APPLIANCES AND EQUIPMENT. G.C. TO PROVIDE ALL REQUIRED ELECTRICAL & PLUMBING.
18. ALL TELE/DATA, TELEPHONE AND DATA OUTLETS ARE TO BE 3/4" CONDUIT IN A SINGLE RUN TO BE STUBBED OUT AT 6" ABOVE THE FINISHED CEILING. NO LOOPING. WHEN A TELE/DATA OR DATA OUTLET IS INDICATED NEXT TO AN ELECTRICAL OUTLET, THE ENGINEER MUST NOT PROVIDE MORE THAN 4 OUTLETS PER BREAKER. NO OUTLETS FOR ANY OTHER USE ARE TO BE PROVIDED ON THE SAME BREAKERS WITH DATA/CRT ELECTRICAL OUTLETS. TWO SPARE BREAKERS ARE TO REMAIN FOR THE BUILDING ENGINEER'S USE. ALL SPECIFICATIONS FOR EQUIPMENT THAT IS DIFFERENT FROM THE ARCHITECTURAL DRAWINGS ARE TO BE INDICATED ON THE ENGINEERING DRAWINGS. SEE ENGINEERED DRAWINGS FOR CONDUIT SIZE AND CONNECTION.
19. ALL EXISTING TELEPHONE/DATA CABLE IS TO BE REMOVED, U.O.N.
20. TENANT AND TENANT'S SUBCONTRACTOR ARE RESPONSIBLE FOR INSTALLATION OF TELE/DATA CABLE. CABLE TO BE PLENUM RATED AND SUSPENDED FROM THE STRUCTURE ABOVE. CABLE MAY NOT REST ON THE CEILING GRID OR BE ATTACHED TO ANY OTHER ELEMENTS ABOVE THE CEILING GRID EXCEPT THE STRUCTURE ABOVE.
21. FURNITURE IS A SCHEMATIC LAYOUT AND FOR REFERENCE ONLY. TENANT TO PROVIDE. TENANT & TENANT'S VENDOR TO PROVIDE EXACT LOCATIONS & SIZES OF FURNITURE SYSTEMS AND LOCATIONS FOR TYPES OF OUTLETS & FURNITURE WHIPS. EXACT CRITICAL DIMENSIONED LOCATIONS OF ALL ELECTRICAL & TELE/DATA PANEL FEEDS TO BE PROVIDED TO SPACES/G.C. PRIOR TO INSTALLATION. G.C. RESPONSIBLE FOR HARDWARE CONNECTIONS TO BUILDING POWER.

BUILDING STANDARD NOTES:

- GENERAL:**
1. VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
 2. ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
 3. ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED ON AUTOCAD. PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS. NO DXF FILES.
 4. ALL SUITES TO RECEIVE TELEPHONE BACKBOARD (IF NOT EXISTING OR U.O.N.) PROVIDE 1 (ONE) SEPARATE CIRCUIT & 1 (ONE) 2" CONDUIT TO BASE BUILDING TELEPHONE. SAND AND PAINT BACKBOARD.
 5. ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID. G.C. TO VERIFY EXISTING FIRE EXTINGUISHERS, AND PROVIDE NEW AS NEEDED PER CODES (IN NUMBER, TYPE, & LOCATION).
 6. G.C. TO VERIFY CAPACITY OF EXISTING ELECTRICAL PANEL/ TRANSFORMERS IS ADEQUATE FOR PROPOSED WORK. IF ANY ADDITIONS TO ELECTRICAL CAPACITY OF BUILDING IS REQUIRED IT SHALL BE INCLUDED IN SCOPE AND BID FOR PROPOSED WORK.
 7. ALL OFFICES TO HAVE A MINIMUM OF TWO DUPLEX OUTLETS, ONE TELEPHONE OUTLET AND ONE DATA OUTLET, U.O.N.
 8. REPAIR AND/OR REPLACE EXISTING CONDITIONS/FINISHES WITH BUILDING STANDARD FINISHES AND MATCH THROUGHOUT AREA OF PERMIT.
 9. ALL EXISTING HANDICAPPED FACILITIES (INCLUDING HEIGHT OF OUTLETS) SHALL MEET OR COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS.
 10. COMBINE ALL MECHANICAL, HVAC, ELECTRICAL, AND FIRE LIFE SAFETY WITHIN SUITE, IF NOT ALREADY EXISTING. SEPARATE THESE SYSTEMS FROM ADJACENT SUITES.
- ELECTRICAL:**
11. ALL ELECTRICAL/TELE/DATA OUTLETS ARE EXISTING TO REMAIN, U.O.N.
 12. ALL OUTLETS TO HAVE COVER PLATES. IF DAMAGED OR MISSING, G.C. TO PROVIDE NEW COVER PLATES TO MATCH EXISTING. ALL ELECTRICAL OUTLETS ARE TO MATCH EXISTING IN COLOR & ORIENTATION. G.C. TO REPLACE ALL OUTLETS & PLATES THAT ARE NON-CONSISTENT. REPLACE MISSING SCREWS.

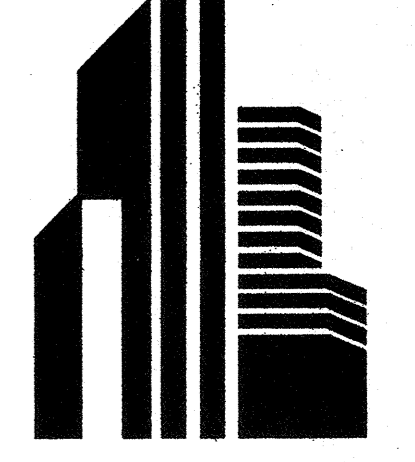
A-3 KEY NOTES:

- (K1) PANEL WORK STATIONS BY THE TENANT. - CIRCUIT, - WIRE. FURNITURE VENDOR TO PROVIDE WHIP CONNECTIONS & G.C. TO HOT WIRE. EXACT LOCATION OF CONNECTIONS TO BE DETERMINED DURING CONSTRUCTION. WORK STATION LAYOUT TO BE DETERMINED.
- (K2) PROVIDE J-BOX CONNECTIONS AND POWER (ABOVE CEILING) FOR TENANT'S VENDOR PROVIDED EQUIPMENT IN STUDIO ROOM. ALL EQUIPMENT AND PLACEMENT TO BE DETERMINED.
- (K3) PROVIDE CONDUIT CONNECTION FROM TELE/DATA ROOM TO SUITE 150 (BELOW) FOR TENANT DATA AND TELEPHONE CABLEING BETWEEN THE TWO SUITES. CONDUIT SIZE TO BE DETERMINED PER TENANT'S CABLEING NEEDS.
- (K4) PROVIDE & INSTALL A TEMPERATURE CONTROLLED EXHAUST FAN WITH DOOR VENT IN THE TELE/DATA ROOM.
- (K5) PROVIDE BACKING SUPPORT WITH POWER, CONDUIT FOR DATA AND CABLE CONNECTIONS FOR WALL MOUNTED T.V. HEIGHT TO BE VERIFIED WITH TENANT DURING CONSTRUCTION.
- (K6) PROVIDE FLUSH FLOOR OUTLET WITH POWER AND TELE AND DATA CONNECTIONS. EXACT SPEC AND LOCATION TO BE DETERMINED DURING CONSTRUCTION.
- (K7) PROVIDE CONDUIT AND DOOR PREP FOR TENANT'S VENDOR TO INSTALL CARD READERS, SPECS AND PLACEMENT MUST BE CODE-COMPLIANT. HEIGHT OF CARD READERS TO BE BETWEEN 30"-44" A.F.F. PER C.B.C. SECTION 11.33B.2.5.2.
- (K8) PROVIDE AND INSTALL NEW ELECTRIC 12" PROJECTION SCREEN. SPEC-DA-LITE OR SIMILAR (TENANT TO SELECT PER THEIR NEEDS)
- (K9) PROVIDE J-BOX CONNECTION FOR TENANT PROVIDE PROJECTOR.

LEGEND:

- ⊖ DUPLEX WALL OUTLET
 - ⊖ SC DUPLEX WALL OUTLET - SEPARATE CIRCUIT
 - ⊖ BB QUADRAPLEX WALL OUTLET
 - ⊖ TELE/DATA WALL OUTLET 3/4" CONDUIT SEE SPEC. #3
 - ⊖ TELEPHONE BACKBOARD SEE SPEC. #1
 - ⊖ J-BOX WALL OUTLET PANEL FEED -PANEL SYSTEM BY TENANT SEE ENGINEERING FOR CONDUIT SIZE
 - ⊖ J-BOX FLOOR OUTLET PANEL FEED -PANEL SYSTEM BY TENANT SEE ENGINEERING FOR CONDUIT SIZE
 - ⊖ G.C. TO HOT-WIRE
 - ⊖ G.C. TO HOT-WIRE
 - ⊖ G.C. TO HOT-WIRE
 - ⊖ FLUSH MOUNTED FLOOR TELEPHONE/DATA OUTLET AND FLUSH MOUNTED FLOOR ELECTRICAL OUTLET
 - FE FIRE EXTINGUISHERS, PROVIDE AS NEEDED SEE SPEC. #2
 - COPPER WATER LINE
 - ↻ SWITCH FOR GARBAGE DISPOSAL
 - ⊖ CABLE CONNECTION SEE KEYNOTE K2
 - ER EXISTING TO BE RELOCATED
 - R RELOCATED
 - D DEMOLISH
 - N NEW
- ALL ITEMS TO REMAIN UNLESS OTHERWISE NOTED

PROJECT



ARDEN REALTY, INC.

HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS

SUITE 225

AGREED: _____, 2012
TENANT: _____
BY: _____
TITLE: _____

COMMENT:
UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

NO.	DESCRIPTION	DATE
1	PLAN CHECK CORRECTIONS MS/NEW ORDERLEADER NOTE	01.21.12
2	PLAN CHECK SUBMITTAL	01.23.12
3	RELEASED FOR ENGINEERING	01.13.12
REVISIONS		
DRAWN RP/MS		
DATE 10.06.11		
CHECKED RP		
PRINT DATE 01.20.12		

NO.	DESCRIPTION	DATE
1	PLAN CHECK CORRECTIONS MS/NEW ORDERLEADER NOTE	01.21.12
2	PLAN CHECK SUBMITTAL	01.23.12
3	RELEASED FOR ENGINEERING	01.13.12

INTERIOR PLANNING & DESIGN
SPACES
P & D INC.
17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE
USABLE: 5,486 SF

SECOND FLOOR
TELEPHONE/ELECTRICAL PLAN

Sheet Title

Project Number 2778.15

Sheet Number A-3

LIVE LOADS...

* G.C. TO ENSURE COMPLIANCE WITH C.B.C. SECTION 1607.3.5.5: "LIVE LOADS POSTED. THE LIVE LOADS FOR WHICH EACH FLOOR OR PORTION THEREOF OF A COMMERCIAL OR INDUSTRIAL BUILDING IS OR HAS BEEN DESIGNED SHALL HAVE SUCH DESIGN LIVE LOADS CONSPICUOUSLY POSTED BY THE OWNER IN THAT PART OF EACH STORY IN WHICH THEY APPLY, USING DURABLE METAL SIGNS, AND IT SHALL BE UNLAWFUL TO REMOVE OR DEFACE SUCH NOTICES. THE OCCUPANT OF THE BUILDING SHALL BE RESPONSIBLE FOR KEEPING THE ACTUAL LOAD BELOW THE ALLOWABLE LIMITS."

TO THAT END...

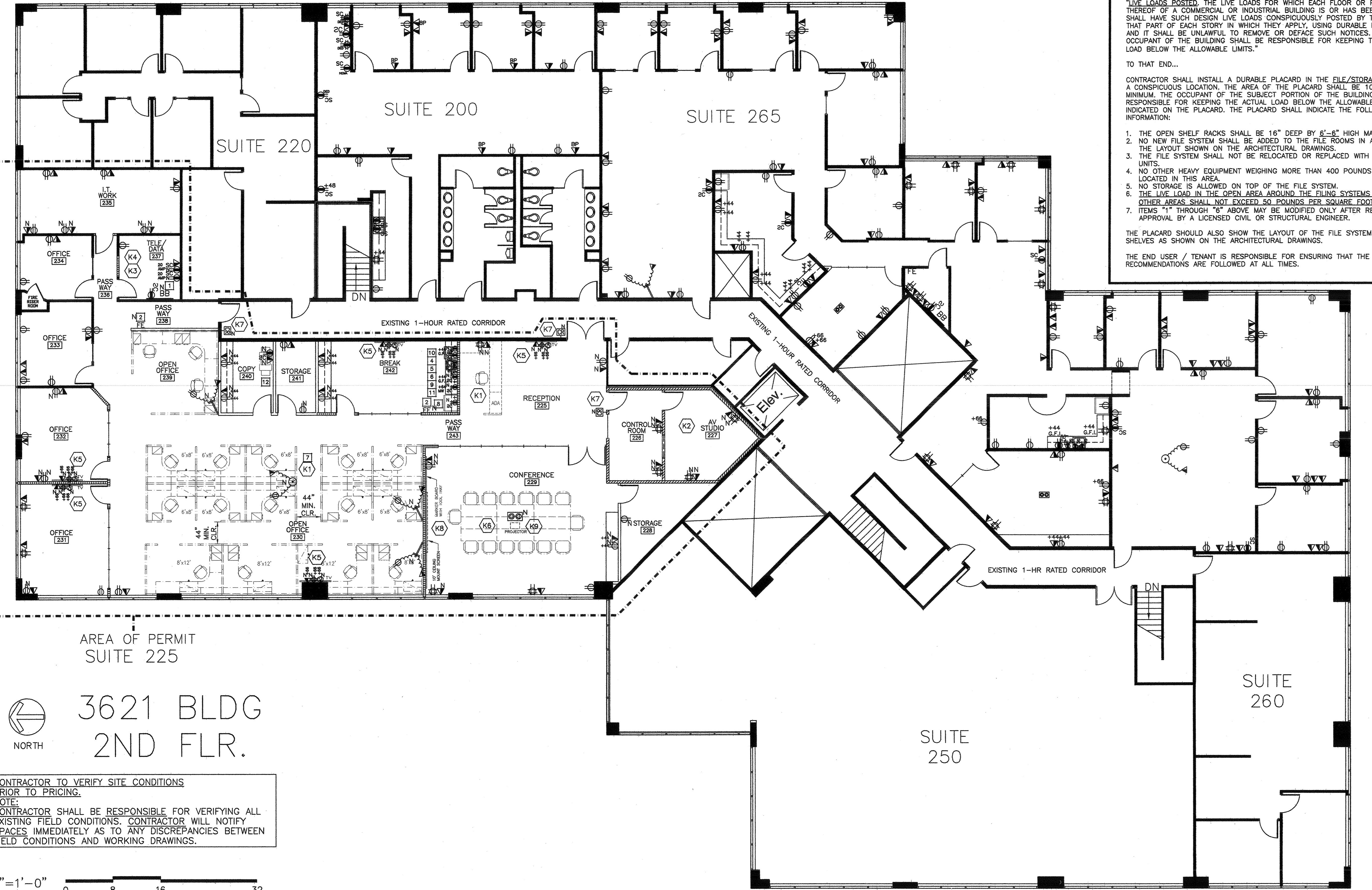
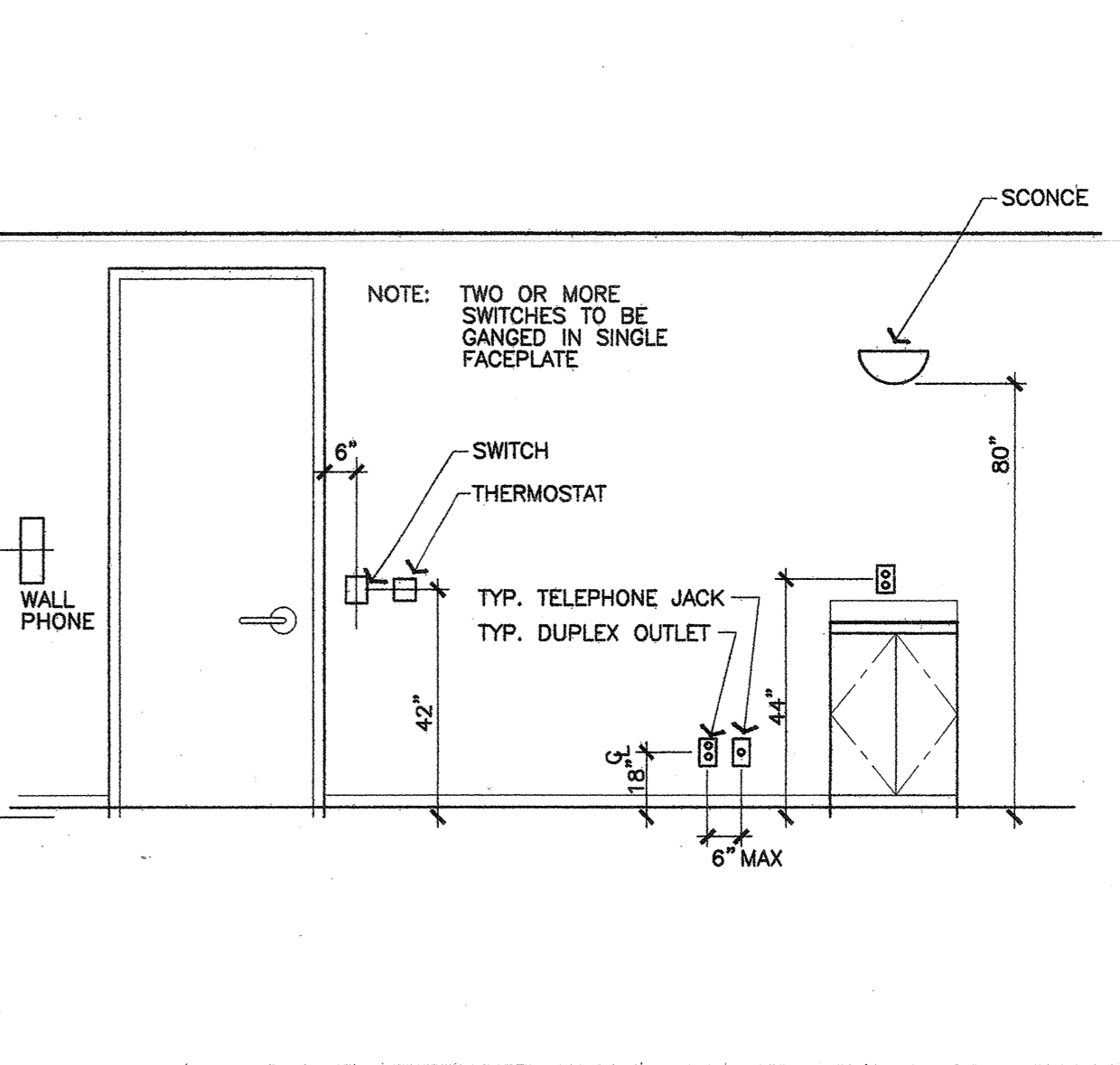
CONTRACTOR SHALL INSTALL A DURABLE PLACARD IN THE FILE/STORAGE ROOM AT A CONSPICUOUS LOCATION. THE AREA OF THE PLACARD SHALL BE 100 SQ. INCHES MINIMUM. THE OCCUPANT OF THE SUBJECT PORTION OF THE BUILDING SHALL BE RESPONSIBLE FOR KEEPING THE ACTUAL LOAD BELOW THE ALLOWABLE LOAD LIMITS INDICATED ON THE PLACARD. THE PLACARD SHALL INDICATE THE FOLLOWING INFORMATION:

1. THE OPEN SHELF RACKS SHALL BE 16" DEEP BY 6"-8" HIGH MAXIMUM.
2. NO NEW FILE SYSTEM SHALL BE ADDED TO THE FILE ROOMS IN ADDITION TO THE LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS.
3. THE FILE SYSTEM SHALL NOT BE RELOCATED OR REPLACED WITH HEAVIER UNITS.
4. NO OTHER HEAVY EQUIPMENT WEIGHING MORE THAN 400 POUNDS SHALL BE LOCATED IN THIS AREA.
5. NO STORAGE IS ALLOWED ON TOP OF THE FILE SYSTEM.
6. THE LIVE LOAD IN THE OPEN AREAS AROUND THE FILING SYSTEMS AND IN ALL OTHER AREAS SHALL NOT EXCEED 50 POUNDS PER SQUARE FOOT (PSF).
7. ITEMS "1" THROUGH "6" ABOVE MAY BE MODIFIED ONLY AFTER REVIEW AND APPROVAL BY A LICENSED CIVIL OR STRUCTURAL ENGINEER.

THE PLACARD SHOULD ALSO SHOW THE LAYOUT OF THE FILE SYSTEM AND BOOK SHELVES AS SHOWN ON THE ARCHITECTURAL DRAWINGS.

THE END USER / TENANT IS RESPONSIBLE FOR ENSURING THAT THE ABOVE RECOMMENDATIONS ARE FOLLOWED AT ALL TIMES.

TYPICAL OUTLET DIMENSIONS



3621 BLDG
2ND FLR.

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.
NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.



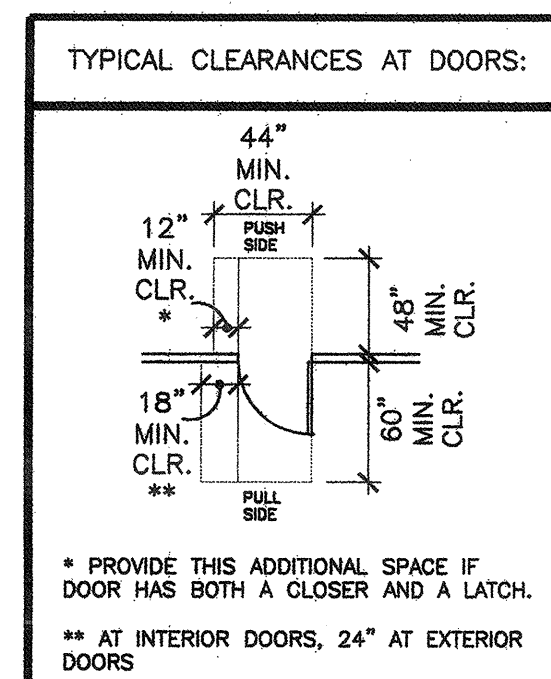
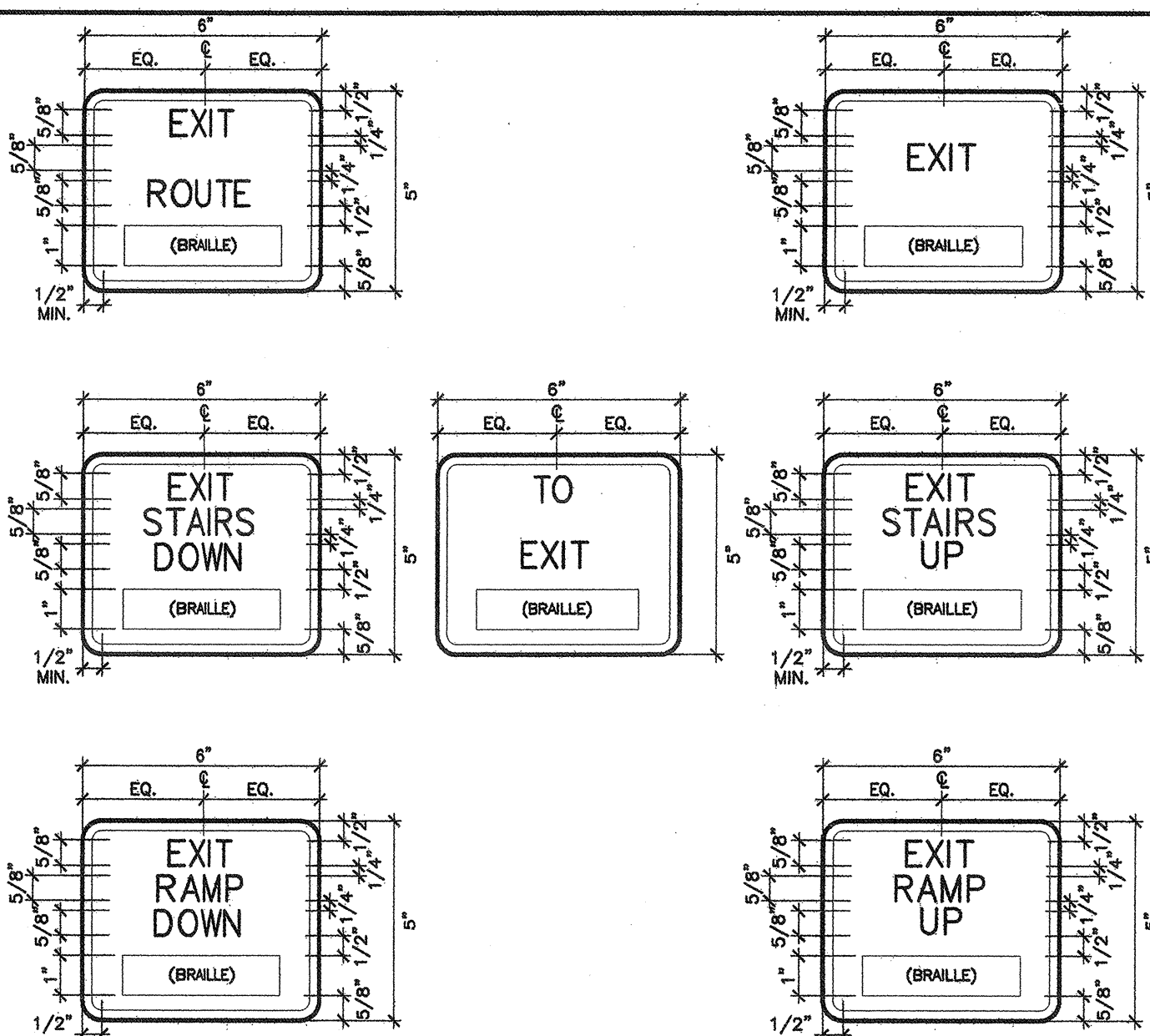
DOOR SCHEDULE

Table with columns for NUMBER, ROOM NAME, WIDTH, HEIGHT, THICKNESS, TYPE, MATERIAL, HEAD, JAMB, THRESH, MATERIAL, HARDWARE, LABEL, REMARKS. Rows include CONTROL ROOM, CONFERENCE, OFFICE, and BREAK rooms.

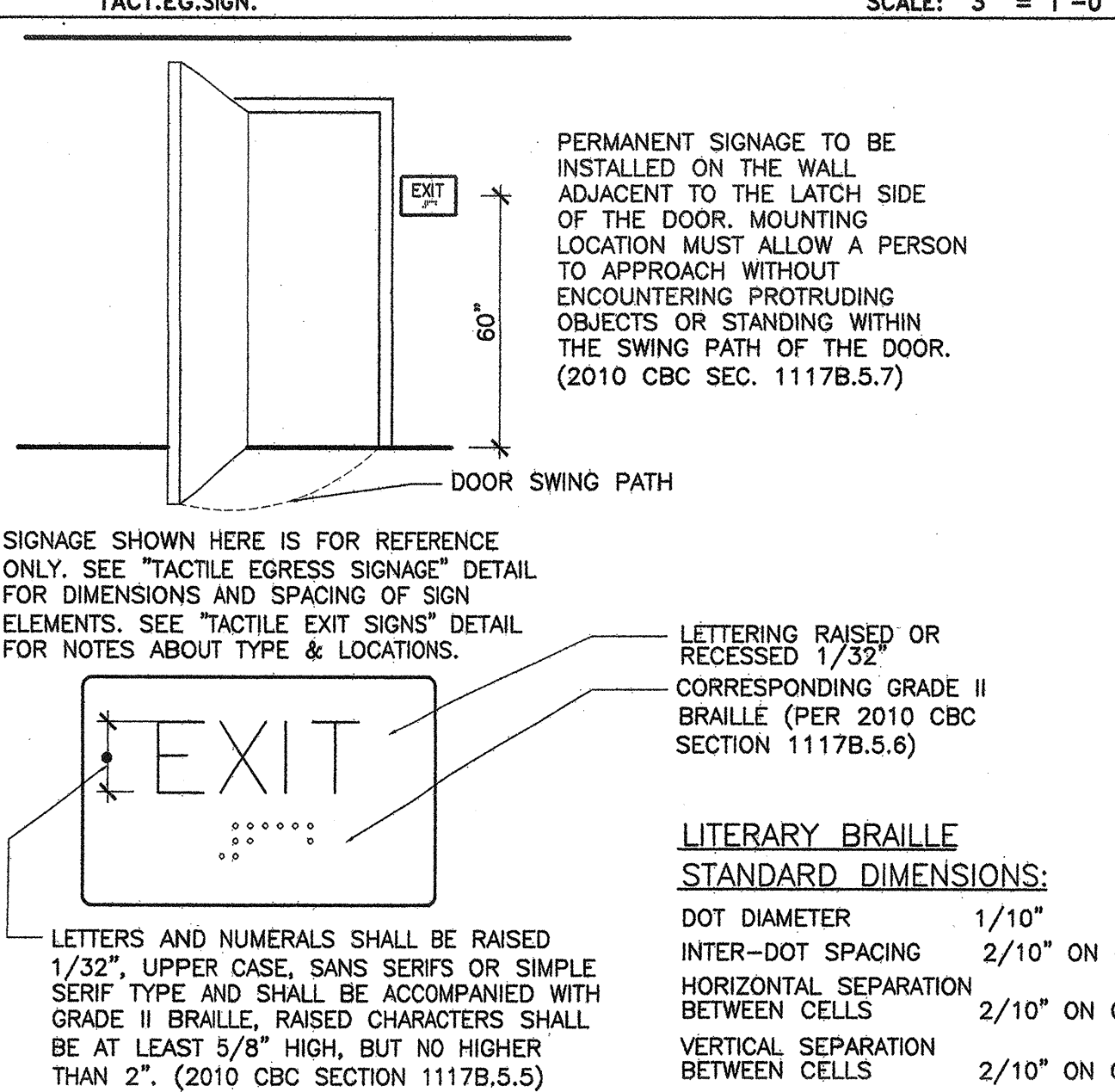
GENERAL DOOR NOTES

- 1. RIGHT DOOR ACTIVE ON PAIRS OR DOORS UNLESS OTHERWISE NOTED.
2. ALL HARDWARE IS LEVER TYPE, AND CONFORMS TO CALIFORNIA TITLE 24 HANDICAPPED REQUIREMENTS.
3. PANIC HARDWARE SHALL BE OPERABLE BY SINGLE ELECT LEVER-TYPE DEVICE...

TACTILE EXIT SIGNS



TACTILE EGRESS SIGNAGE



T.E. SIGN NOTES

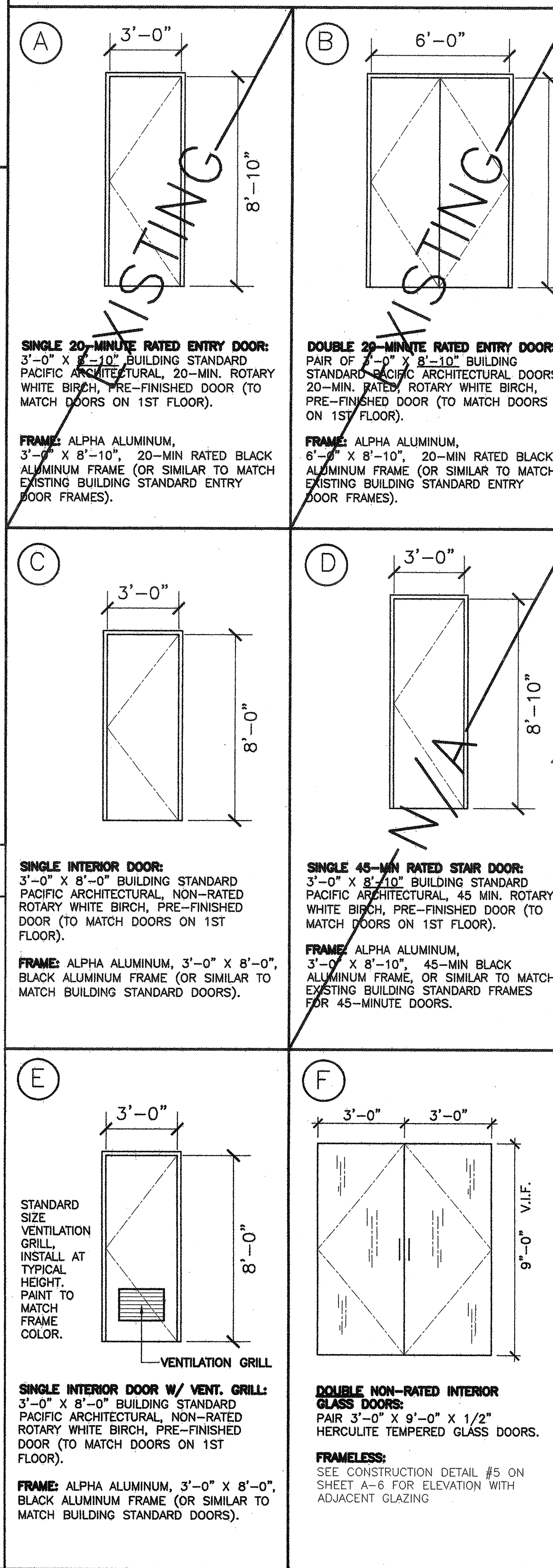
- 1. EACH GRADE-LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD, "EXIT".
2. EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE...

DOOR HARDWARE

Table with columns for ITEM, QTY., MODEL / SIZE, TYPE, FINISH, BRAND. Includes sets for single 20-min entry, double 20-min entry, single non-locking interior, and single locking interior doors.

* ALL RATED DOORS (ALONG CORRIDOR, EXCEPT RESTROOM DOORS) TO HAVE MORTISE LOCK WITH 1" DEADBOLT, PER THE SANTA ANA POLICE DEPARTMENT.
ALL SUITE ENTRY DOORS THAT SWING INTO CORRIDOR TO HAVE NON-REMOVABLE HINGE PINS.

DOOR TYPES



FINISH SCHEDULE

Table with columns for NUMBER, ROOM NAME, BASE, FLOOR, WALLS (NORTH, EAST, SOUTH, WEST), CEILING, MATERIAL, HEIGHT, REMARKS. Includes rooms like RECEPTION, CONTROL ROOM, AV STUDIO, STORAGE, CONFERENCE, OPEN OFFICE, OFFICE, I.T. WORK, PASSWAY, TELE/DATA, OPEN OFFICE, COPY, STORAGE, BREAK, and PASSWAY.

- VERIFY ALL FINAL SPECS AND LOCATIONS.
• PAINT INTERIOR DOOR & WINDOW FRAMES THROUGHOUT SUITE, SEE SPEC. #17.
• SUBMIT SAMPLES TO CLIENT FOR APPROVAL AS REQUIRED (SPECS 5, 6, 13)
• SEE SHEET A-1 FOR ADDITIONAL FINISH NOTES/KEYNOTES, AND SHEET A-6 FOR MILLWORK.

FINISH SPECS

- FLOORING (PROVIDE TRANSITION STRIPS AS NEEDED BETWEEN CHANGES IN FLOORING MATERIALS)
1. CARPET: (GENERAL-ALL AREAS EXCEPT RECEPTION, CONFERENCE ROOM, STORAGE AREAS, COPY ROOM, BREAK ROOM, AND TELE/DATA)
2. VCT: (STORAGE AREAS, COPY ROOM, CONFERENCE ROOM)
3. VCT: (TELE/DATA ROOM, SAME AS SPEC ABOVE)
4. VCT: (BREAK ROOM)
7. RUBBER BASE: (GENERAL-THROUGHOUT, U.O.N.)
9. FIELD PAINT: (GENERAL AREA, WHERE INDICATED)
10. FIELD PAINT: (GENERAL AREA, WHERE INDICATED)
11. ACCENT PAINT: (WHERE INDICATED)
12. ACCENT PAINT: (WHERE INDICATED)
13. GLASS TILE: (BREAK ROOM, SINK COUNTER BACKSPLASH ONLY)
14. P-LAM: (BREAK & COPY ROOMS-COUNTERTOPS & FACES & EDGES, U.O.N.-SEE #13 & ALT. PRICING SPECS #19 & 20 FOR SINK CAB)
15. P-LAM: (CONFERENCE/TRAINING ROOM LOWER CABINET)
16. N/A
17. DOOR & WINDOW FRAMES: PAINT ALL NEW & EXISTING INT. WINDOW & DOOR FRAMES IN SUITE, BRAND/COLOR/FINISH: T.B.D.
18. N/A
19. ALTERNATE PRICE COUNTERTOP (BREAKROOM, SINK COUNTER ONLY)
20. ALTERNATE PRICE COUNTERTOP (BREAKROOM, SINK COUNTER ONLY)
21. CEILING: (GENERAL AREAS-SEE REFLECTED CEILING PLAN)
22. CEILING PAINT: (GYPSUM BOARD CEILING AREAS-SEE REFLECTED CEILING PLAN)

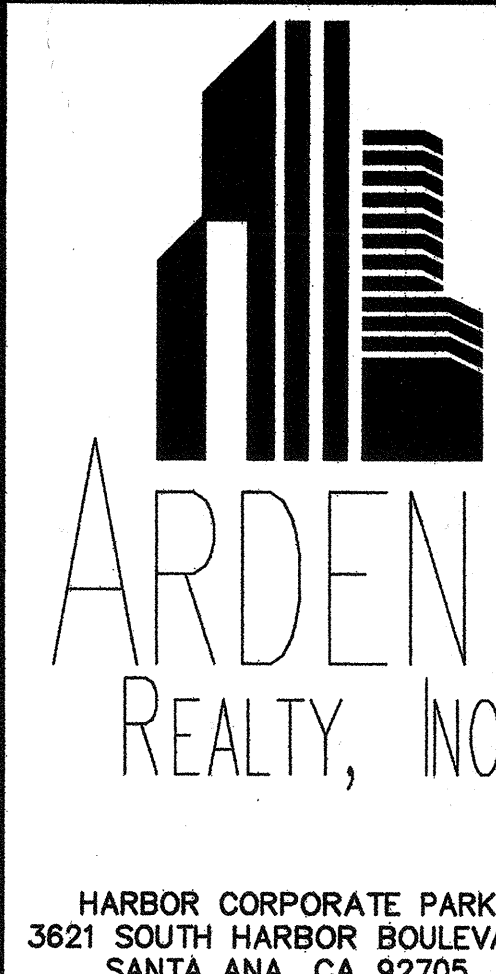
FINISH NOTES

- SUBCONTRACTORS TO PROVIDE SPECIFICATIONS ON ALL EXISTING FINISHES TO GENERAL CONTRACTOR IN WRITING.
• ALL FINISHES SHALL COMPLY WITH CHAPTER 8, OF THE 2010 CBC. ALL FINISHES SHALL HAVE A MINIMUM CLASS III RATING WITH A FLAME SPREAD OF 75 TO 200 MAXIMUM.
• IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, THEN IT SHALL BE SECURELY ATTACHED; HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD; AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL-CUT PILE, OR LEVEL-CUT/UNCUT PILE TEXTURE. THE MAXIMUM PILE HEIGHT SHALL BE 1/2 INCH. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH THE REQUIREMENTS FOR CHANGES IN LEVEL. CBC SECTION 1124B.3.

MILLWORK NOTES

- MILLWORK CONSTRUCTION: ALL DOORS AND DRAWER FRONTS AND ALL EXPOSED EDGES TO BE LAMINATE CLAD 3/4" HIGH DENSITY PARTICLE CORE. INTERIOR AND SHELVES OF ALL CABINETS TO BE WHITE MELAMINE. WOOD BLOCKING IN WALL TO BE PROVIDED BY THE GENERAL CONTRACTOR.
MILLWORK HARDWARE: HINGES: BLUM 125 DEGREE, SELF CLOSING PULLS: STANLEY, #4484, US26 STANDARDS: KVV255, BRIGHT NICKLE SINK & FAUCET: SEE SPEC ON SHEET A-1 DRAWER GLIDES: ACCURIDE 2", FULL EXTENSION
SHOP DRAWINGS MUST BE SUBMITTED TO SPACES PRIOR TO FABRICATION.
1. PROVIDE GROMMET HOLES ABOVE ALL ELECTRICAL/TELE. OUTLETS AT ALL COUNTERTOPS AS REQUIRED.

PROJECT



HARBOR CORPORATE PARK 3621 SOUTH HARBOR BOULEVARD SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS SUITE 225

ACCEPTED THIS DAY OF 2012 TENANT: BY: TITLE:

COMMENTS: UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

Table with columns for NO., DESCRIPTION, DATE. Includes PLAN CHECK SUBMITTAL, RELEASED FOR ENGINEERING, REVISIONS.

Professional seals and stamps for CCLD/C and RANDI S. PATRICK, ARCHITECT.

INTERIOR PLANNING & DESIGN SPACES P&D INC. 17780 FITCH, SUITE 150 / IRVINE, CA 92614

SQUARE FOOTAGE USABLE: 5,486 SF

SECOND FLOOR DOOR & FINISH SCHEDULE

Sheet Title Project Number 2778.15 Sheet Number A-4



HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TRAINING
CONSULTANTS

SUITE 225

AGREED:

ACCEPTED THIS DAY OF _____, 2012

TENANT: _____

BY: _____

TITLE: _____

COMMENT: _____

UPON SIGNING THIS DRAWING ALL OF MY
REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE
FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS
PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE
WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST
TO ME THE TENANT.

THESE DRAWINGS AND THE ACCOMPANYING SPECIFICATIONS ARE INSTRUMENTS
OF SERVICE. THE EXCLUSIVE PROPERTY OF SPACES AND THEIR USE AND
REPRODUCTION SHALL BE RESTRICTED TO THE ORIGINAL SPACE OR SITE FOR
WHICH THEY WERE PROVIDED. REUSE, REPRODUCTION OR MODIFICATION OF
ANY PART OF THIS DRAWING WITHOUT THE WRITTEN PERMISSION OF SPACES
IS PROHIBITED. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY
PERMITS FROM LOCAL AGENCIES AND FOR OBTAINING ALL NECESSARY
CONSENTS FROM THE OWNER OF THE PROPERTY.

PLAN CHECK CORRECTIONS
MS/DETAILS #1-5,7,13,18 02.13.12

TENANT
REVISIONS 01.25.12

PLAN CHECK
01.25.12

RELEASED FOR
ENGINEERING 01.13.12

NO. DESCRIPTION DATE

REVISIONS

DRAWN MS/RP

DATE 10.06.11

CHECKED RP

PRINT DATE 01.20.12

INTERIOR PLANNING &
DESIGN

SPACES
P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE

USABLE: 5,486 SF

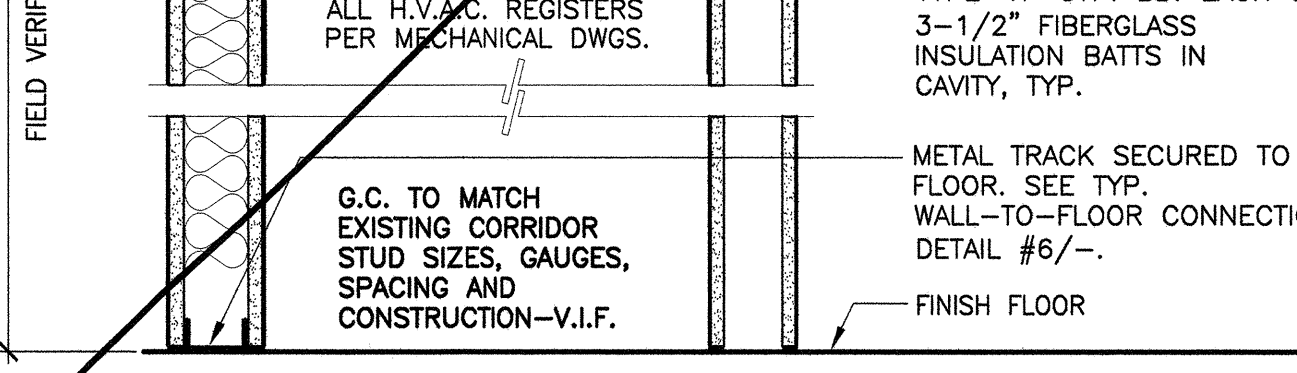
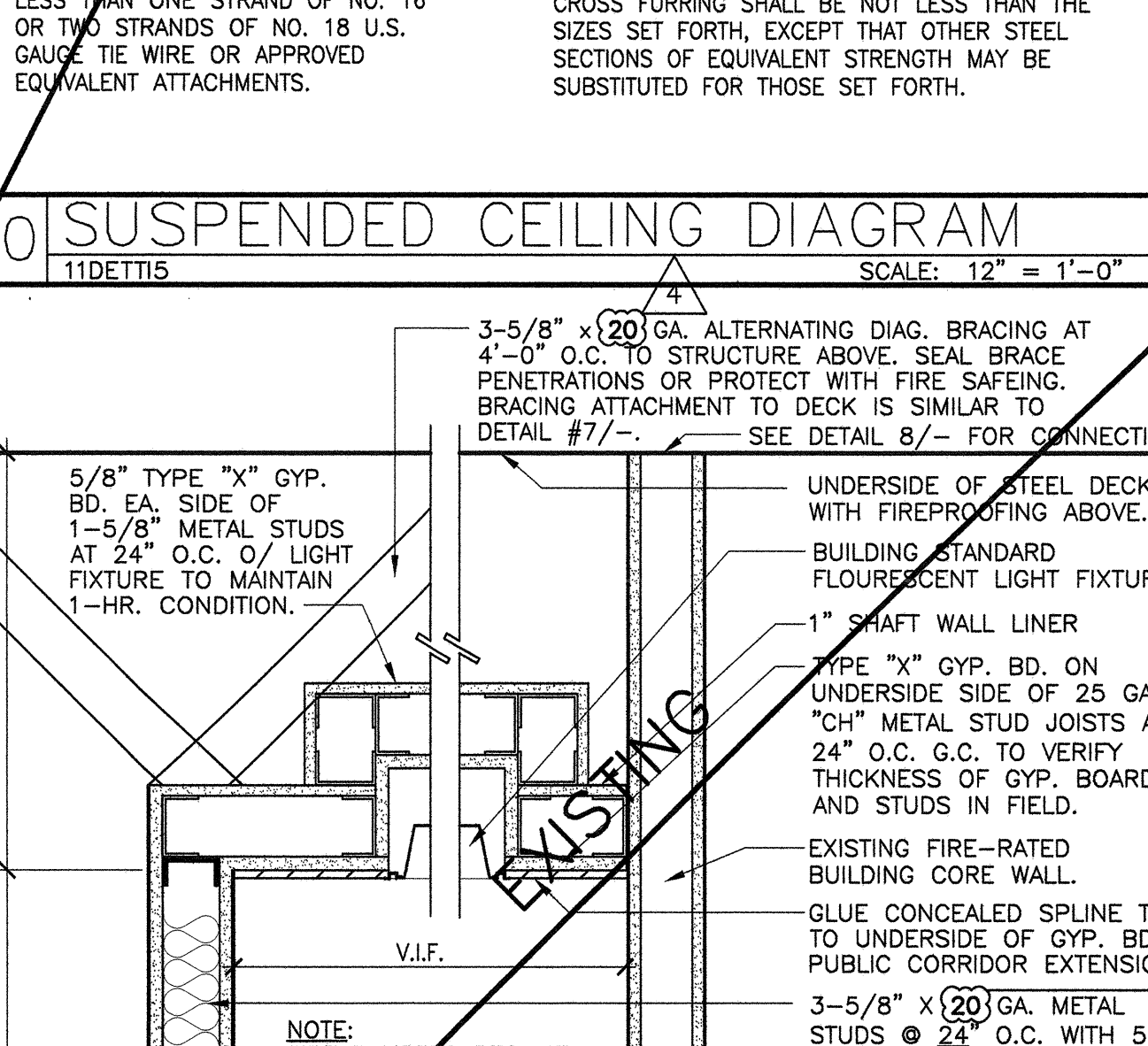
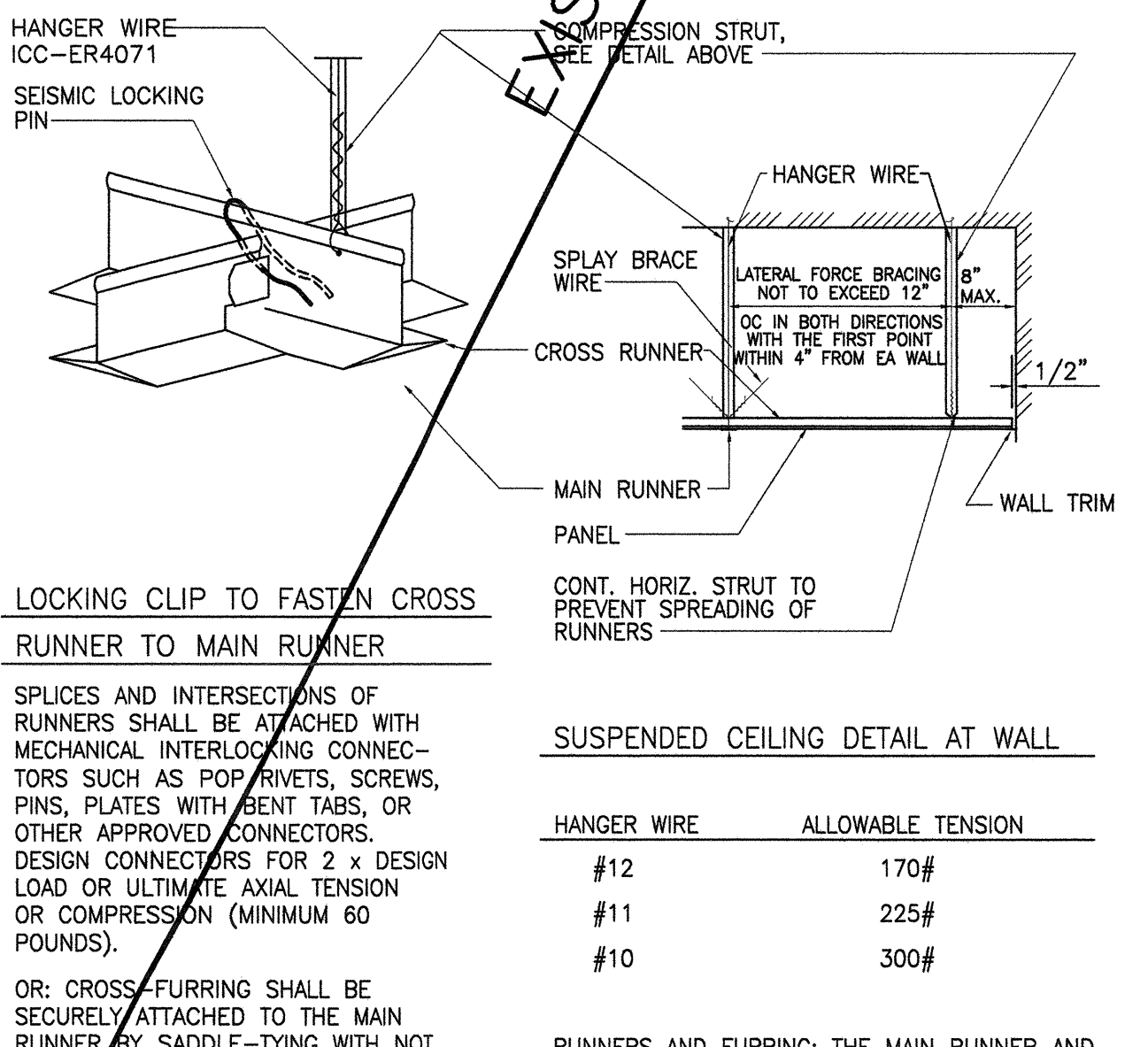
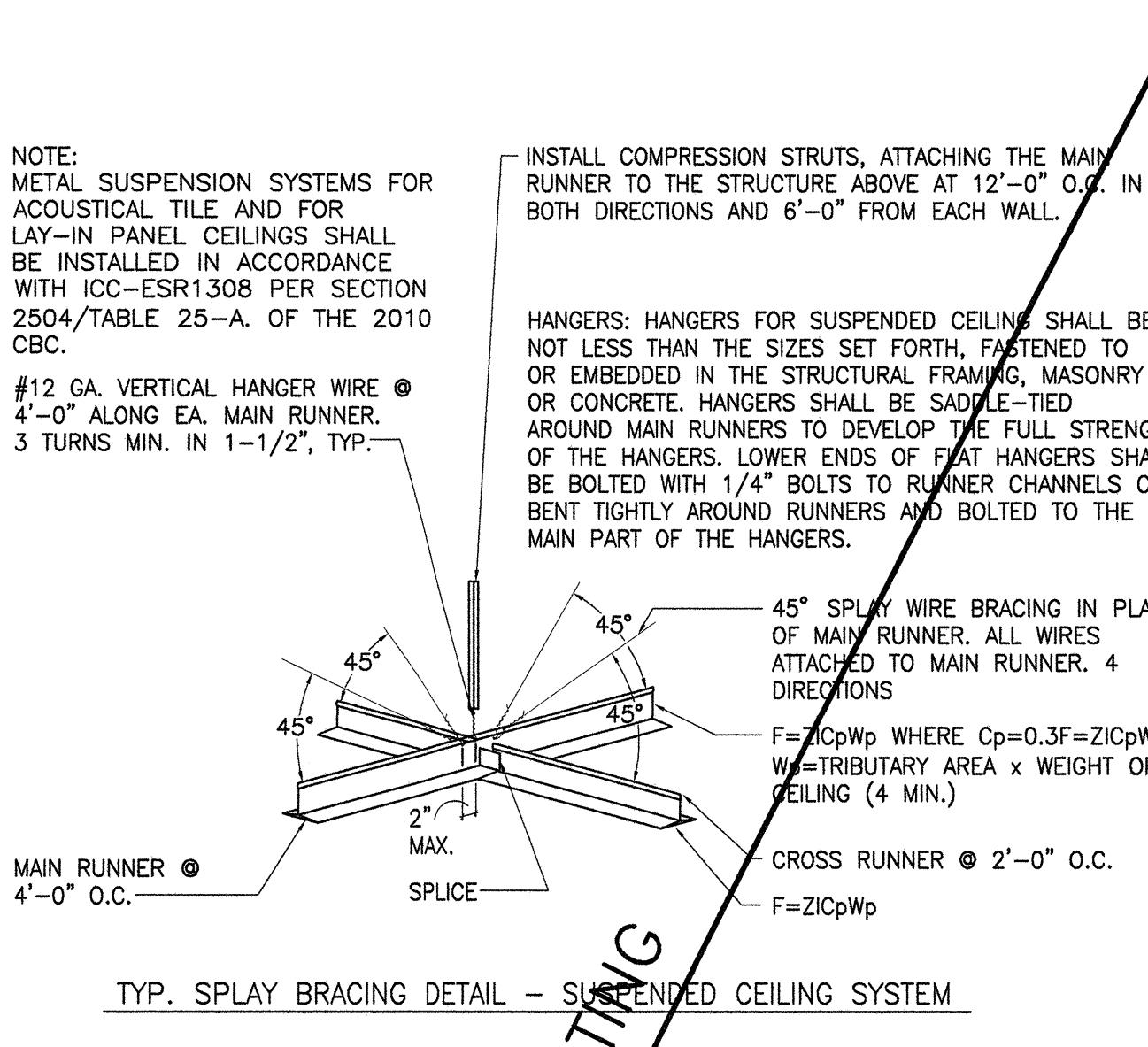
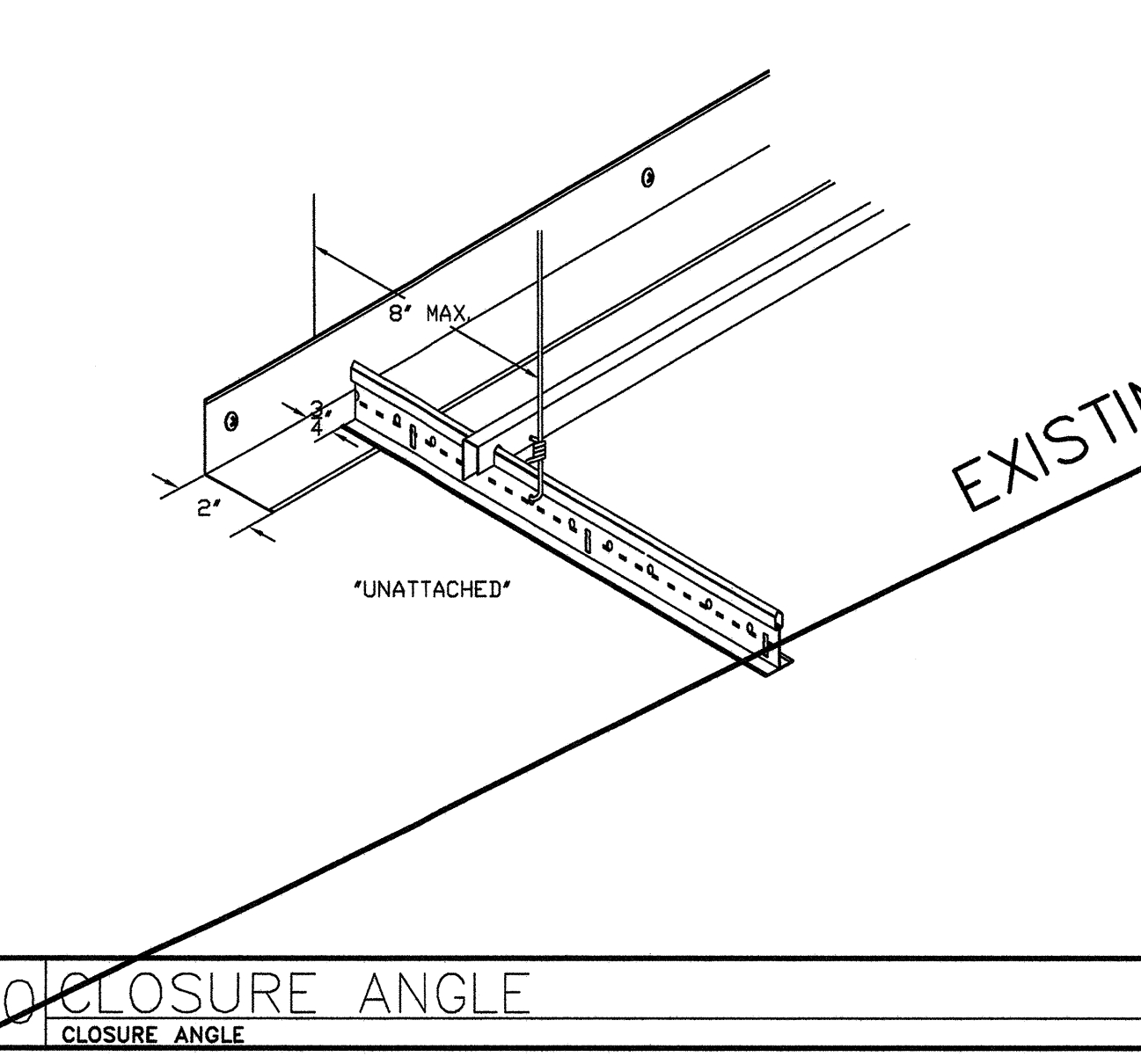
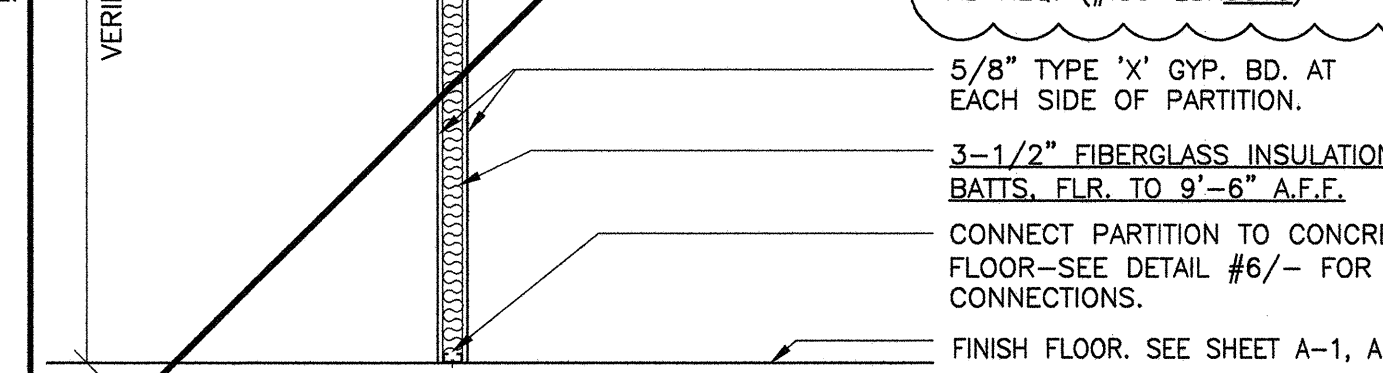
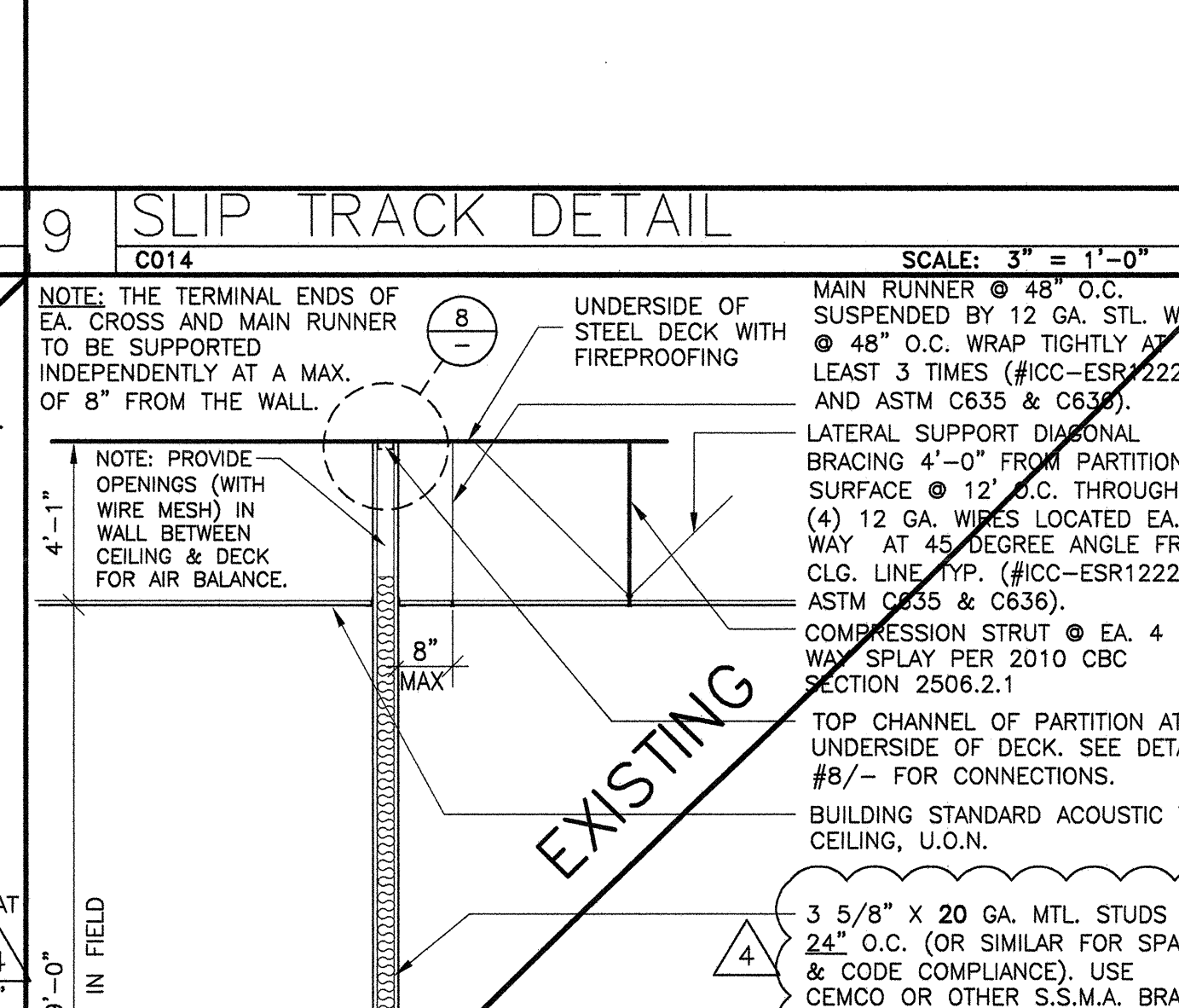
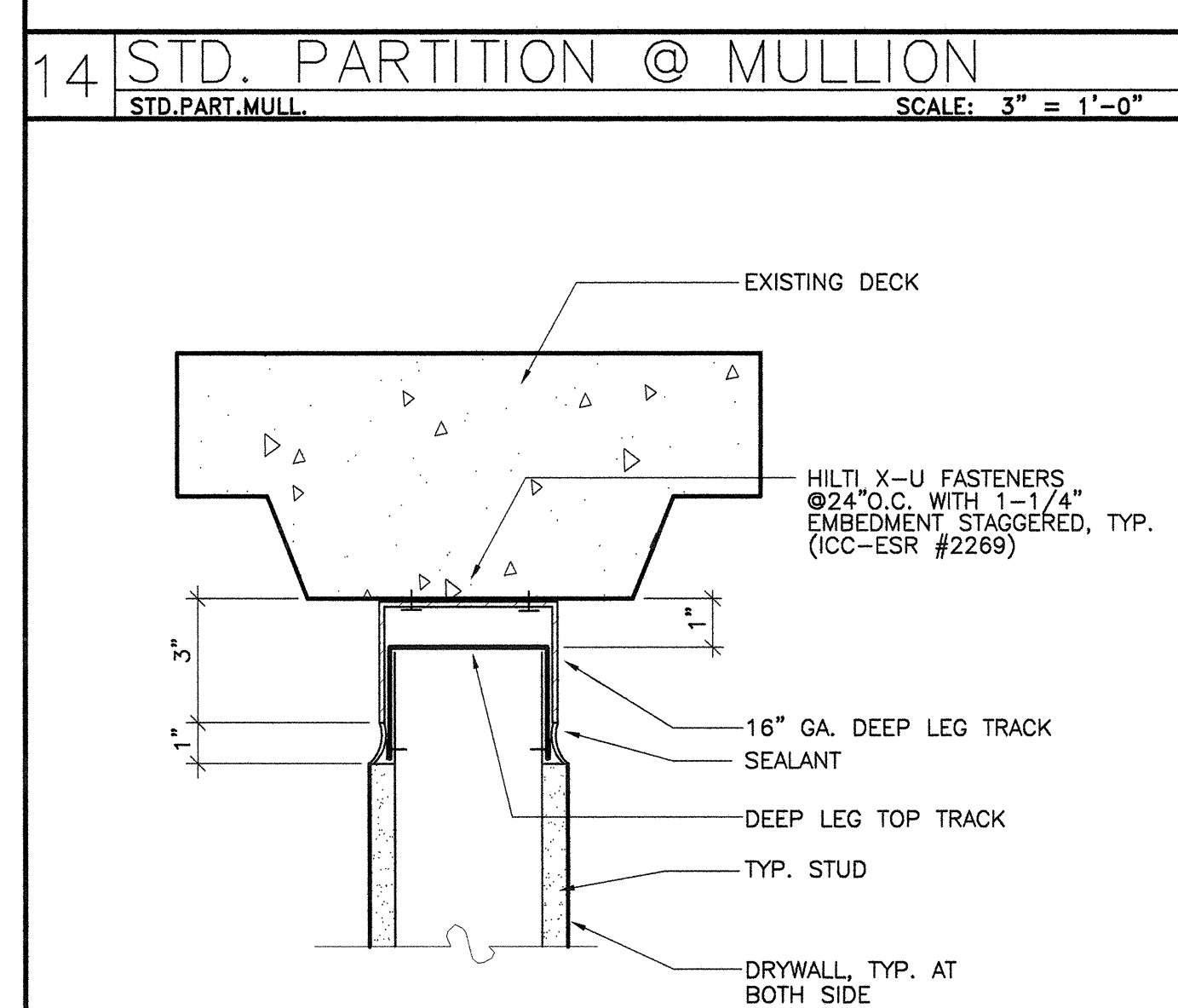
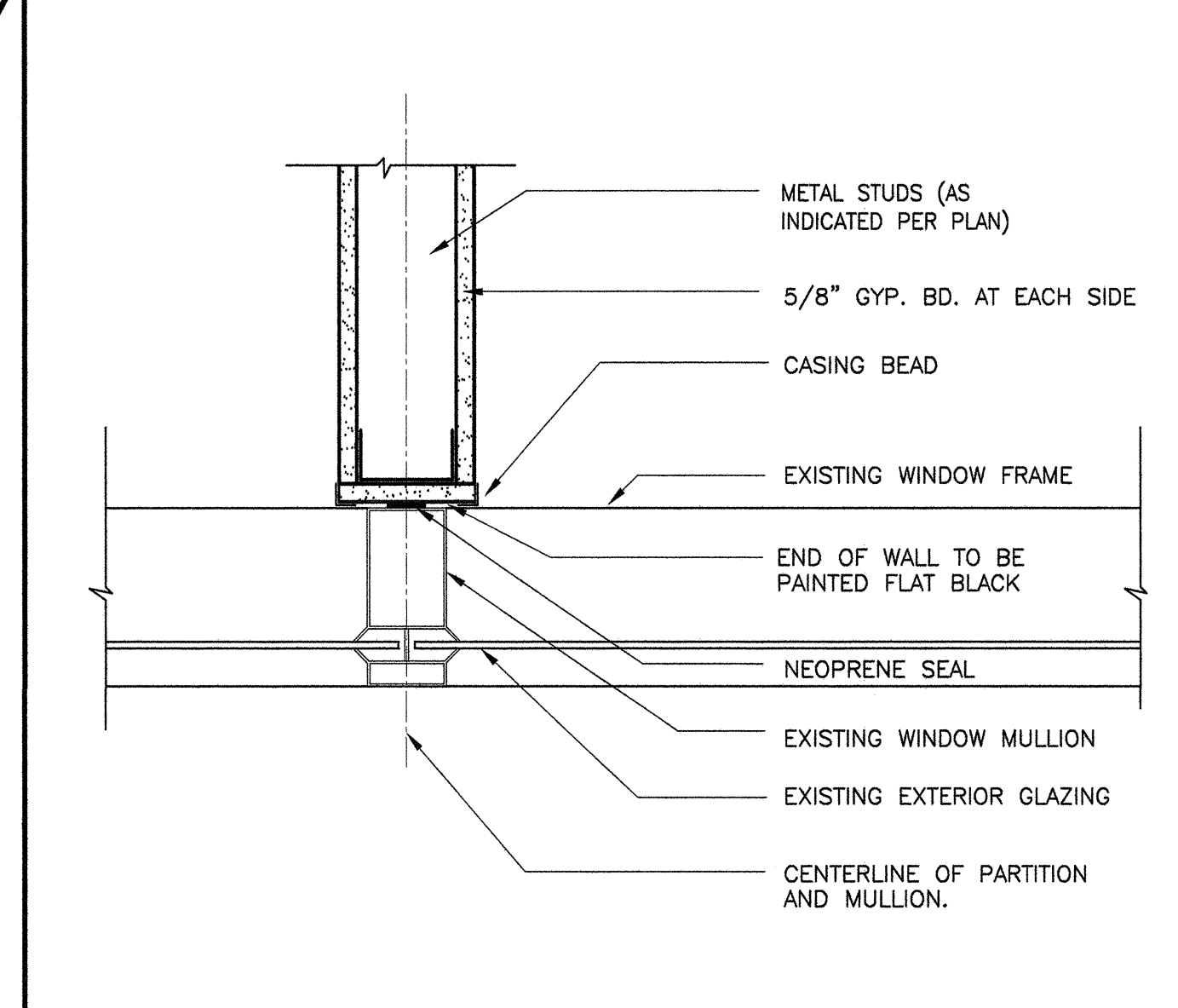
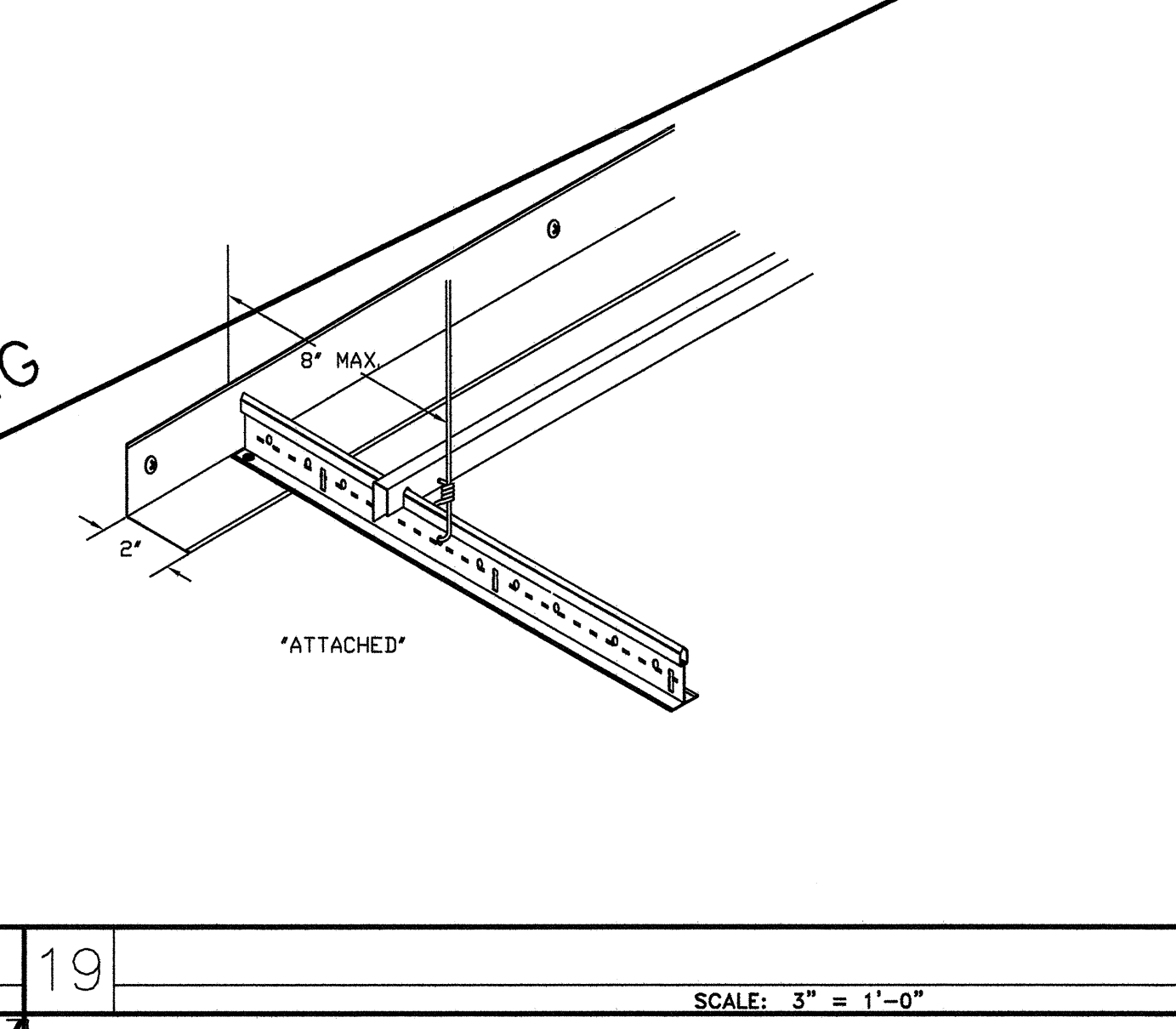
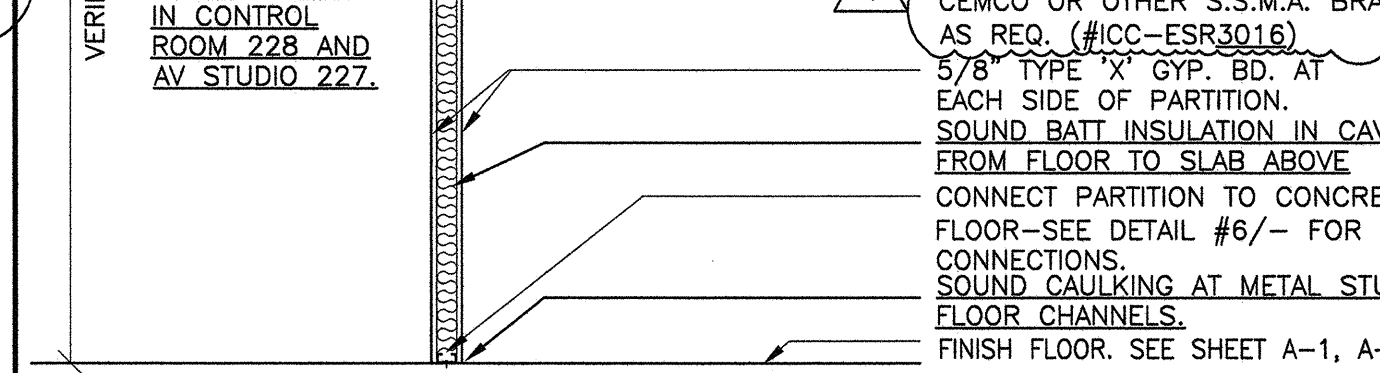
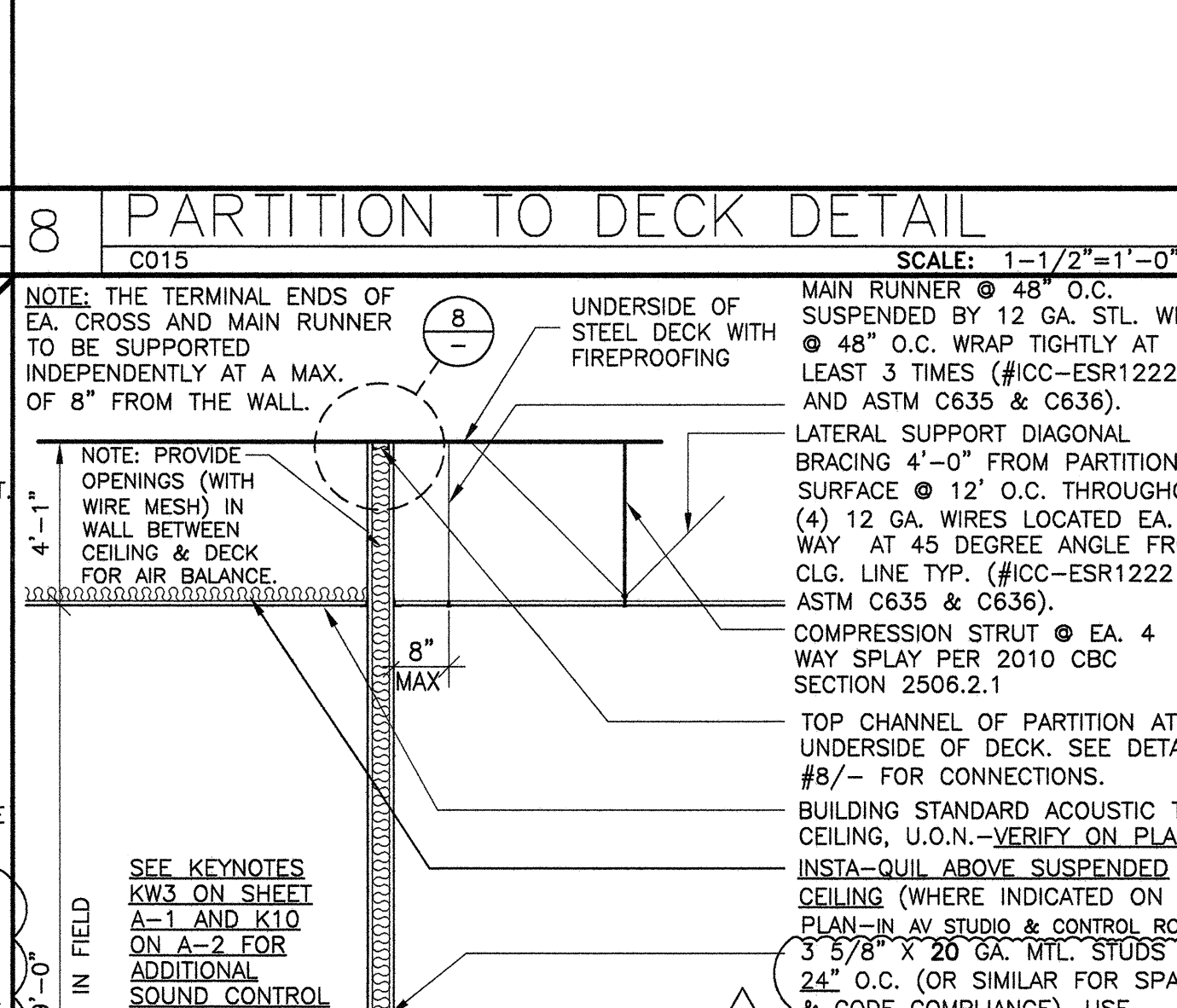
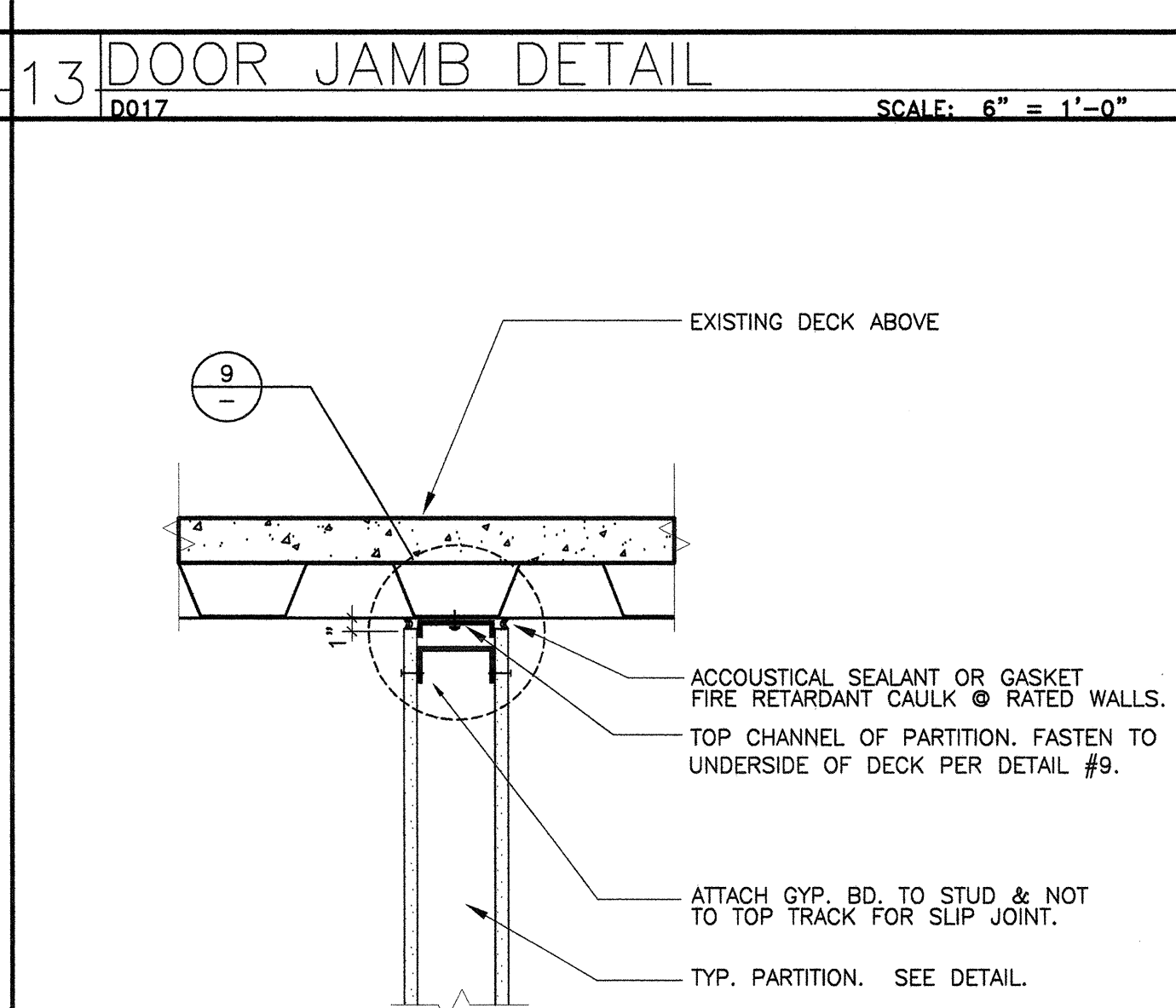
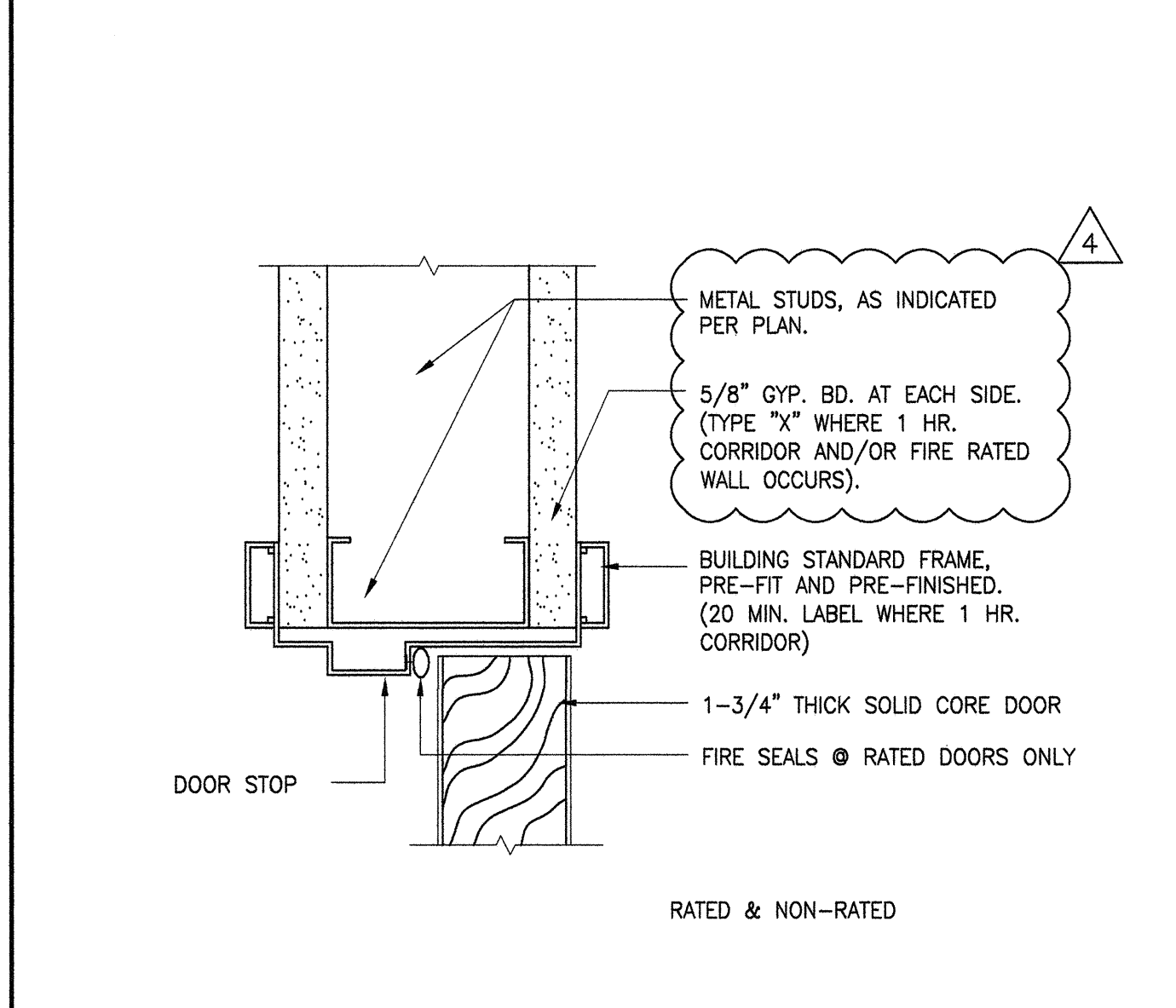
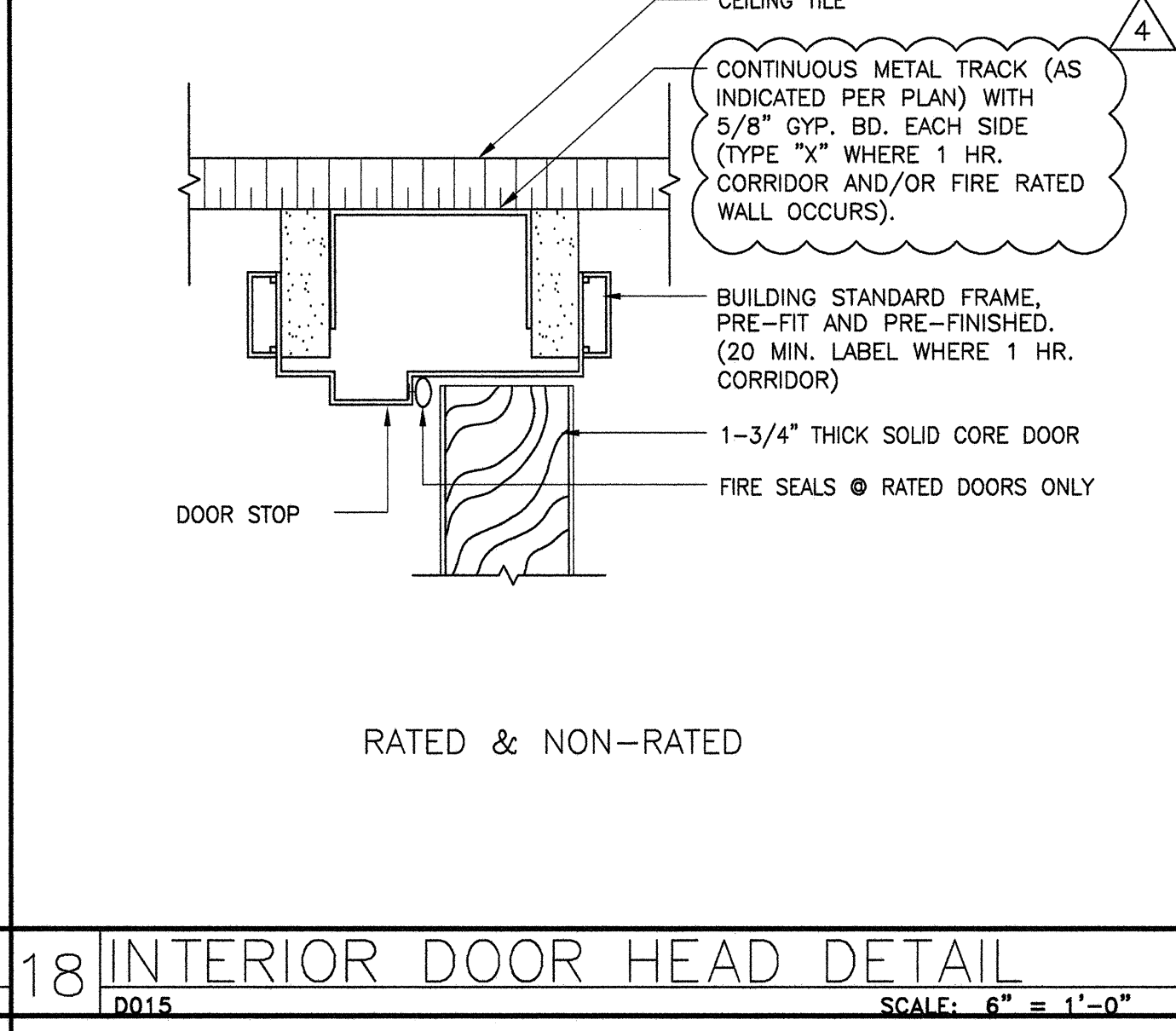
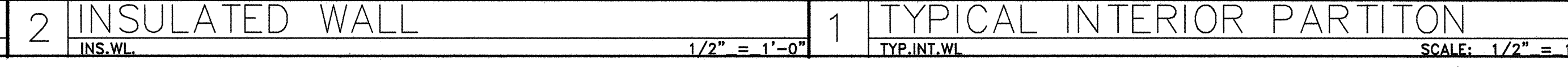
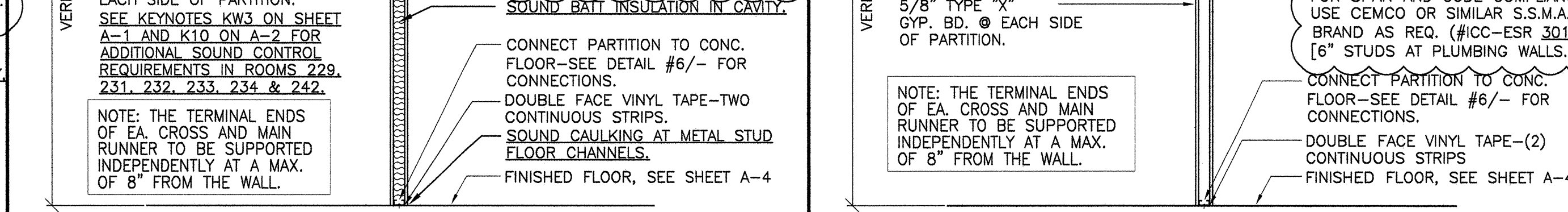
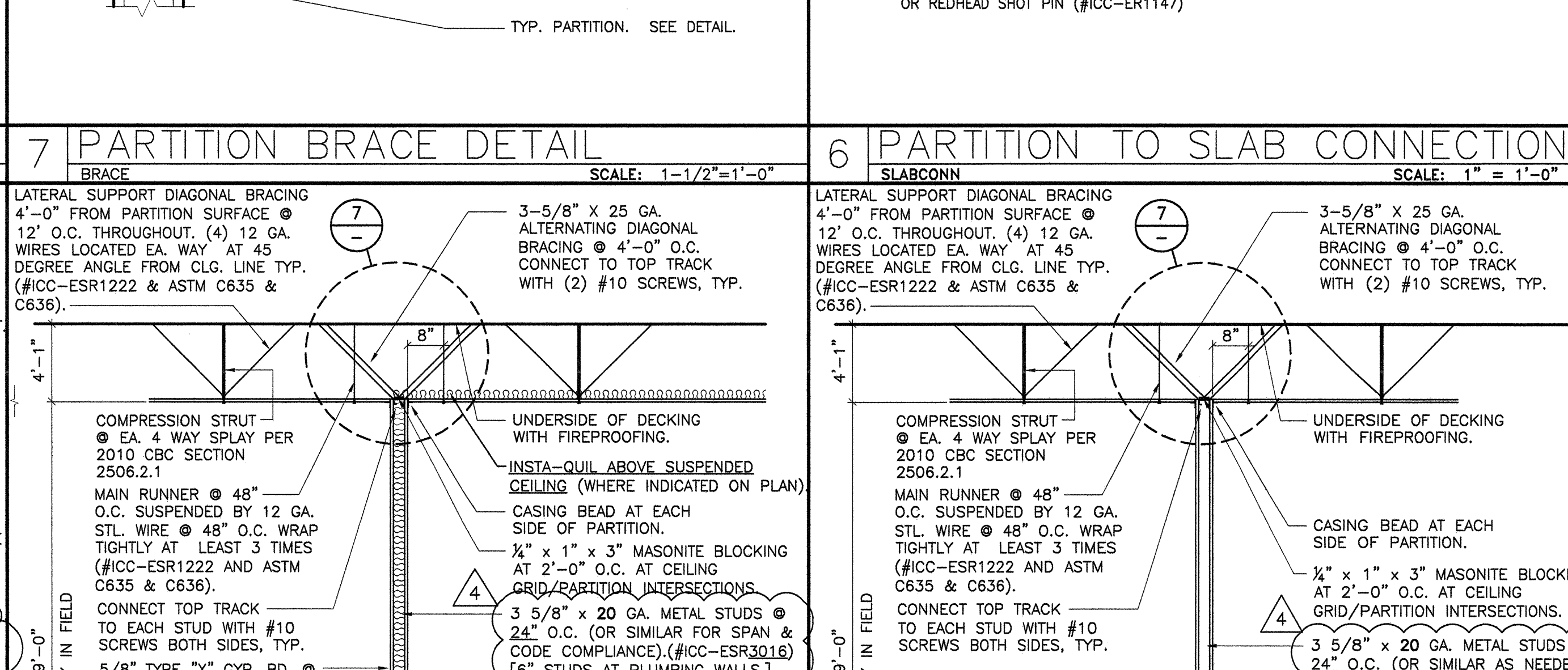
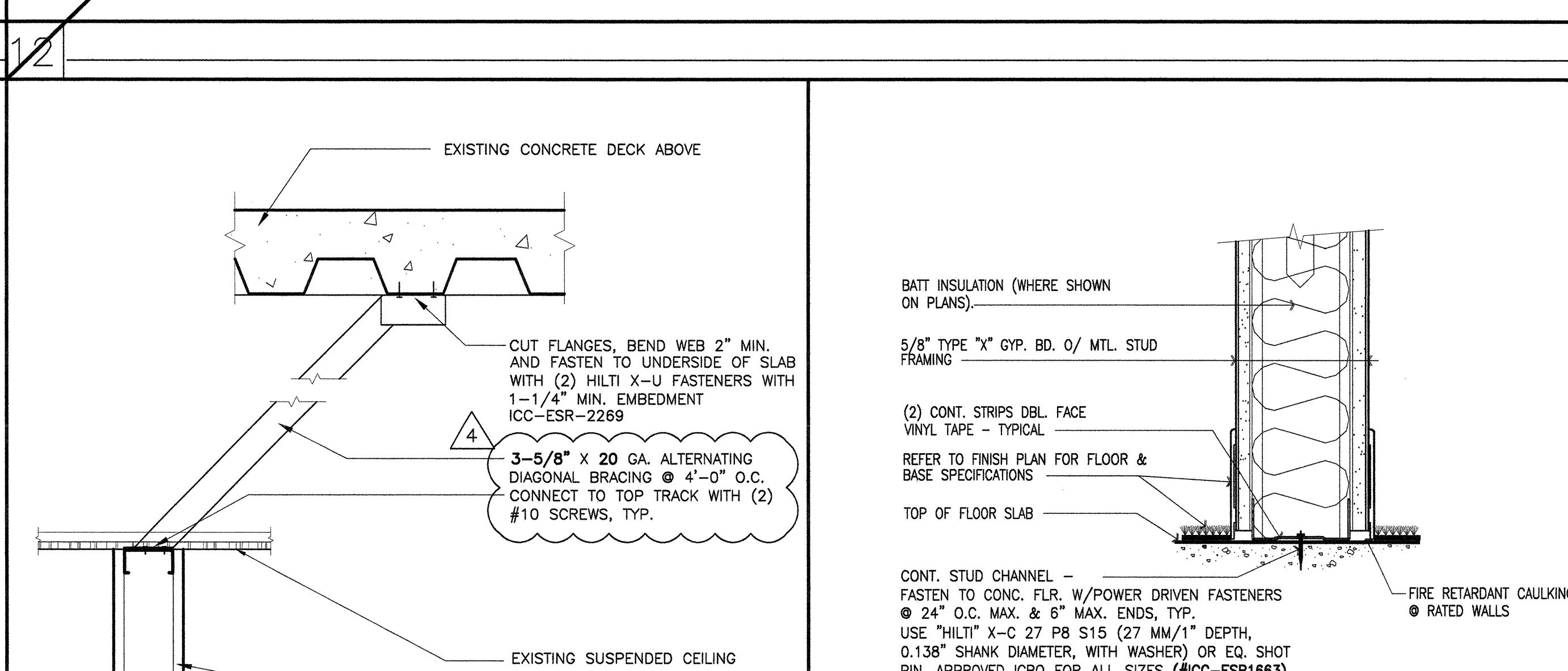
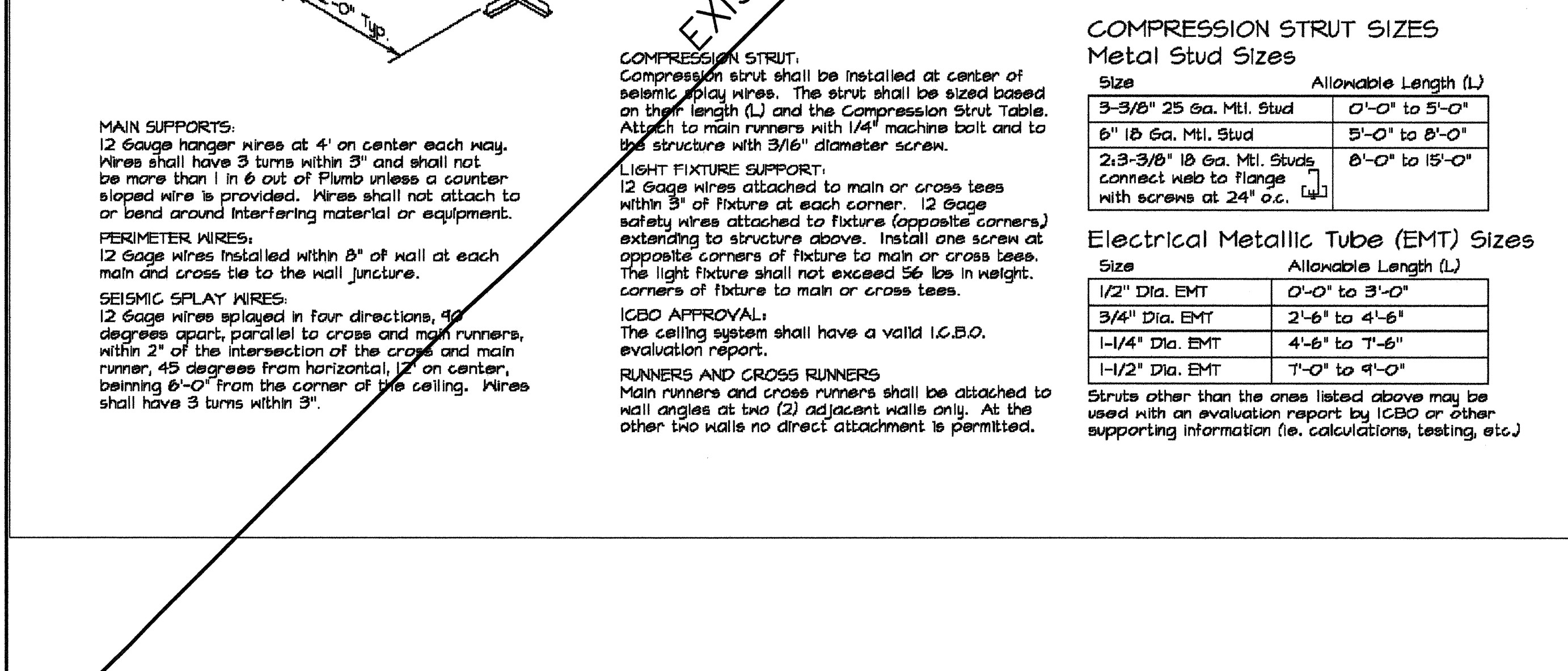
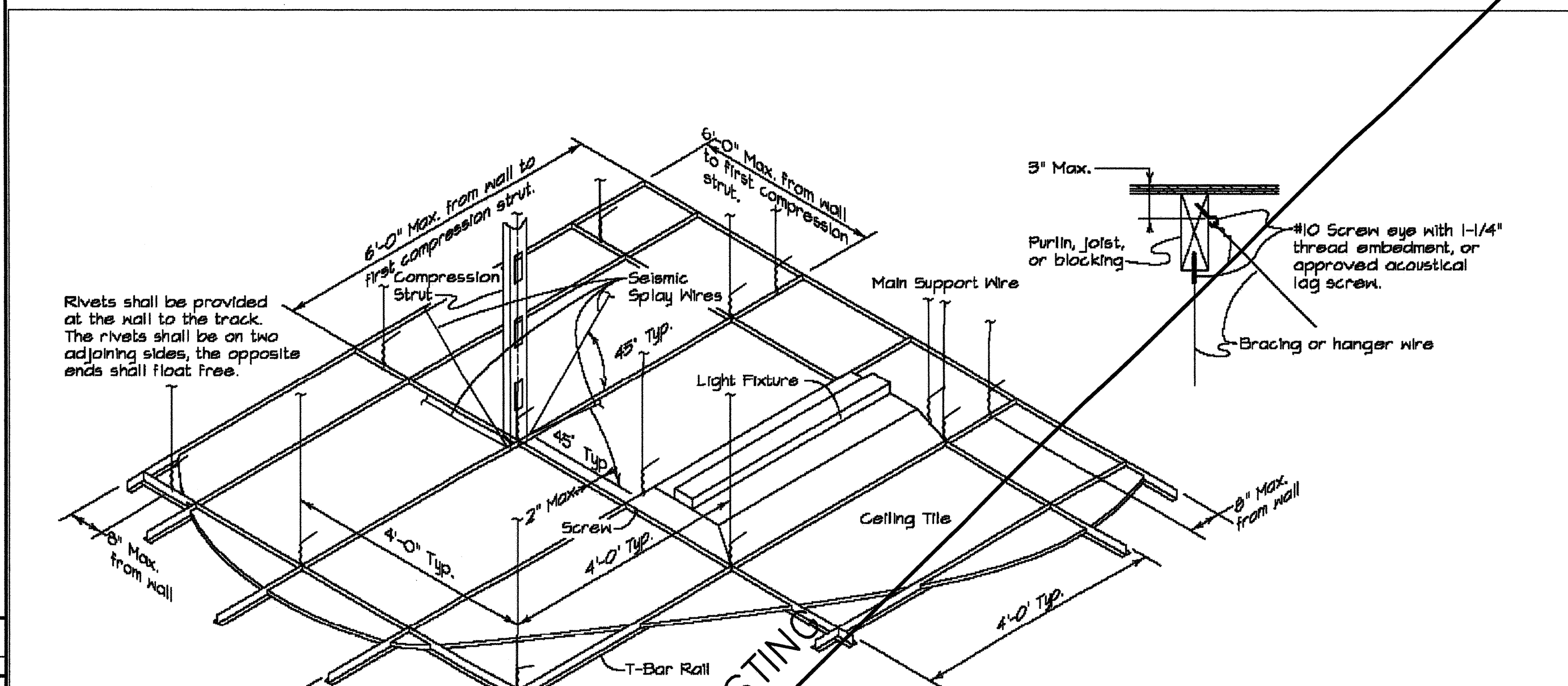
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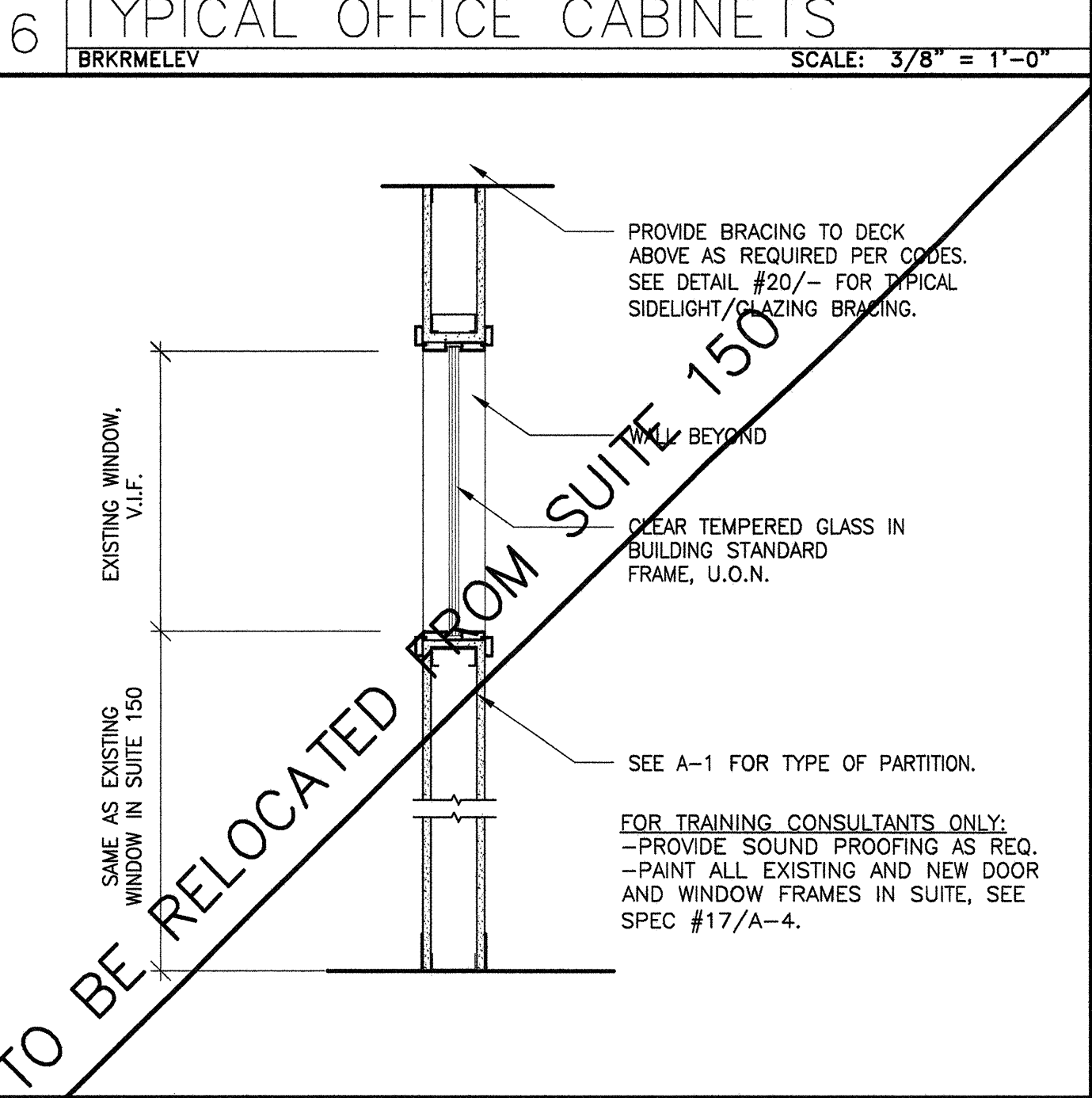
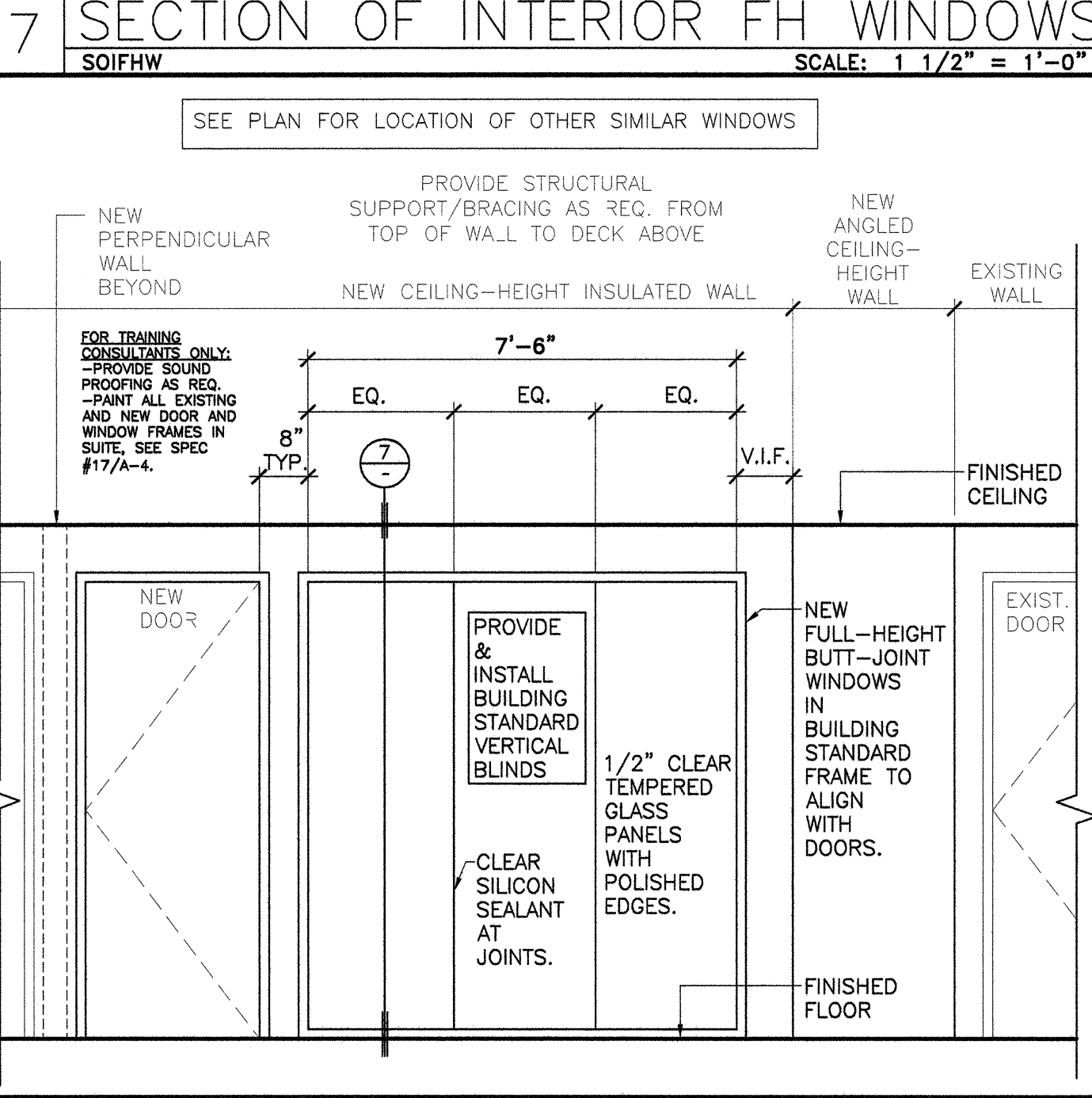
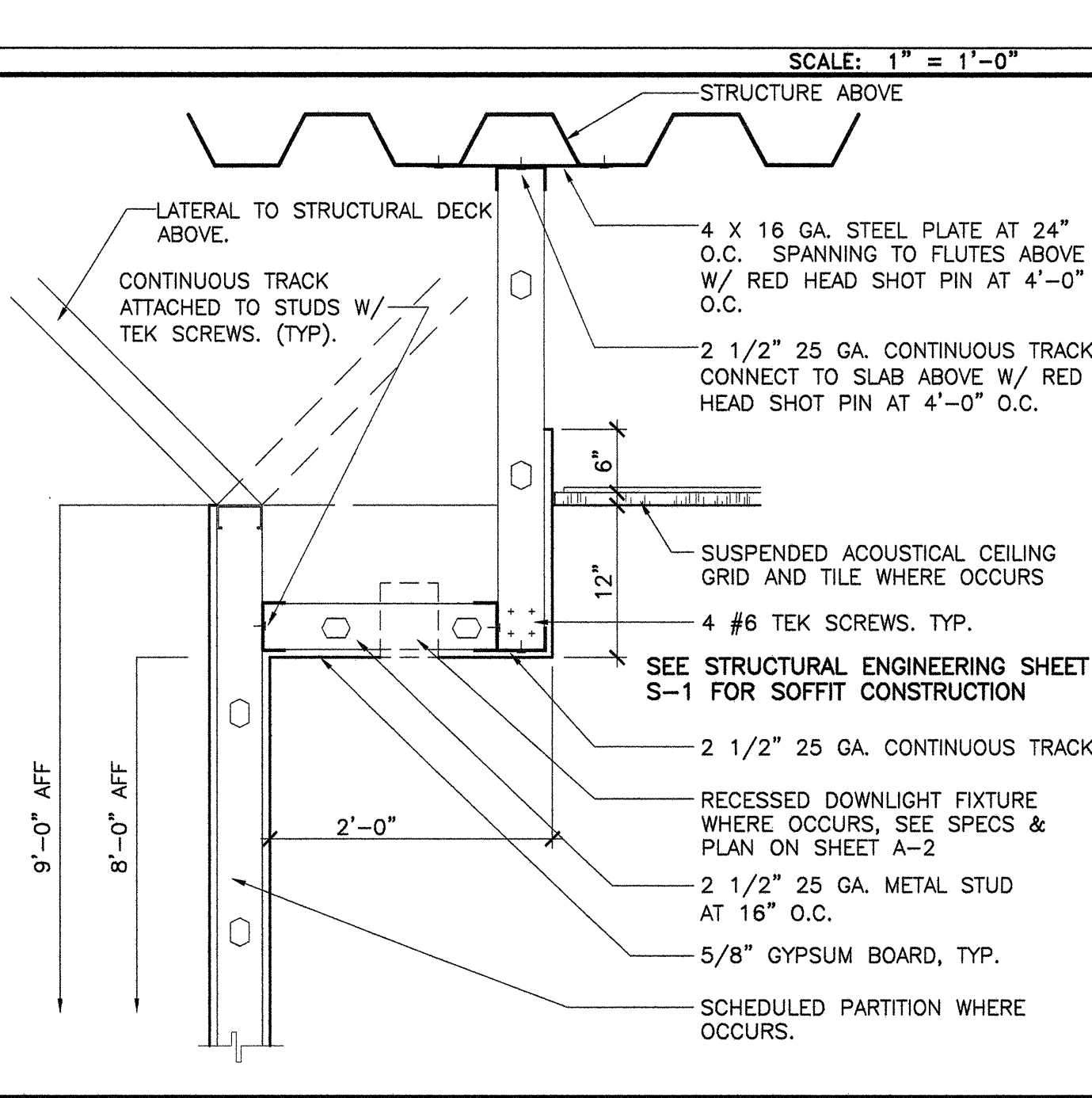
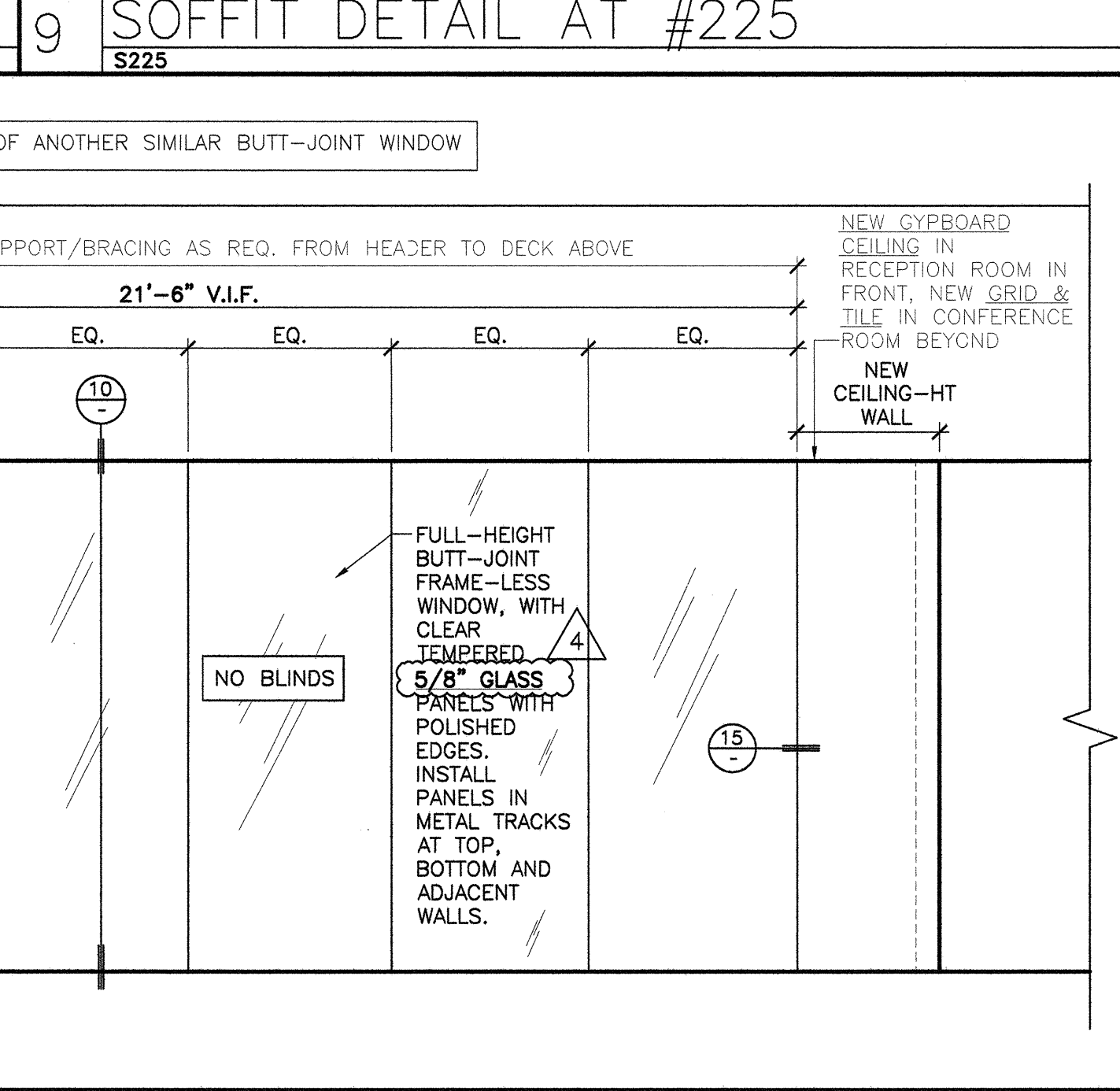
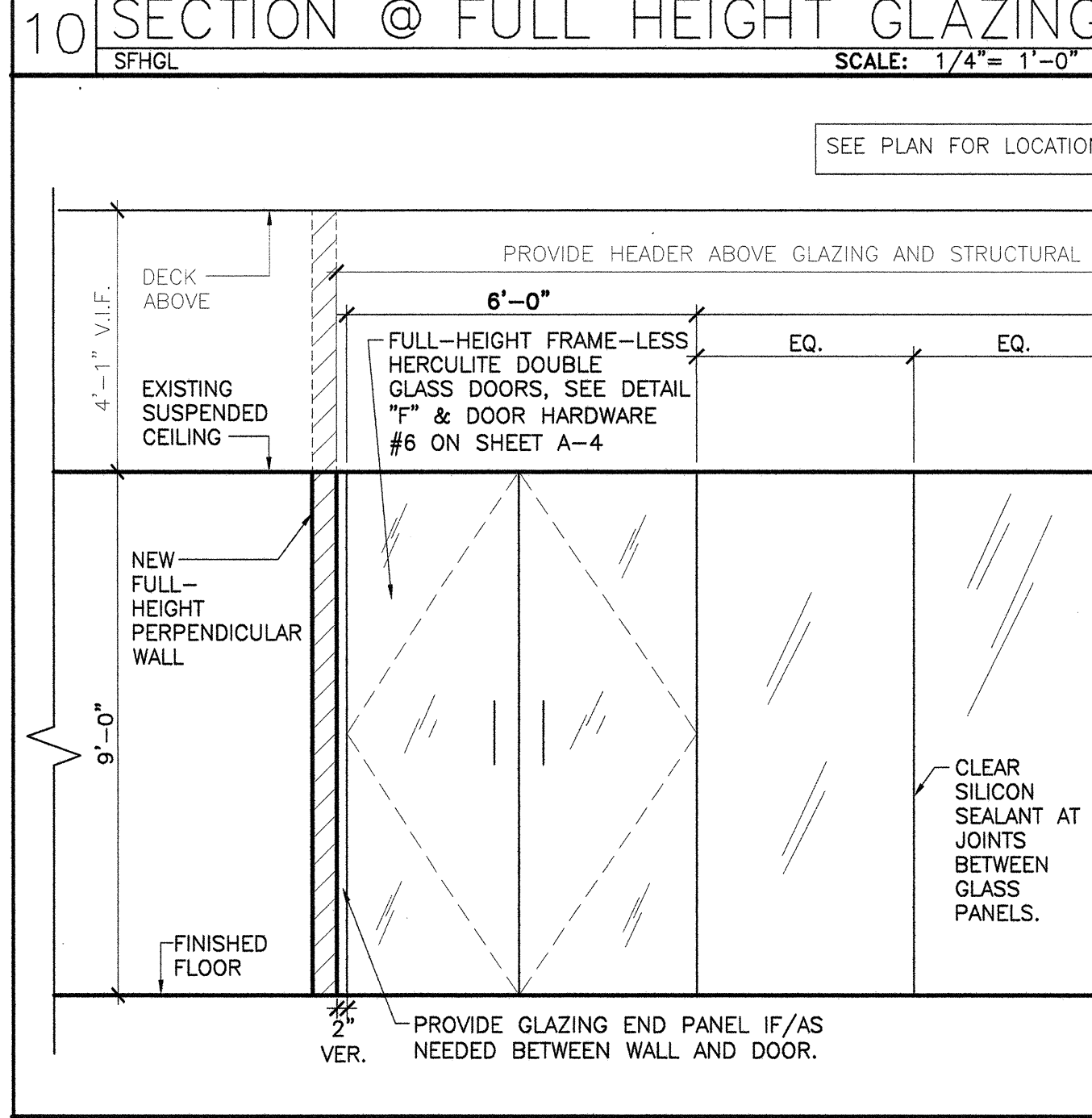
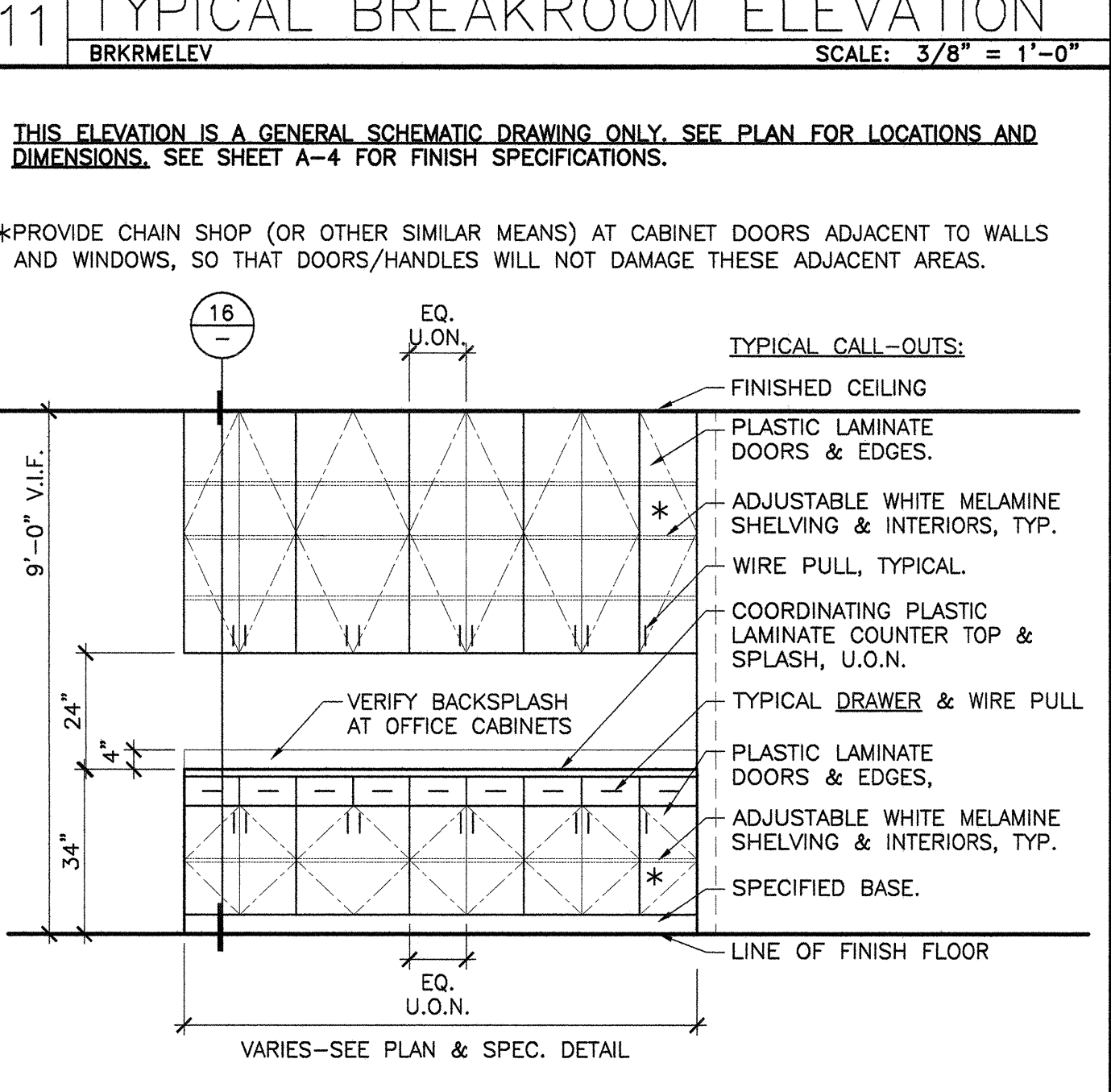
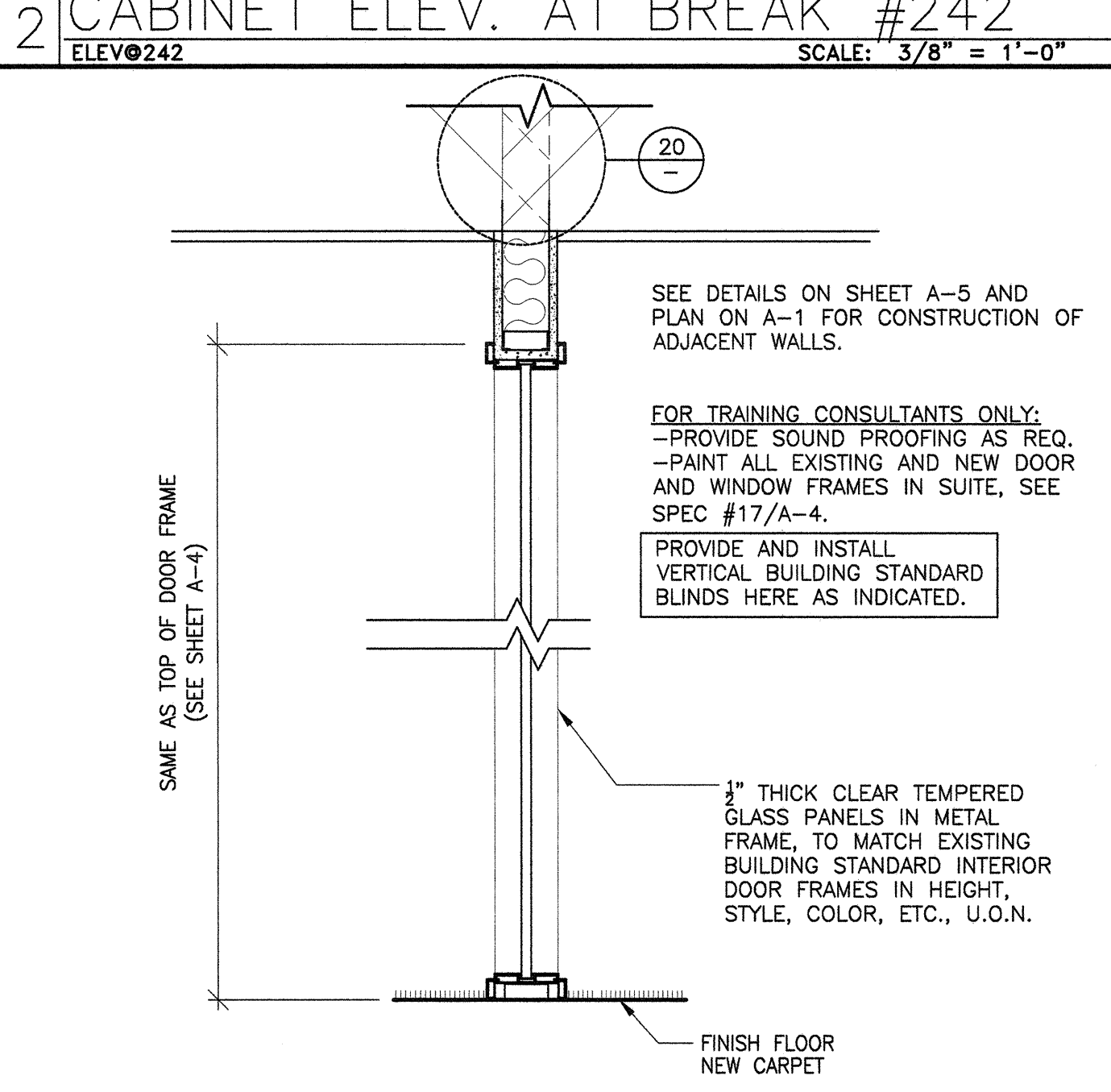
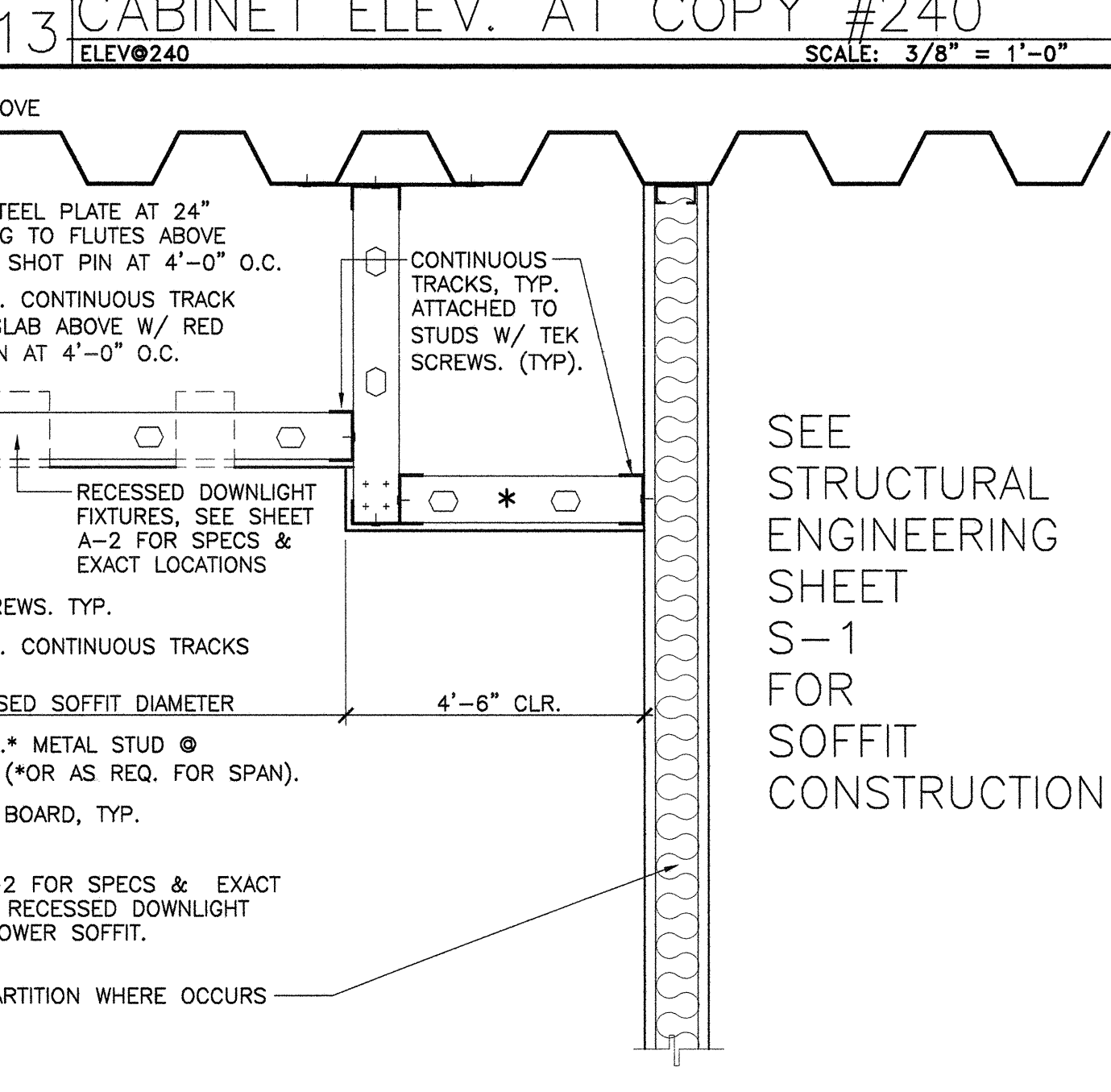
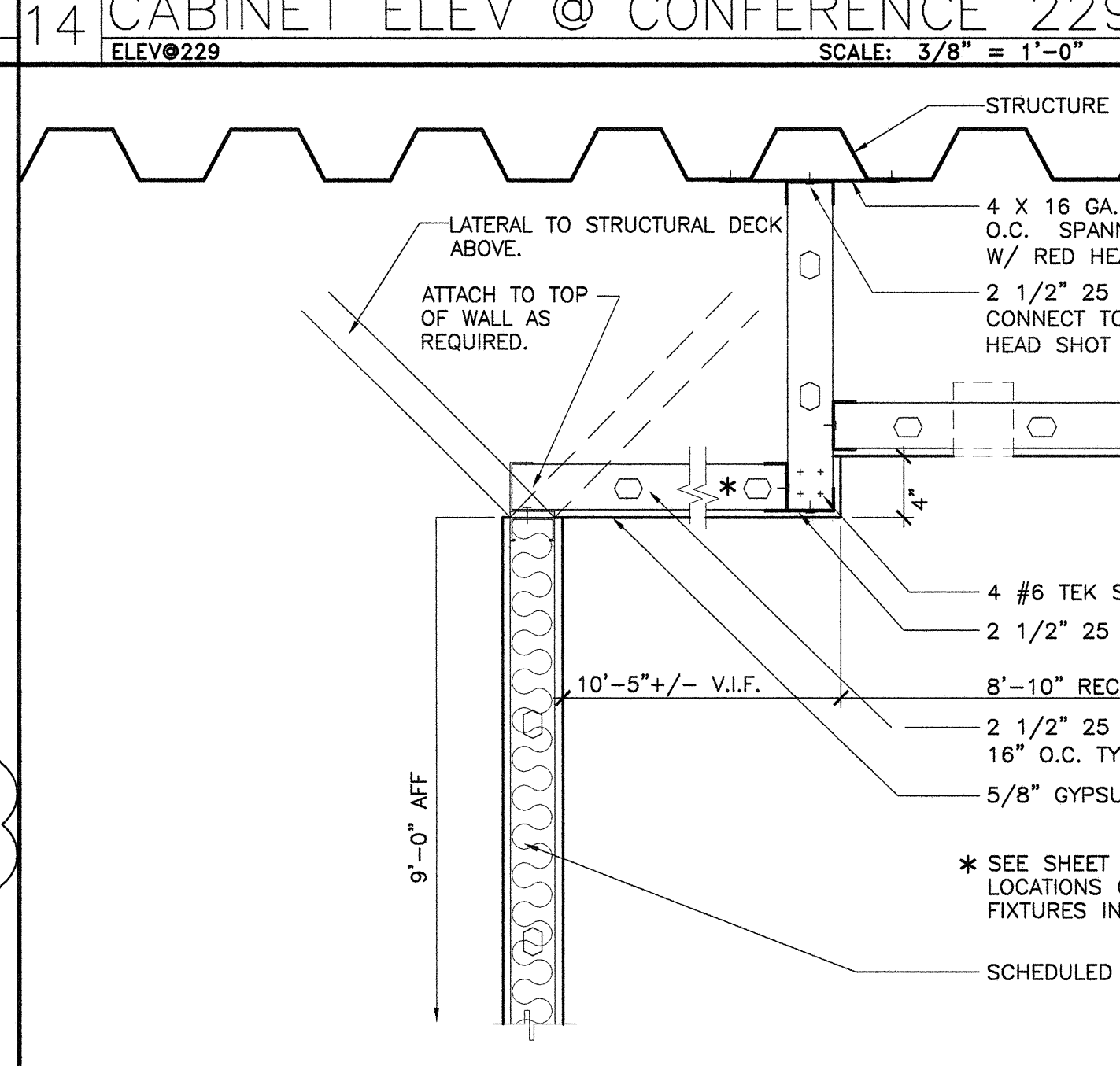
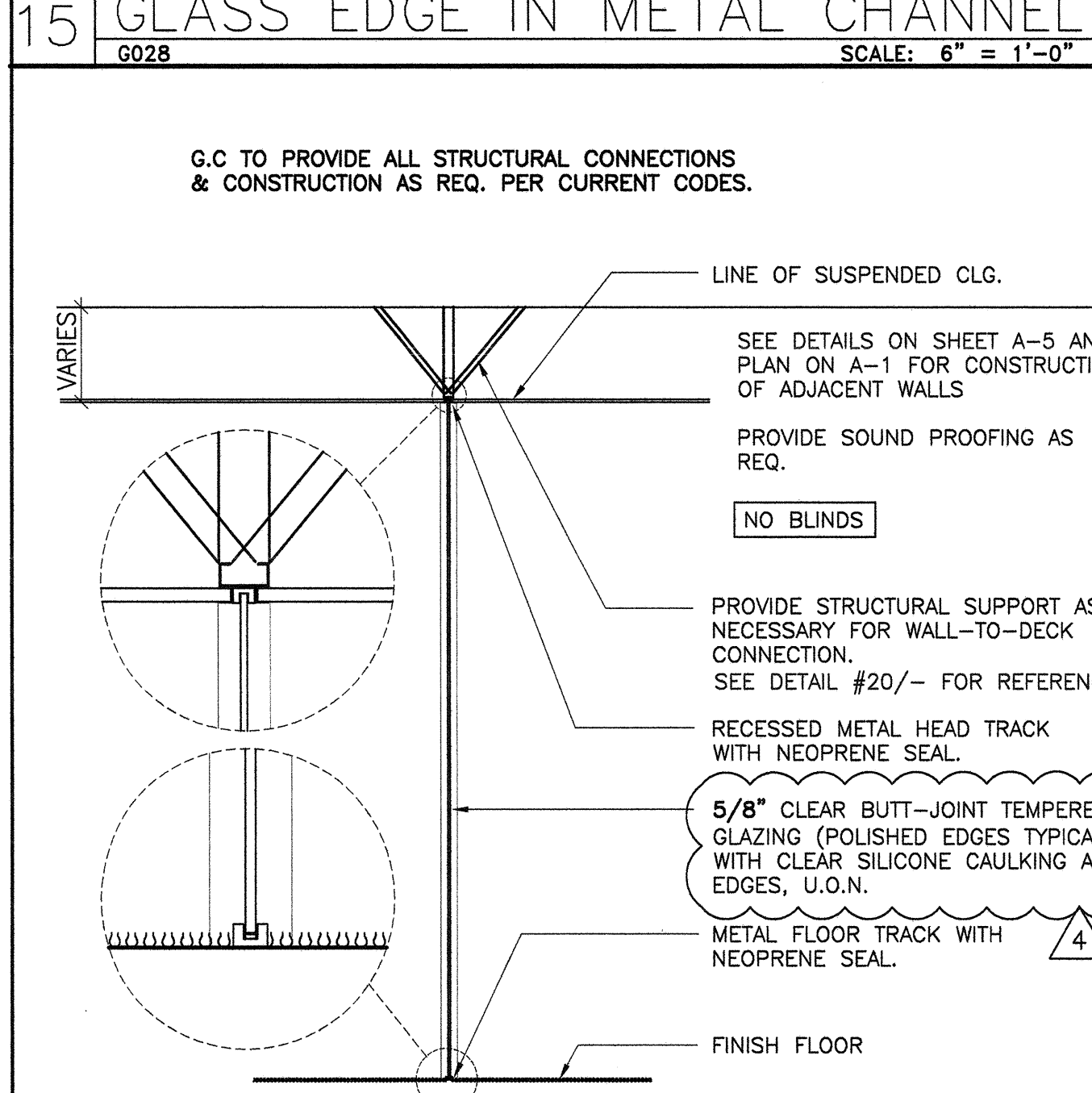
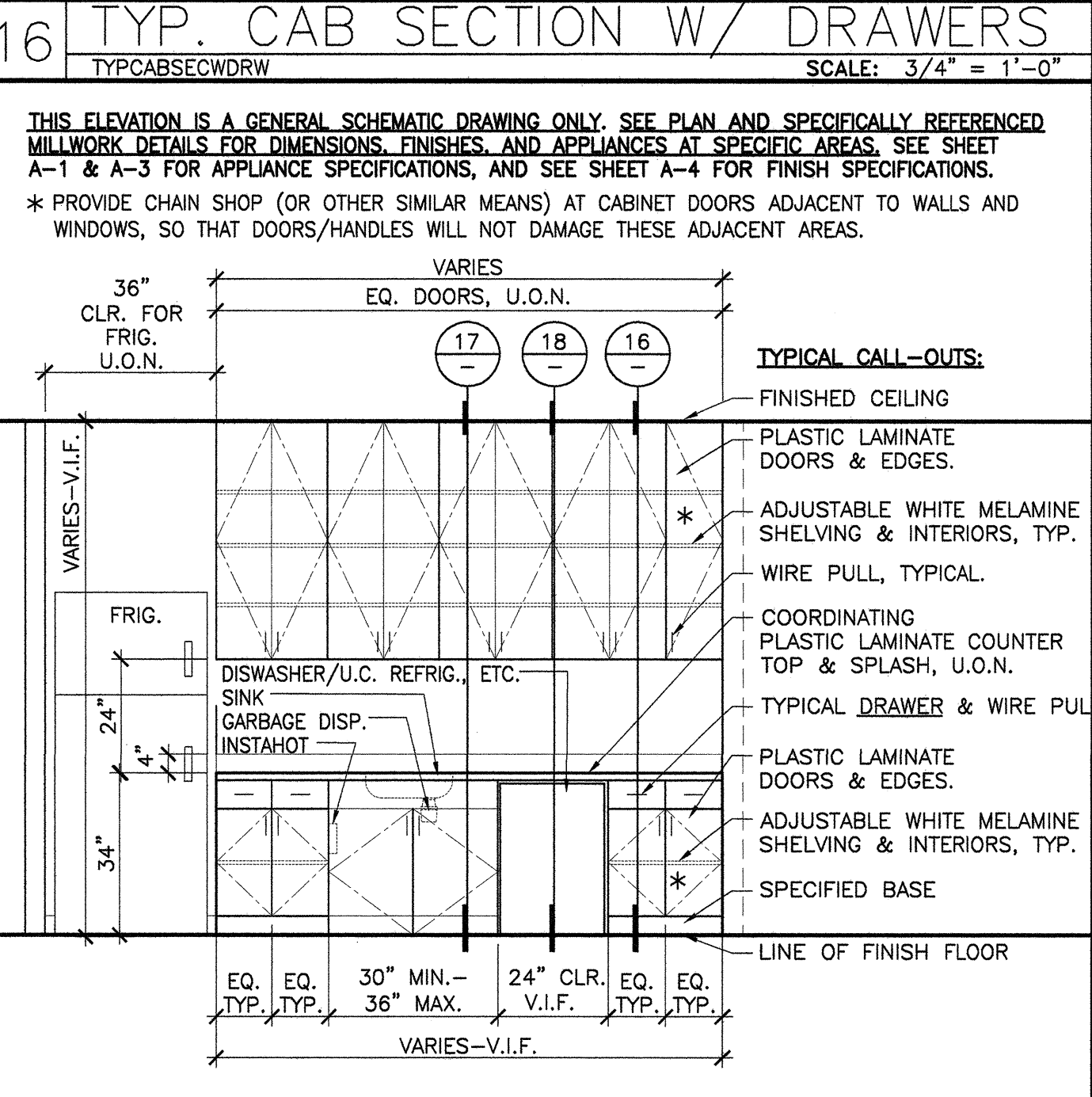
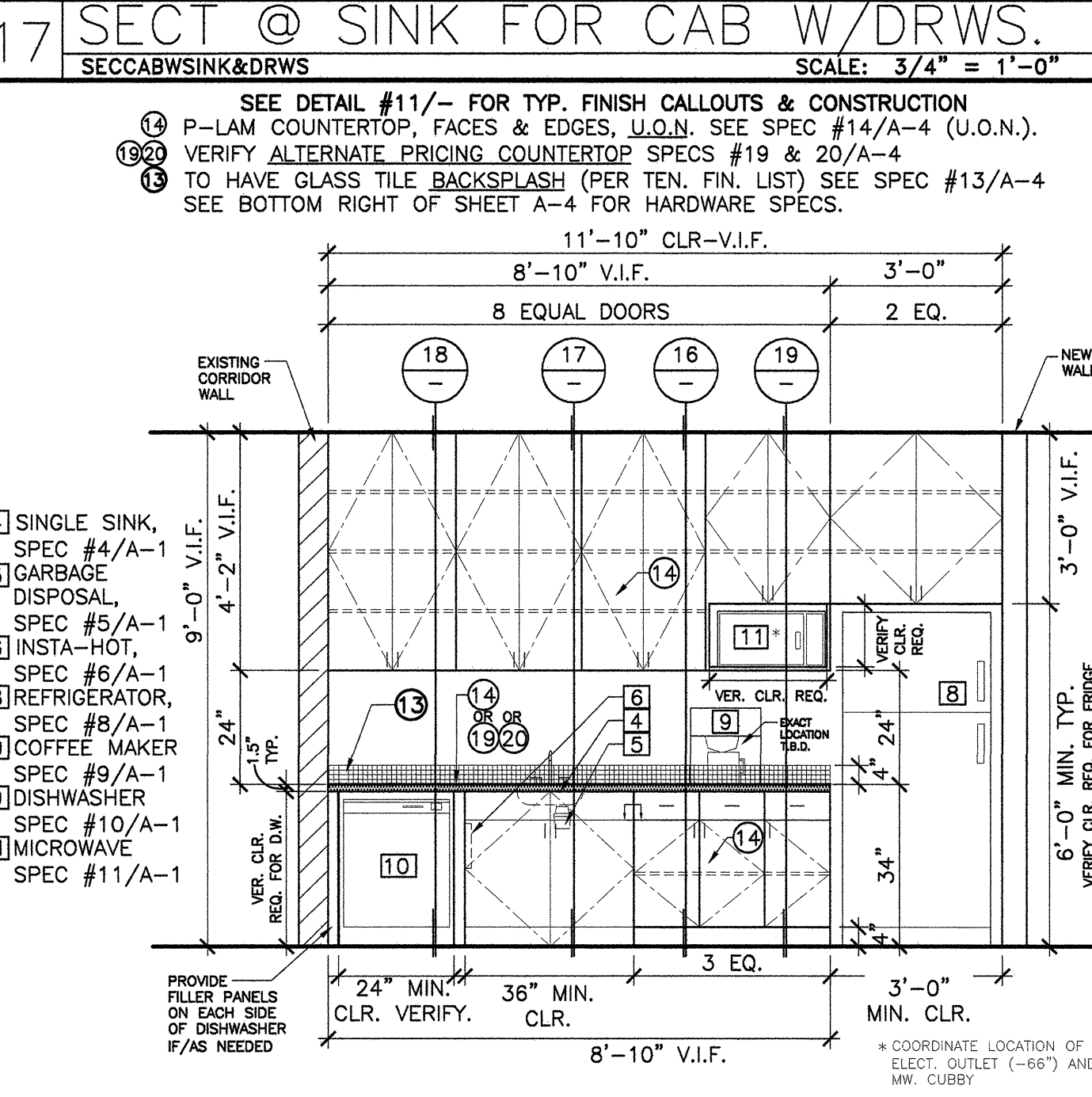
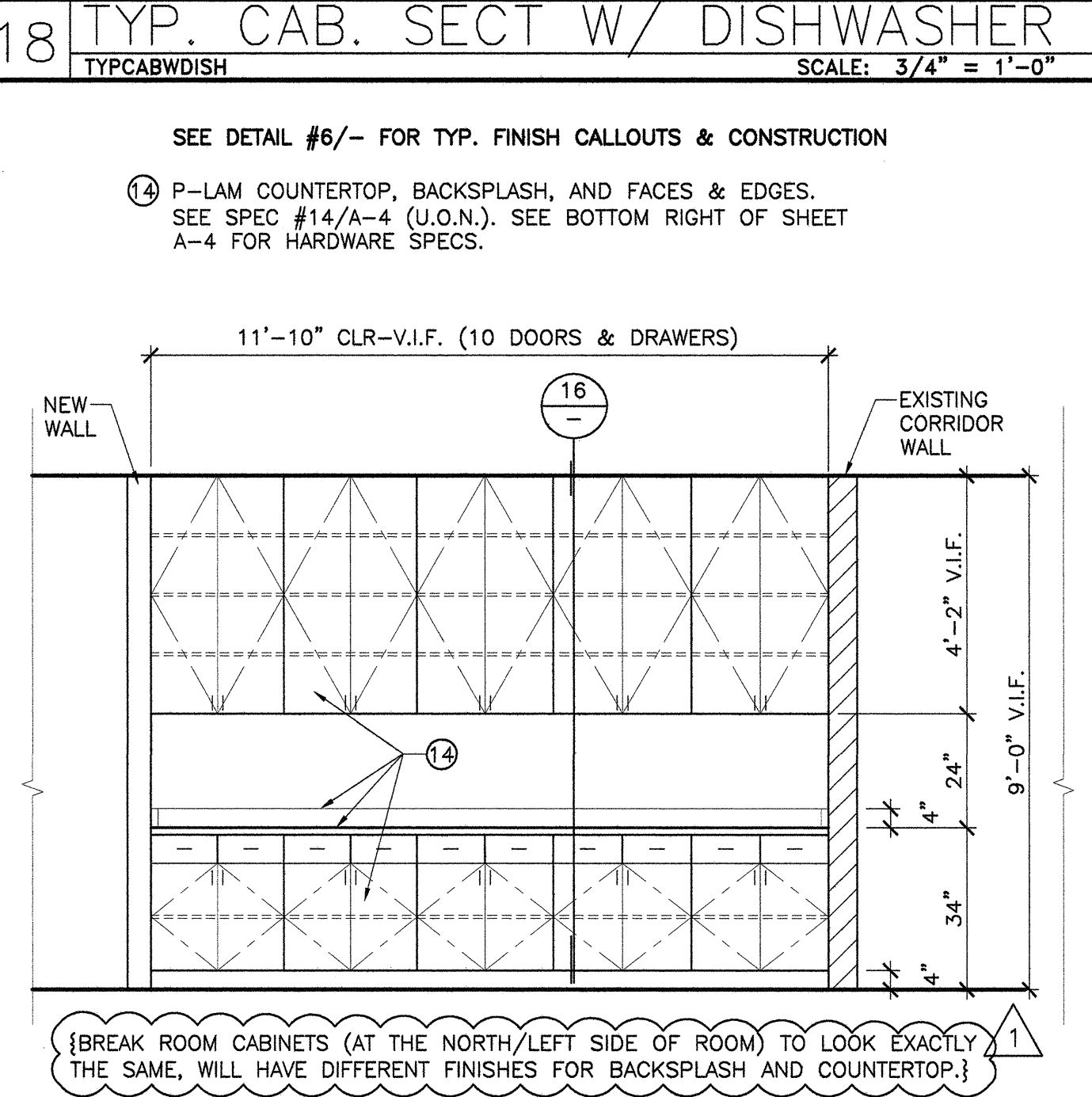
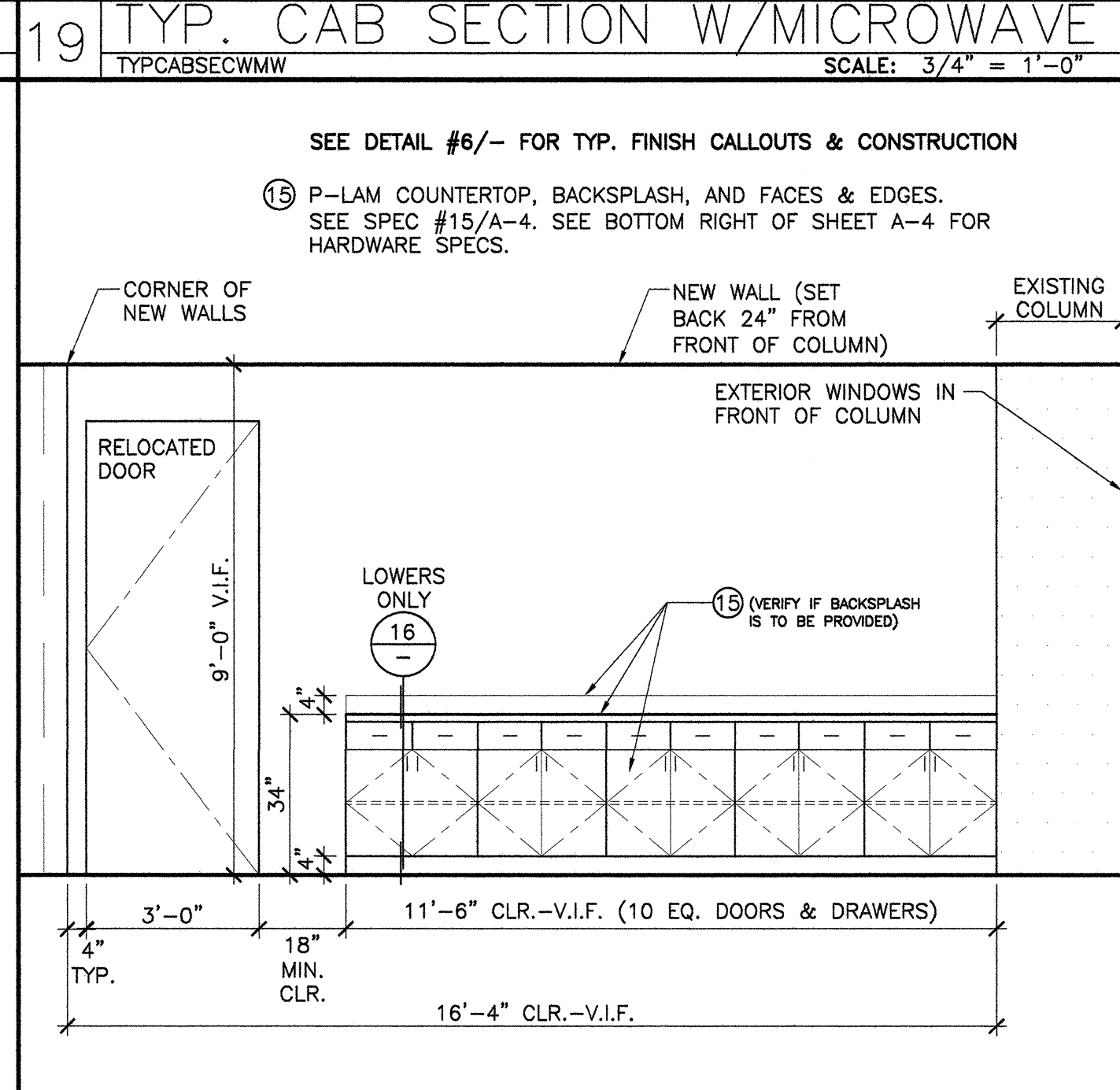
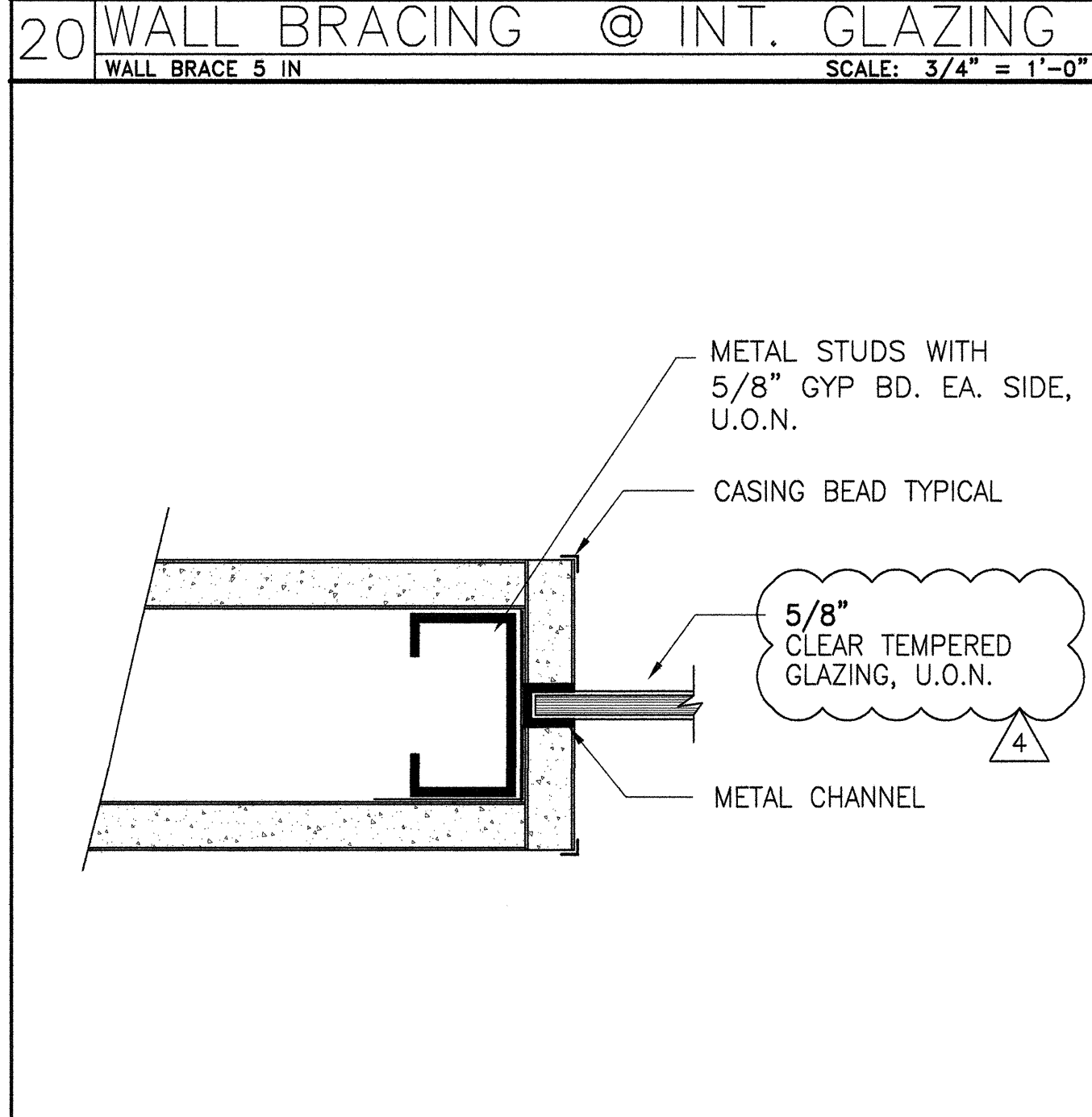
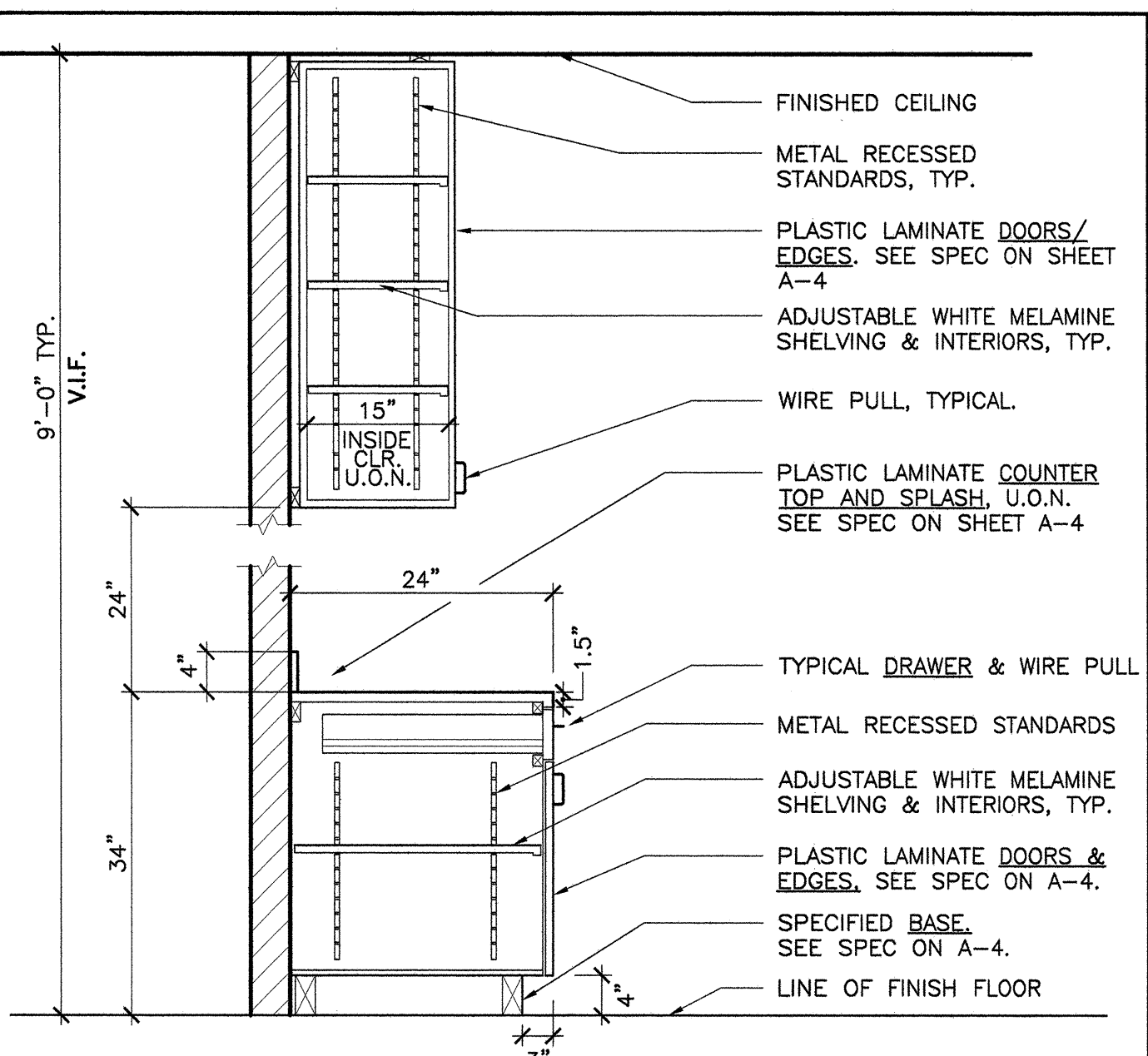
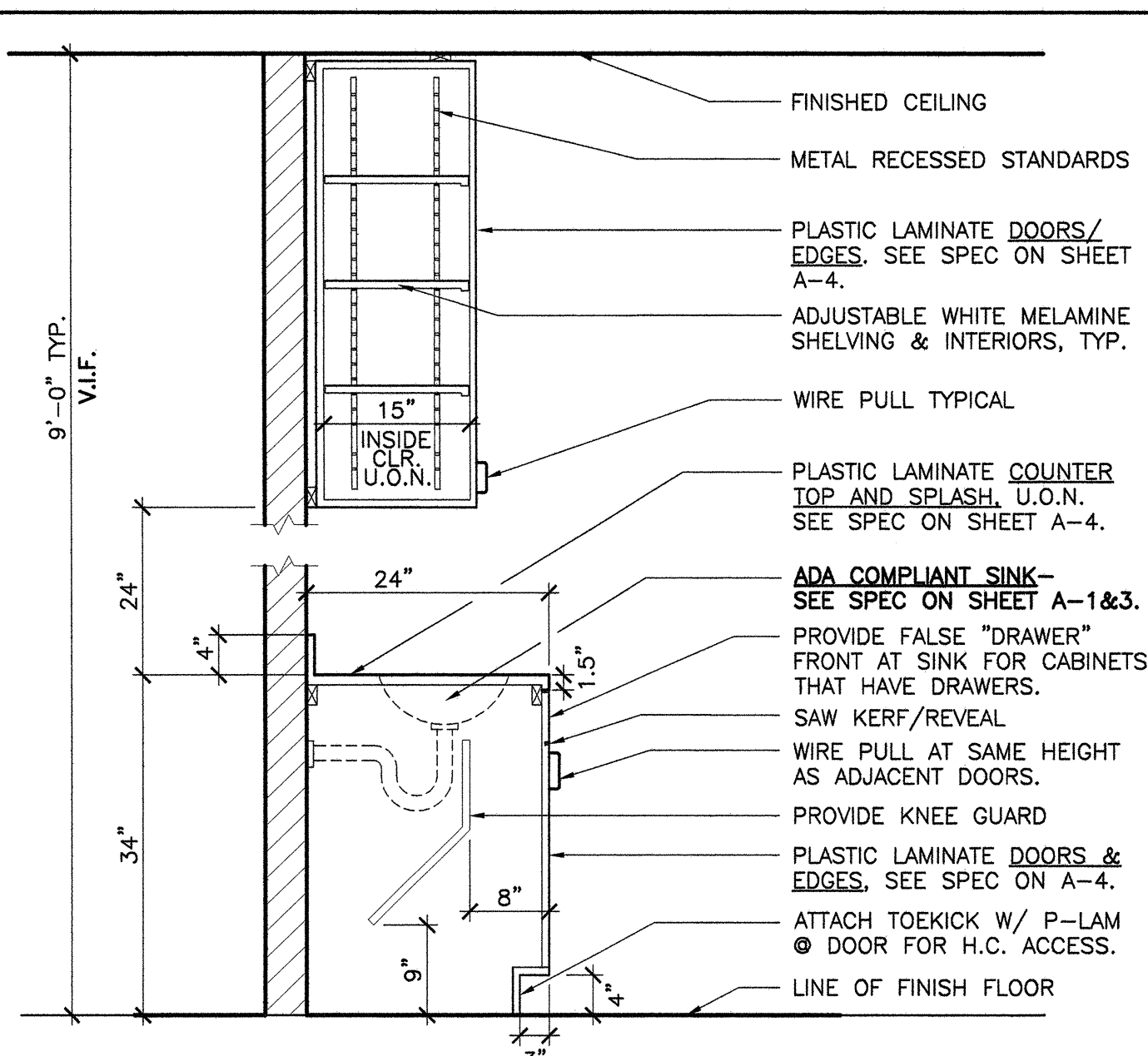
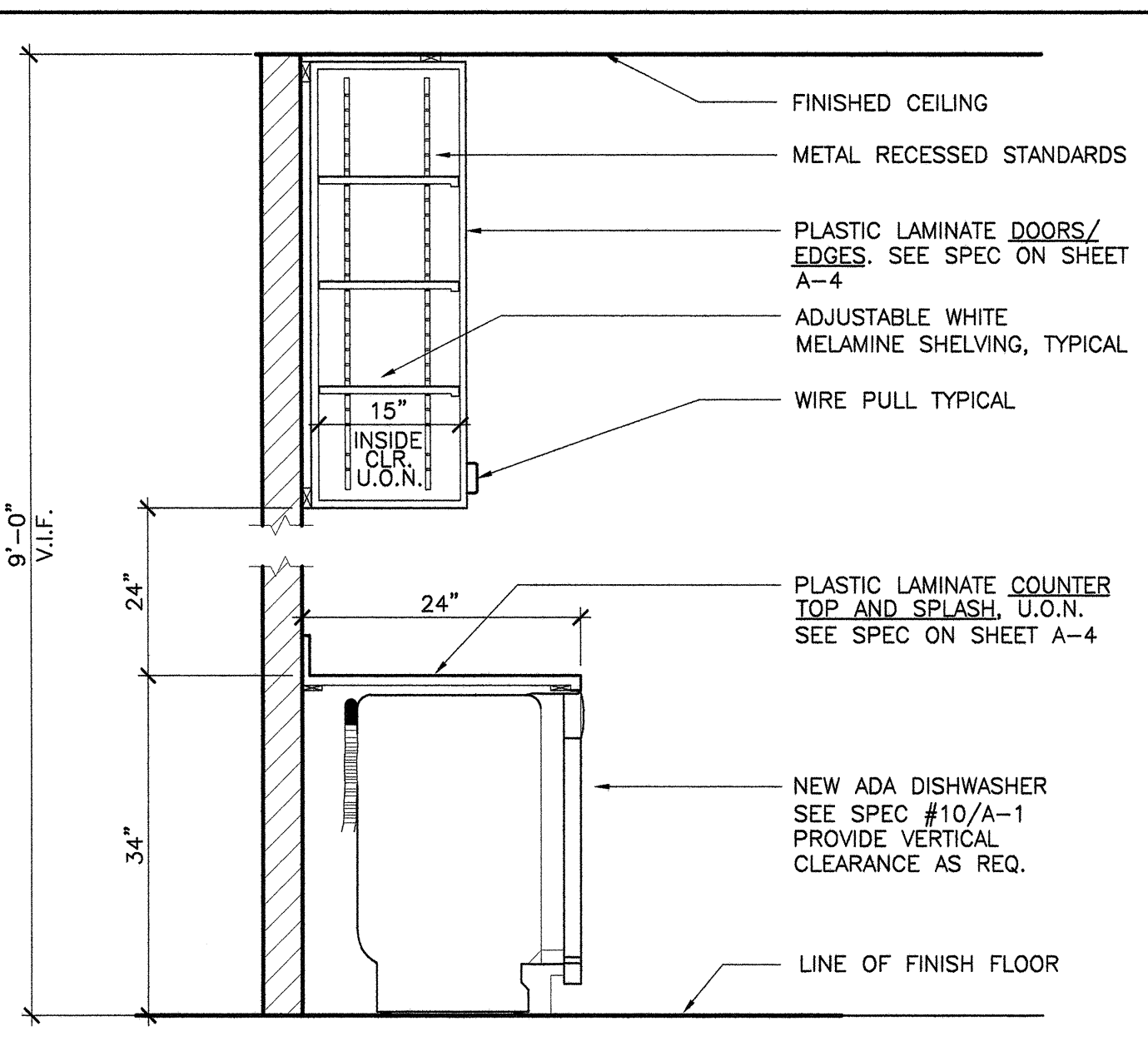
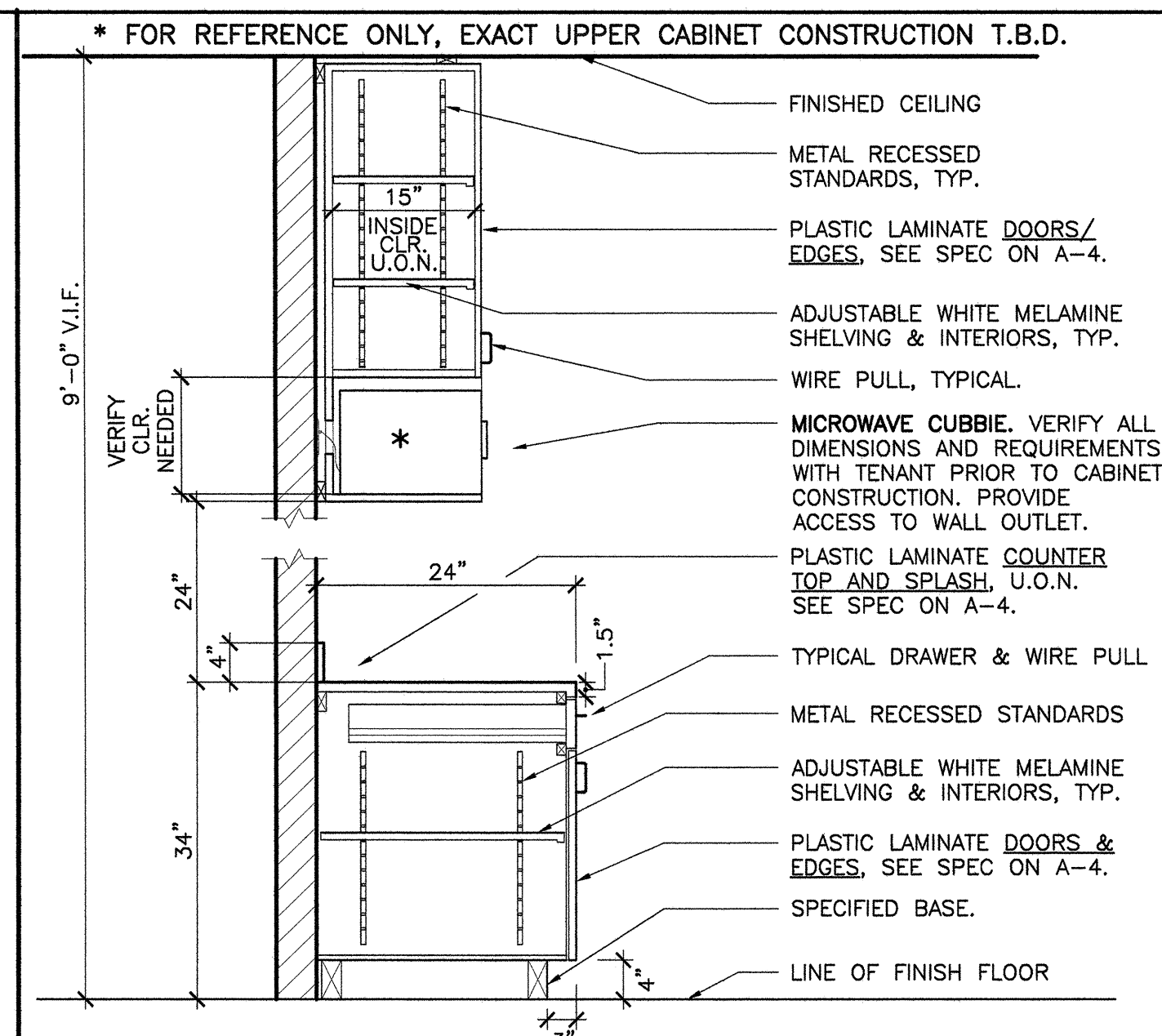
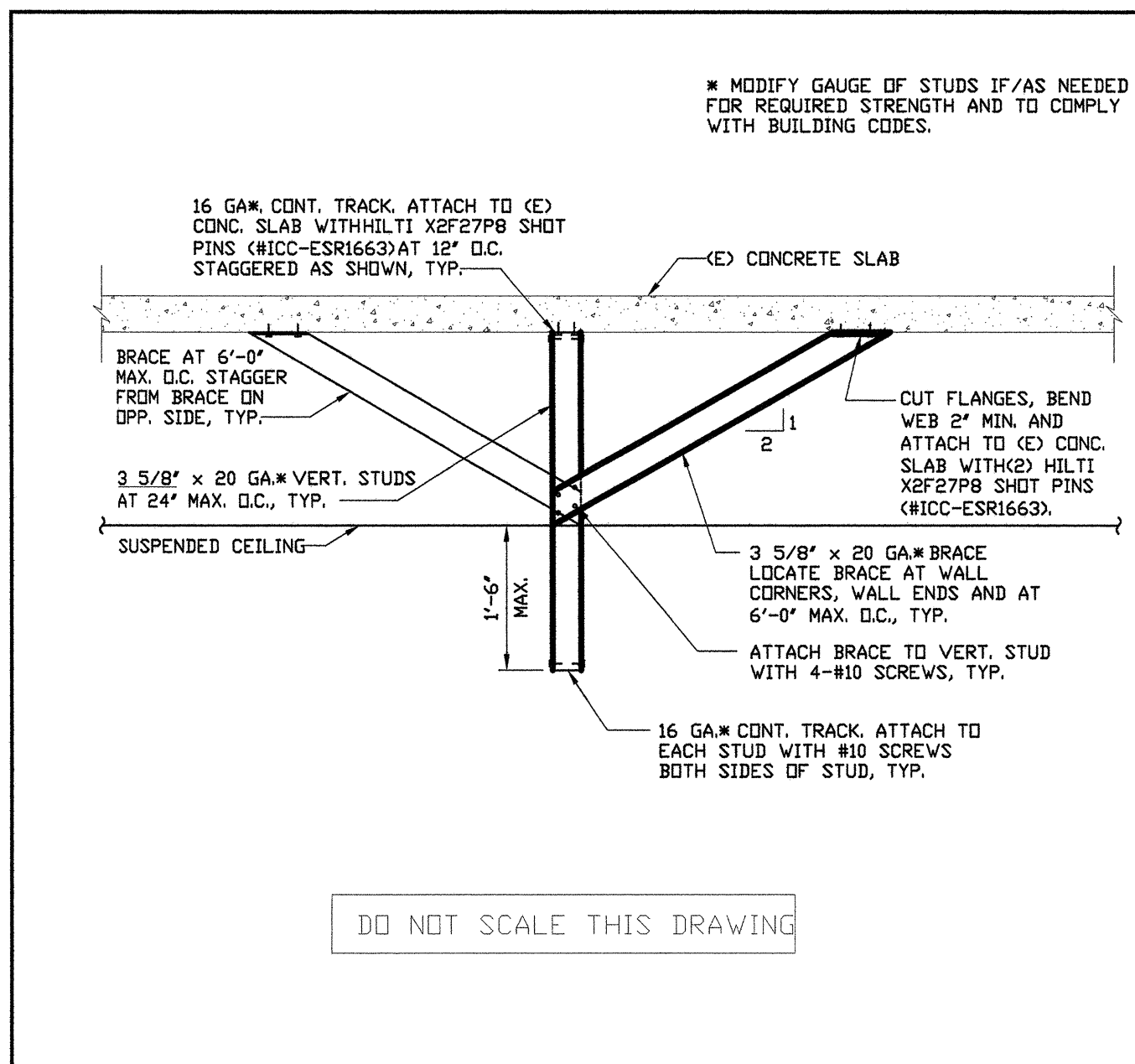
DETAIL
SHEET

Sheet Title

Project Number 2778.15

Sheet Number A-5





PROJECT

ARDEN REALTY, INC.

HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS

SUITE 225

AGREED: _____ 2012

TENANT: _____

BY: _____

TITLE: _____

COMMENT: _____

NO.	DESCRIPTION	DATE
1	PLAN CHECK CORRECTIONS MS/DETAILS #5, 10, 15	02.13.12
2	TENANT REVISIONS (DET. #13)	01.25.12
3	PLAN CHECK SUBMITTAL	01.25.12
4	RELEASED FOR ENGINEERING	01.13.12

NO. REVISIONS

DATE

DATE

CHECKED

RP

PRINT DATE

01.20.12

INTERIOR PLANNING & DESIGN

SPACES P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE

USABLE: 5,486 SF

SECOND FLOOR

MILLWORK, GLAZING, & SOFFIT DETAILS

Sheet Title

Project Number 2778.15

Sheet Number A-6



HARBOR CORPORATE PARK
8621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS
SUITE 225

AGREED:
ACCEPTED THIS DAY OF _____, 2011
TENANT: _____
BY: _____
TITLE: _____

COMMENT:
UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

THIS DRAWING AND THE ACCOMPANYING SPECIFICATIONS AND MATERIALS LISTED THEREIN SHALL BE SUBJECT TO THE GENERAL SPEC OR SPEC SHEET WITH THE SAME NUMBER, REVISION, OR SUPPLEMENT OR PRELIMINARY OR ANY OTHER, IN CASE OF A PARTIAL RELEASED COPY OF THESE DRAWINGS OR SPECIFICATIONS, THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE CORRECTNESS OF THESE DRAWINGS AND SPECIFICATIONS FROM THE ORIGINAL SET OF THESE DRAWINGS.

△ SUBMIT FOR CITY PLAN CHECK
△ RELEASED FOR ENGINEERING 01.13.12

NO.	DESCRIPTION	DATE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN
DATE 01.20.12
CHECKED
KT
PRINT DATE 01.20.12

REGISTERED PROFESSIONAL ENGINEER
No. 60738
Exp. 12/31/2015
CIVIL
STATE OF CALIFORNIA
oikatore

INTERIOR PLANNING & DESIGN
SPACES
P & D INC.
17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1489 / www.spaces-oc.com

DTA CONSULTING ENGINEERS, INC.
22650 Hill Creek Drive, Suite B
Laguna Hills, CA 92653
Phone: (949) 997-2145
Fax: (949) 997-2148
Email: dta@dtaco.com

SECOND FLOOR
NOTES
PARTIAL PLAN
& DETAILS

Sheet Title
Project Number 12-08
Sheet Number S-1

GENERAL NOTES

- SEE ALSO:
 - SPECIFICATIONS AND OTHER CONTRACT DOCUMENTS
- DISCREPANCIES - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL REPORT ANY DISCREPANCIES IN WRITING TO THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK OR ORDERING MATERIALS. ANY SUCH DISCREPANCIES AND CONDITIONS NOT REPORTED IN WRITING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL MATERIALS, WORKMANSHIP AND CONSTRUCTION SHALL CONFORM TO THE 2008 LOS ANGELES BUILDING CODE UNLESS MORE STRINGENT REQUIREMENTS ARE REQUIRED IN THE PLANS AND SPECIFICATIONS.
- DETAILS SHOWN ON DRAWINGS SHALL BE TYPICAL FOR ALL SIMILAR CONDITIONS. MODIFY DETAILS FOR SPECIAL CONDITIONS AS DIRECTED BY THE ENGINEER.
- THE CONTRACT DOCUMENTS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE METHOD OF CONSTRUCTION.
- OPENINGS, POCKETS, ETC. SHALL NOT BE PLACED IN STRUCTURAL MEMBERS UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS. NOTIFY THE ENGINEER WHEN DRAWINGS BY OTHERS SHOW OPENINGS, POCKETS, ETC. NOT SHOWN ON THE STRUCTURAL DRAWINGS, BUT WHICH ARE LOCATED IN STRUCTURAL MEMBERS.

CONSTRUCTION NOTES

- NEITHER THE PROFESSIONAL ACTIVITIES OF DTA CONSULTING ENGINEERS, INC. (DTA), NOR THE PRESENCE OF DTA OR DTA'S EMPLOYEES AT THE CONSTRUCTION SITE, SHALL RELIEVE THE GENERAL CONTRACTOR AND ANY OTHER ENTITY OF THEIR OBLIGATIONS, DUTIES, AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCES, TECHNIQUES, OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING, OR COORDINATING ALL PORTIONS OF THE WORK OF CONSTRUCTION IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DTA AND DTA'S PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR OTHER ENTITY OR THEIR EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PRECAUTIONS.
- CONSTRUCTION LOADING SHALL NOT EXCEED THE DESIGN LIVE LOAD UNLESS SPECIAL SHORING IS PROVIDED. ALLOWABLE LOADS SHALL BE REDUCED IN AREAS WHERE THE STRUCTURE HAS NOT ATTAINED ITS FULL DESIGN STRENGTH.
- SEE ARCHITECTURAL DRAWINGS FOR CHAMFERS, EDGE RADI, DRIPS, REGLETS, FINISHES, AND OTHER NON-STRUCTURAL ITEMS NOT SHOWN OR SPECIFIED ON STRUCTURAL DRAWINGS.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL, MECHANICAL, ELECTRICAL, AND CIVIL DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR ROOF OR FLOOR ELEVATIONS AND DIMENSIONS NOT SHOWN, DUCT OPENINGS, DRAINS, SLAB DEPRESSIONS, SLOPES, CURBS, ETC.
- ALL ERECTION PROCEDURES SHALL CONFORM TO OSHA STANDARDS. ANY DEVIATION MUST BE APPROVED BY OSHA PRIOR TO ERECTION.
- DESIGN, MATERIALS, EQUIPMENT AND PRODUCTS OTHER THAN THOSE DESCRIBED BELOW OR INDICATED ON THE DRAWINGS MAY BE CONSIDERED FOR USE, PROVIDED PRIOR APPROVAL IS OBTAINED FROM THE OWNER, ENGINEER AND THE APPLICABLE GOVERNING CODE AUTHORITY PRIOR TO ORDERING THE PRODUCTS.
- ALL SUSPENDED EQUIPMENT AND CEILING SHALL BE PROVIDED WITH UBC APPROVED LATERAL OR SWAY BRACING.
- DO NOT SCALE DRAWINGS.

LIGHT GAGE METAL STUDS AND JOISTS

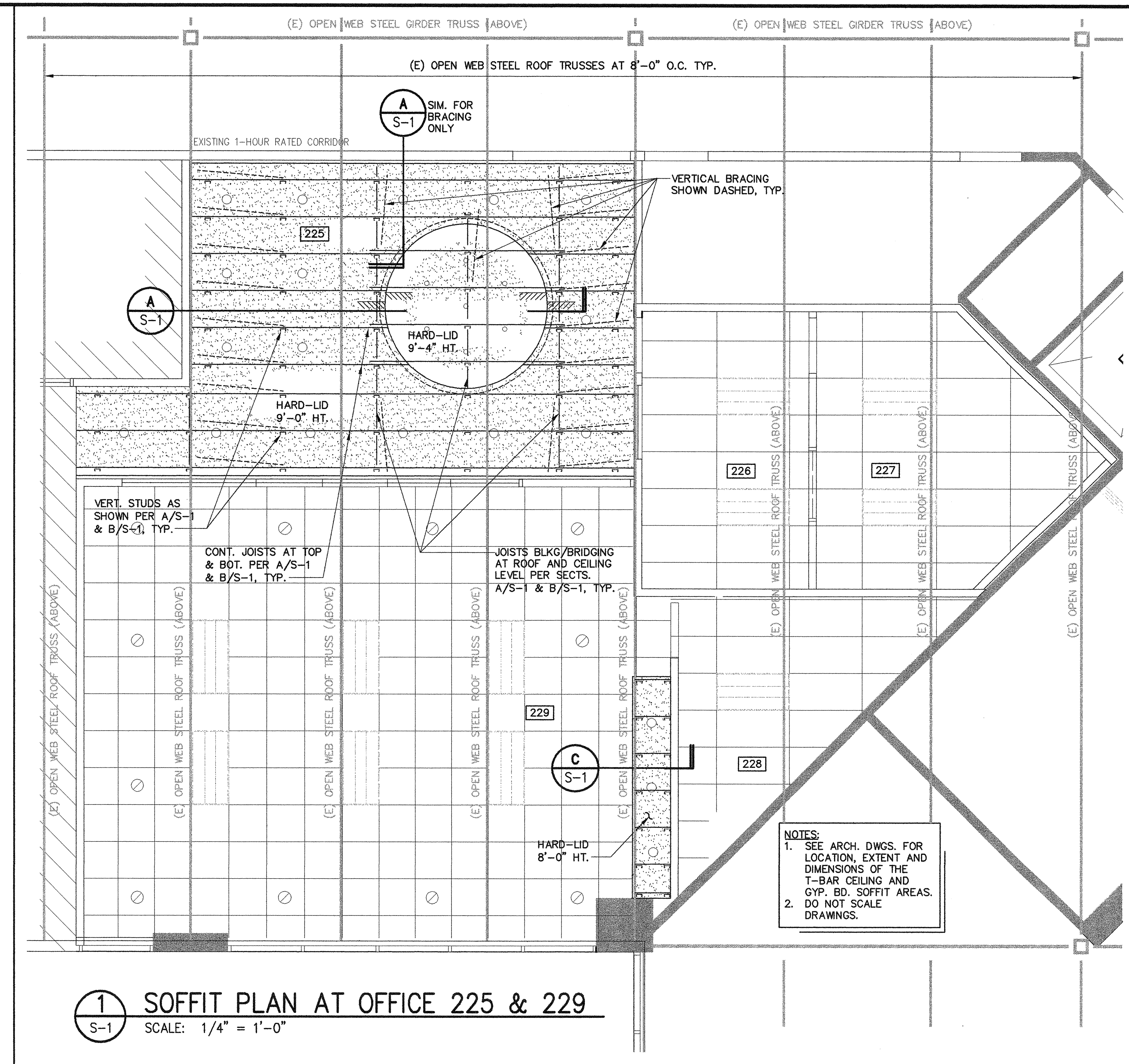
- ALL METAL STUDS AND METAL JOISTS SECTIONS SHALL CONFORM TO ASTM A500. GALVANIZED SHEETS SHALL HAVE BASE METAL THICKNESS AS INDICATED, WITH COATING PER ASTM A525, APPROVED BY L.C.B.O. AND LOCAL BUILDING DEPARTMENTS.
- ALL LIGHT GAGE STEEL SHALL BE BY DIETRICH INDUSTRIES (LARR# 251.32)
- BRACING OF LIGHT GAGE METAL FRAMING TO THE BOTTOM FLANGE OR BOTTOM CHORD OF THE STRUCTURAL MEMBERS IS NOT PERMITTED, EXCEPT AS SHOWN OTHERWISE ON THE STRUCTURAL DRAWINGS.
- LIGHT GAGE METAL FRAMING SHALL BE GALVANIZED PER ASTM A924 WITH A G-60 COATING. ALTERNATIVELY, INTERIOR LIGHT GAGE METAL FRAMING MAY BE PRIMED WITH RUST INHIBITIVE PAINT MEETING THE PERFORMANCE REQUIREMENTS OF TT-P-636 C.
- ALL LIGHT GAGE STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH AISI OR UBC STANDARDS, WHICHEVER IS MORE RESTRICTIVE.
- WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS EXPERIENCED IN LIGHT GAGE WELDING. CONTINUOUS INSPECTION NOT REQUIRED. INSPECTION BY BUILDING DEPARTMENT IS REQUIRED AT START OF JOB TO VERIFY CREDENTIALS AND CAPABILITY OF WELDERS.
- INTERIOR BEARING AND NON-BEARING STUDS SHALL CONFORM TO ICC-ESR 1166R OR LARR# 251.32 FOR STRENGTH & DEFLECTION CRITERIA.
- STUD AND JOIST SPACINGS CALLED OUT ON PLANS ARE MINIMUM. CONTRACTOR SHALL PROVIDE ADDITIONAL STUDS AND MISCELLANEOUS SECTIONS AS REQUIRED FOR ATTACHMENT OF ELECTRICAL, OUTLETS, MECHANICAL DUCTS, DUCT OPENINGS, AND OTHER NON-STRUCTURAL ITEMS. SEE ARCHITECTURAL DRAWINGS FOR ADDITIONAL REQUIRED FRAMING NOT SHOWN ON STRUCTURAL DRAWINGS.
- FASTENERS SHALL BE SELF-DRILLING TAPPING SCREWS COMPLYING WITH SAE J78, WITH TYPE II COATING CONFORMING WITH ASTM B633 (OR EQUIVALENT CORROSION PROTECTION).
- FASTENERS FOR GYPSBOARD TO STEEL ATTACHMENT SHALL BE SELF-DRILLING TAPPING SCREWS CONFORMING TO ASTM C954.
- EDGES OF ALL OPENINGS IN WALLS AND CEILING SHALL BE BLOCKED.
- WALL AND CEILING SHEATHING SHALL BE PROTECTED FROM MOISTURE.

SPECIAL INSPECTION NOTES

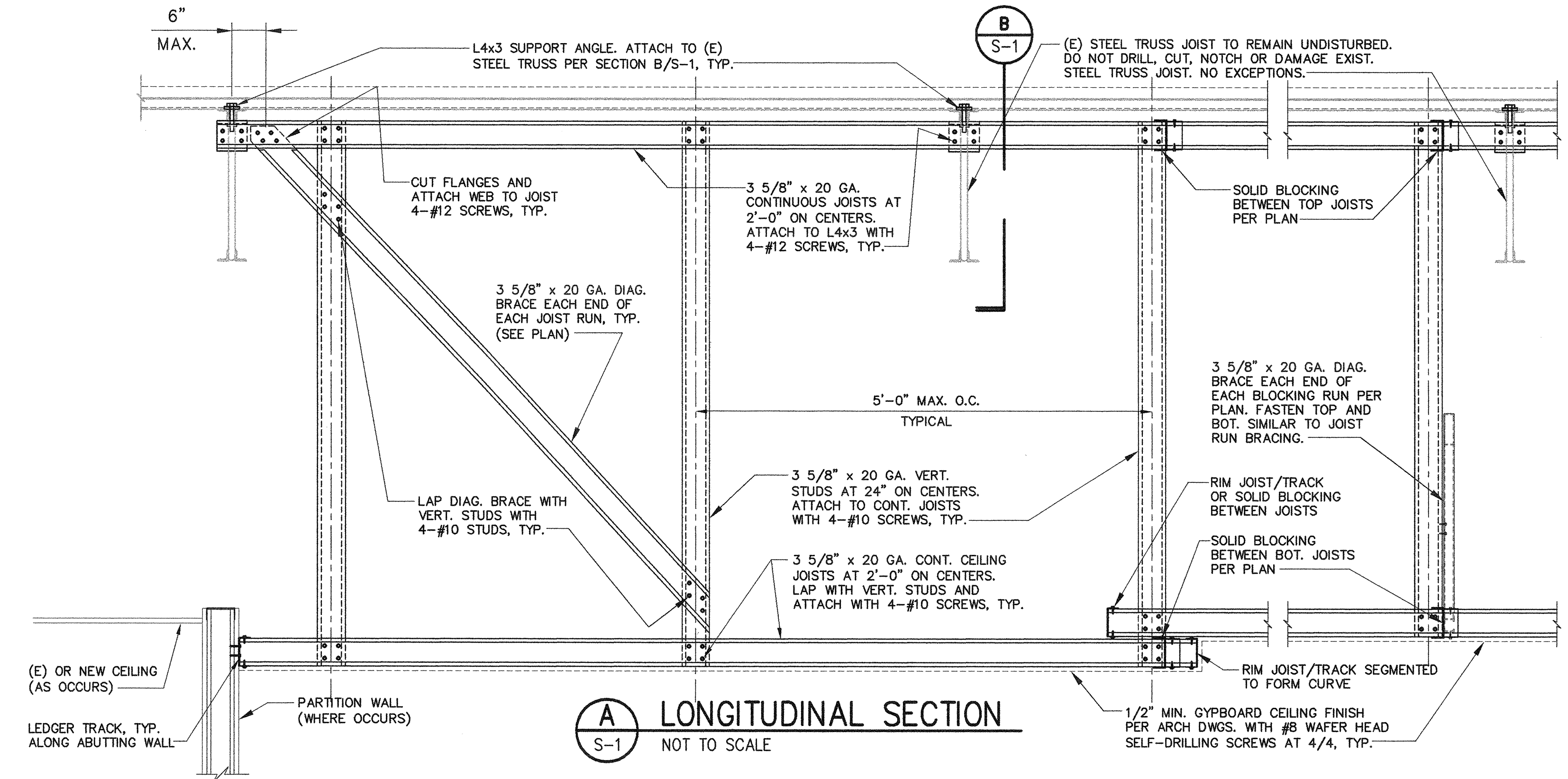
- SPECIAL INSPECTION PROVISIONS OF THE SECTION 1701 OF THE 2007 CALIFORNIA BUILDING CODE (AS AMENDED BY THE LOCAL BUILDING AUTHORITY) GOVERN PORTIONS OF THE STRUCTURAL WORK AS DESCRIBED IN THE CONSTRUCTION DOCUMENTS. THE SPECIAL INSPECTOR SHALL BE HIRED BY THE OWNER.
- THE FOLLOWING STRUCTURAL WORK FOR THIS PROJECT REQUIRE SPECIAL INSPECTIONS BY AN INDEPENDENT APPROVED INSPECTION AGENCIES:
 - ALL SUSPENDED CEILING FRAMING
- THE MINIMUM RESPONSIBILITIES OF THE SPECIAL INSPECTOR SHALL BE AS OUTLINED IN THE "SPECIAL INSPECTION RECOMMENDED STANDARD OF PRACTICE", LATEST EDITION, PUBLISHED BY THE STRUCTURAL ENGINEERS ASSOCIATION OF CALIFORNIA.
- IT SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO NOTIFY THE SPECIAL INSPECTOR OF ALL ITEMS REQUIRING SPECIAL INSPECTION A MINIMUM OF 48 HOURS IN ADVANCE.
- SPECIAL INSPECTIONS DO NOT RELIEVE THE GENERAL CONTRACTOR OF HIS RESPONSIBILITIES TO COMPLETE THE PROJECT IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND TO BE RESPONSIBLE FOR SAFETY ON THE JOB SITE.
- THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL REPORT TO THE BUILDING DEPARTMENT, ARCHITECT, STRUCTURAL ENGINEER AND OWNER STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF HIS/HER KNOWLEDGE, IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS AND THE APPLICABLE WORKMANSHIP PROVISIONS OF THE BUILDING CODE.
- THE SPECIAL INSPECTOR SHALL BE CERTIFIED AS A SPECIAL INSPECTOR BY THE BUILDING DEPARTMENT OR THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS (ICBO).
- CONTRACTOR SHALL KNOW AND COMPLY WITH THE REQUIREMENTS OF GOVERNING AGENCY BY INFORMING BUILDING DEPARTMENT WHEN THE REQUIRED INSPECTIONS ARE TO TAKE PLACE.

STRUCTURAL OBSERVATIONS

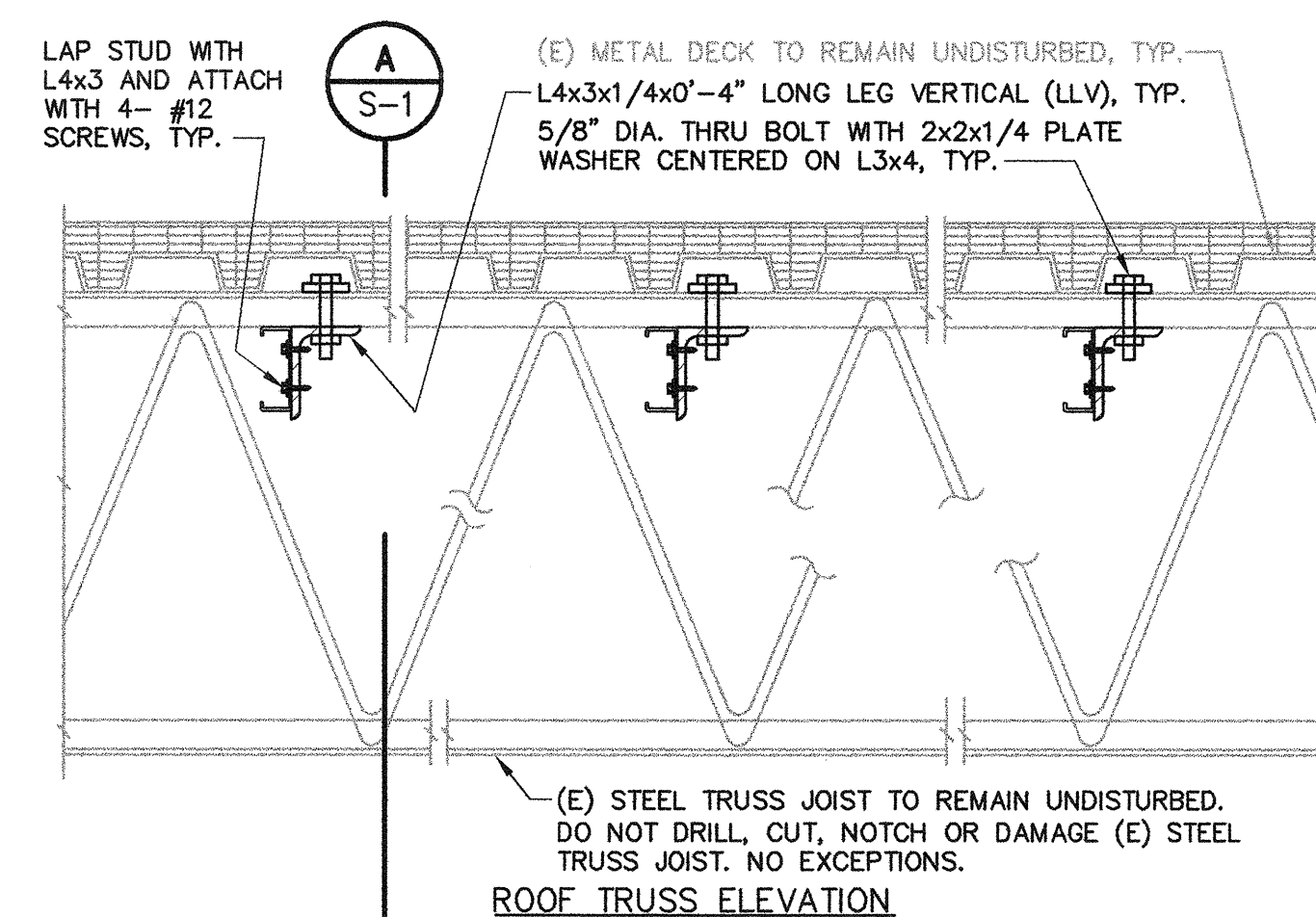
- STRUCTURAL OBSERVATION IS NOT REQUIRED DUE TO MINOR NATURE OF WORK.



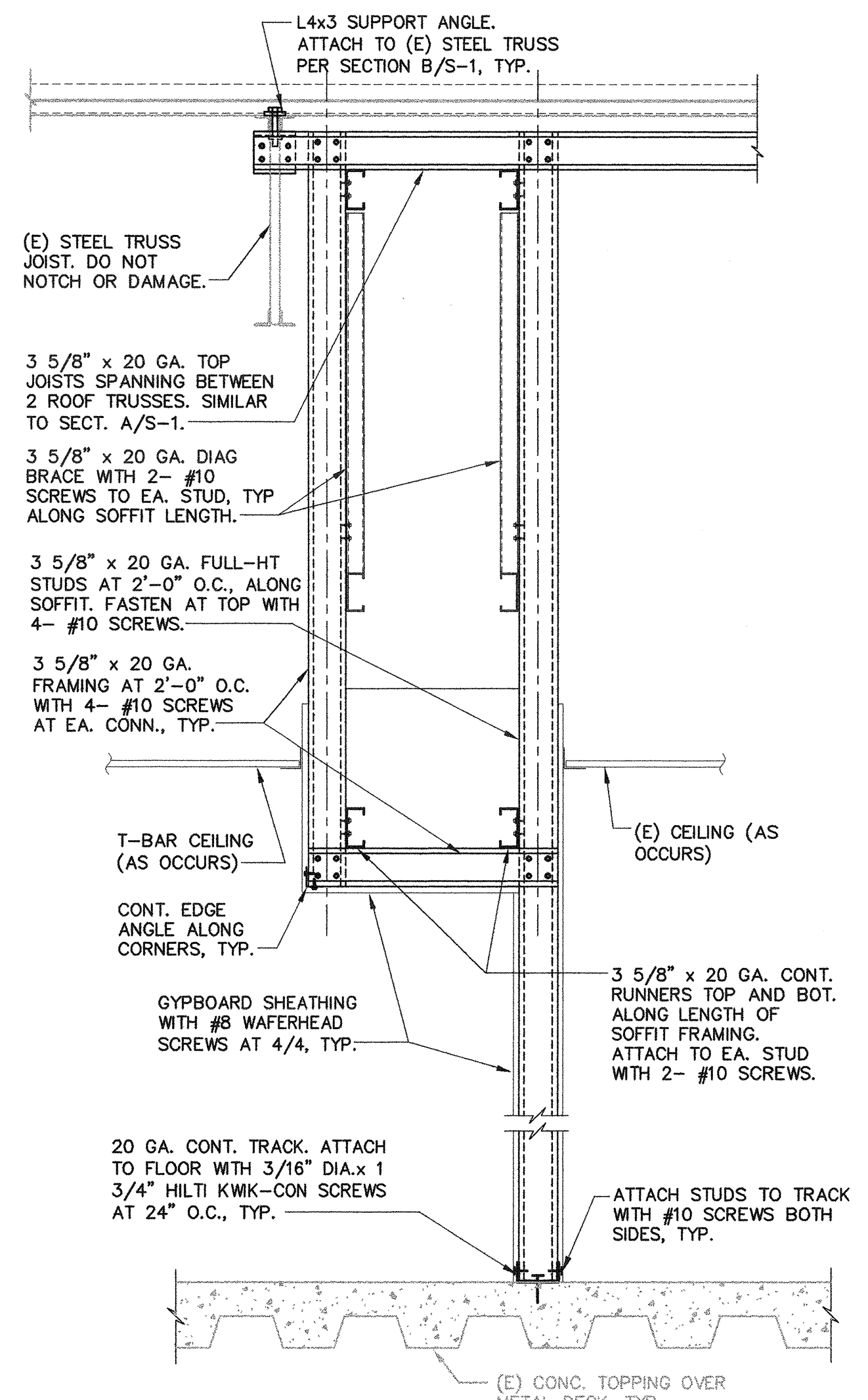
1 SOFFIT PLAN AT OFFICE 225 & 229
S-1 SCALE: 1/4" = 1'-0"



A LONGITUDINAL SECTION
S-1 NOT TO SCALE



B SECTION
S-1 NOT TO SCALE



C SECTION
S-1 NOT TO SCALE



22952 Mill Creek Drive, Suite B
Laguna Hills, CA 92653

CONSULTING ENGINEERS, INC.

Phone: (949) 597-2147, Fax: (949) 597-2148, Email: dta@dtace.com

**STRUCTURAL CALCULATIONS FOR
GLASS WALL
3621 HARBOR BOULEVARD, SUITE 225
SANTA ANA, CA**

February 14, 2012
Revised March 12, 2012



Client: Arden Realty, Inc.
11601 Wilshire Boulevard, 4th floor
Los Angeles, CA 90025
Tel: (310) 966-2600

(1) CALCULATE GLASS THICKNESS & DEFLECTION

GLASS SUPPORTED ON 3 SIDES

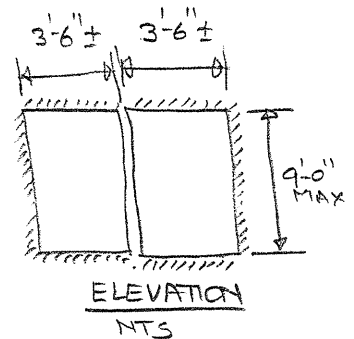
LATERAL LOAD ON GLASS = 5 psf UNIFORM LOAD

(OR) 50 #1 @ 42" ABOVE FINISH FLOOR (SEC. 2403.4)

TRY 1/2" GLASS

PER ATTACHED CHART FROM ASTM E-1300

ALLOWABLE LOAD ON GLASS = 1.2 kPa = 1.2 x 20.9
 = 25 psf > 5 psf OK



CALCULATE DEFLECTION - SUPPORTED ON 3 SIDES

CASE-1 5 psf UNIFORM LOAD

ASPECT RATIO = AR = $\frac{3.5'}{9'} = 0.39 < 0.5$
 \therefore USE AR = 0.5

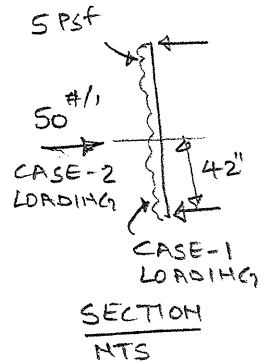
LOAD x L⁴ = $\frac{5 \text{ psf} \times 9^4}{1000} = 32.8$

PER ATTACHED CHART 1/2" GLASS DEFLECTS $\leq 0.28" \leq \frac{l}{380} < \frac{3}{4} \& \frac{l}{175}$ OK

CASE-2 50 #1 @ 42" ABOVE FINISH FLOOR

$\delta = \frac{5wl^4}{384EI} = 0.28" \Rightarrow EI = 2636116$

$\delta_{42} = \frac{50 \times 42^2 \times 66^2}{3 \times 2636116 \times 108} = 0.45" < 0.5"$ OK
 @ FREE EDGE



\therefore USE 1/2" GLASS WITH SUPPORTS ON 3 SIDES

E 1300 - 04^{e1}

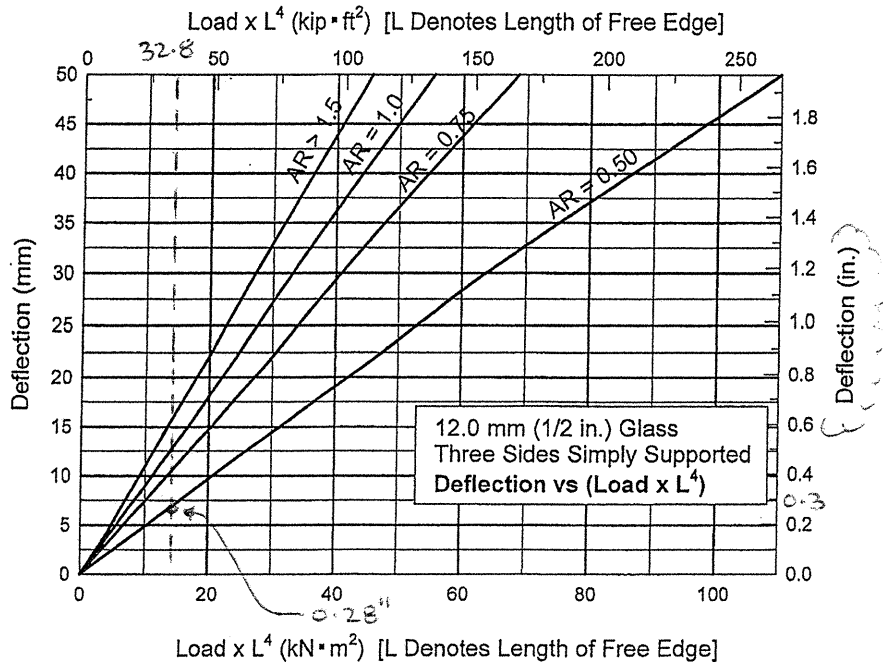
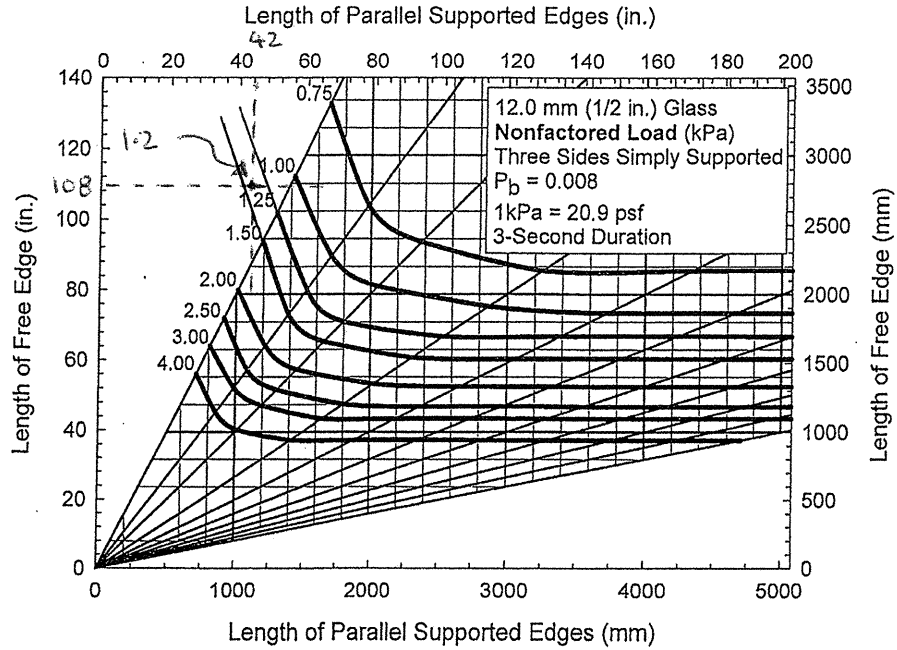


FIG. A1.21 (upper chart) Nonfactored Load Chart for 12.0 mm (1/2 in.) Glass with Three Sides Simply Supported (lower chart) Deflection Chart for 12.0 mm (1/2 in.) Glass with Three Sides Simply Supported



22952 Mill Creek Drive, Suite B
Laguna Hills, CA 92653

CONSULTING ENGINEERS, INC.

Phone: (949) 597-2147, Fax: (949) 597-2148, Email: dta@dtace.com

STRUCTURAL CALCULATIONS

for

SUSPENDED CEILING

at

3621 S. HARBOR BOULEVARD, SUITE 225
SANTA ANA, CA 92705

Submittal:

20 January 2012



Client: Ms. Dyana Elam
Arden Realty, Inc.
11601 Wilshire Boulevard, 4th floor
Los Angeles, CA 90025
Tel: (310) 966-2600

DTA CONSULTING ENGINEERS, INC.

22952 Mill Creek Drive, Suite B
Laguna Hills, CA 92653
Phone: (949) 597-2147
Fax: (949) 5972148
Email: dta@dtace.com

PROJECT NO. 12-08

PROJECT 3621 S. Harbor Blvd., Suite 225
Santa Ana, CA

PREPARED BY ND
DATE _____ SHEET NO. 1

DESIGN SUSPENDED CEILING

SEISMIC DESIGN CATEGORY "D"

ASCE 7-05 SECTION 13.3 & 13.5.6.2.2

$$(1) F_p = \frac{0.4 a_p S_{DS} W_p}{\left(\frac{R_p}{I_p}\right)} \left(1 + 2 \frac{z}{h}\right)$$

$$F_p = \frac{0.4 \times 1 \times 0.88 \times 5}{2.5} (1 + 2 \times 1)$$

$F_p = 2.11 \text{ psf} \leftarrow \text{CONTROLS}$

$a_p = 1$
 $R_p = 2.5$
 $W_p = 5 \text{ psf}$
 $I_p = 1$
 $S_{DS} = 0.88$
 $\frac{z}{h} = 1$

$$(2) F_p = 1.6 S_{DS} I_p W_p$$
$$F_p = 1.6 \times 0.88 \times 1 \times 5$$
$$F_p = 7.04 \text{ psf}$$

$$(3) F_p = 0.3 S_{DS} I_p W_p$$
$$F_p = 0.3 \times 0.88 \times 1 \times 5$$
$$F_p = 1.32 \text{ psf}$$

$\therefore F_p = 2.11 \times 0.7 = 1.48 \text{ psf}$ (ASD)

$\therefore F_p = 1.48 \text{ psf}$

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Laguna Hills, CA 92653
Phone: (949) 597-2147
Fax: (949) 5972148
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PROJECT NO. 12-08

PROJECT 3621 S. Harbor Blvd., Suite 225
Santa Ana, CA

PREPARED BY WD

DATE _____ SHEET NO. 2

DESIGN VERT. STUDB:

$$P = 10 \text{ psf} \times 2' \times 5' = 100^*$$

$$T_{cap} = 0.9 \times 33000 \times 0.238 \text{ in}^2 = \underline{7068^*} > 100^* \quad \underline{\underline{OK}}$$

∴ USE 3/8" x 20 GA. STUDB @ 24" O.C.

DESIGN BRACE:

LATERAL LOAD PER PACE = 1

$$\text{BRACE FORCE} = 1.48 \text{ psf} \times 4' \times 12' = 71^* \times \sqrt{2} = 101^*$$

$$\frac{KL}{r} = \frac{6'(12)}{.448} = 160$$

$$T_{cap} = 58300^* \times 0.162 \text{ in}^2 = \underline{944^*} > 100^* \quad \underline{\underline{OK}}$$

$$F_a = 5.83 \text{ ksi}$$

∴ USE 3/8" x 20 GA BRACE @ 4'-0" O.C.

DESIGN SCREWS

$$V = 100^* \quad \text{TRY 4-#10 SCREWS}$$

$$V_{cap} = 4 \times 175^* = \underline{700^*} > 100^* \quad \underline{\underline{OK}}$$

USE 4-#10 SCREWS @ CONNECTIONS

DESIGN BOLTS

$$P = 100^* \quad \text{TRY } 1/2" \phi \text{ BOLTS}$$

$$T_{cap} = \underline{4700^*} > 100^* \quad \underline{\underline{OK}}$$

USE 1/2" φ BOLTS @ EACH ∠ 3x4x1/4 LLY

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Phone: (949) 597-2147
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Email: dta@dtace.com

PROJECT NO. 12-08

PROJECT 3621 S. Harbor Blvd., Suite 225
Santa Ana, CA

PREPARED BY ND

DATE _____ SHEET NO. 3

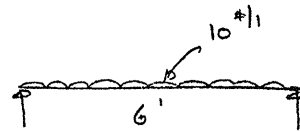
DESIGN SUPPORT FOR GYP. BD. CEILING

GYP. BD CEILING DL = 5 psf (SEE PAGE 1 FOR LATERAL CALCS)

DESIGN BOT. JOISTS:

CEILING LOAD ON JOISTS = $5 \text{ psf} \times 2' = 10 \text{ #/1}$

MAX. SPAN = 6'-0" $M = \frac{10 \times 6^2}{8} = 45 \text{ #}$

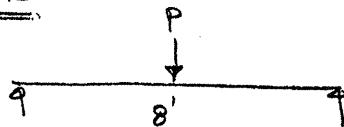


SEE ATTACHED LOAD SPAN TABLES

USE $3\frac{5}{8} \times 20$ GA. JOISTS @ 24" O.C. (GOOD FOR 8'-0" SPAN WITH DL = 10 psf + LL = 20 psf.)

$M_{\text{ALLOW}} = \frac{(10+20) \text{ #}^2}{8} = 240 \text{ #}^2$

DESIGN TOP JOISTS



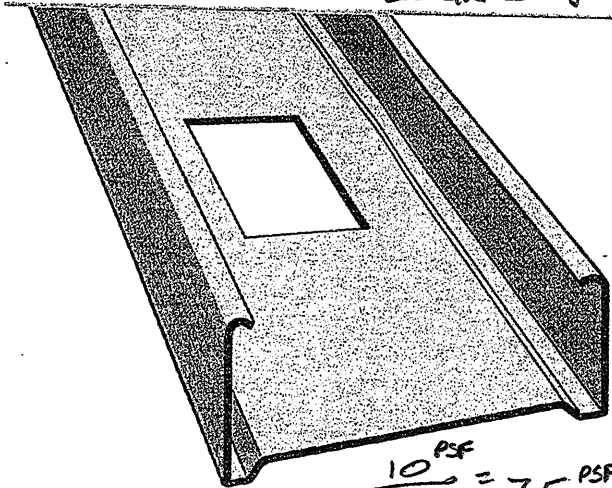
$P = 10 \text{ psf} \times 2' \times 5' = 100 \text{ #}$

$M_{\text{MAX}} = \frac{100 \times 8}{4} = 200 \text{ #}^2 < 240 \text{ #}^2 \text{ OK}$

USE $3\frac{5}{8} \times 20$ GA. JOISTS @ 24" O.C.

20GA 35/8" x 1/4" STUDS ARE ADEQUATE FOR CEILING LOADS

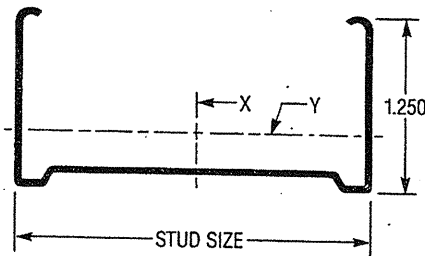
DIETRICH



$$\frac{10 \text{ PSF}}{1.33} = 7.5 \text{ PSF}$$

Extra Duty Drywall Studs (STE-20 Ga.)

Dietrich Big "D" extra duty drywall studs (20 gage) are fabricated in standard sizes and stock lengths from corrosion resistant galvanized steel. Custom sizes and cut to length sizes are available upon request. Knockouts for piping, electrical installation and horizontal bracing are located over the entire length of the stud.



Maximum Allowable Clear Span Height in Feet^(2 & 3)

Wind Load (lb./sq. ft.)	Deflection Criteria	1 5/8" Stud		2 1/2" Stud			3 5/8" Stud			4" Stud			6" Stud			
		Stud Spacing (inches on center)														
		12	16	24	12	16	24	12	16	24	12	16	24	12	16	24
5	L/120	12.0	10.9	9.6	17.1	15.5	13.6	22.8	20.7	18.1	24.7	22.4	19.6	34.1	31.0	27.1
	L/240	9.6	8.7	7.6	13.6	12.3	10.8	18.1	16.5	14.4	19.6	17.8	15.5	27.1	24.6	21.5
	L/360	8.4	7.6	6.6	11.9	10.8	9.4	15.8	14.4	12.6	17.1	15.5	13.6	23.6	21.5	18.8
10	L/120	9.6	8.7	7.6	13.6	12.3	10.8	18.1	16.5	14.4	19.6	17.8	15.5	27.1	24.6	21.2
	L/240	7.6	6.9	6.0	10.8	9.8	8.6	14.4	13.1	11.4	15.5	14.1	12.3	21.5	19.5	17.0
	L/360	6.6	6.0	5.3	9.4	8.6	7.5	12.6	11.4	10.0	13.6	12.3	10.8	18.8	17.0	14.9
15	L/120	8.4	7.6	6.6	11.9	10.8	9.4	15.8	14.4	12.1	17.1	15.5	12.9	23.6	21.2	17.3
	L/240	6.6	6.0	5.3	9.4	8.6	7.5	12.6	11.4	10.0	13.6	12.3	10.8	18.8	17.0	14.9
	L/360	5.8	5.3	4.6	8.2	7.5	6.5	11.0	10.0	8.7	11.9	10.8	9.4	16.4	14.9	13.0
20	L/120	7.6	6.9	6.0	10.8	9.8	8.1	14.4	12.8	10.5	15.5	13.7	11.2	21.2	18.3	15.0
	L/240	6.0	5.5	4.8	8.6	7.8	6.8	11.4	10.4	9.1	12.3	11.2	9.8	17.0	15.5	13.5
	L/360	5.3	4.8	4.2	7.5	6.8	5.9	10.0	9.1	7.9	10.8	9.8	8.6	14.9	13.5	11.8
30	L/120	6.6	6.0	4.9	9.4	8.1	6.6	12.1	10.5	8.5	12.9	11.2	9.2	17.3	15.0	12.2
	L/240	5.3	4.8	4.2	7.5	6.8	5.9	10.0	9.1	7.9	10.8	9.8	8.6	14.9	13.5	11.8
	L/360	4.6	4.2	3.7	6.5	5.9	5.2	8.7	7.9	6.9	9.4	8.6	7.5	13.0	11.8	10.3
40	L/120	6.0	5.2	4.3	8.1	7.0	5.7	10.5	9.1	7.4	11.2	9.7	7.9	15.0	13.0	10.6
	L/240	4.8	4.3	3.8	6.8	6.2	5.4	9.1	8.2	7.2	9.8	8.9	7.8	13.5	12.3	10.6
	L/360	4.2	3.8	3.3	5.9	5.4	4.7	7.9	7.2	6.3	8.6	7.8	6.8	11.8	10.7	9.4
50	L/120	5.4	4.7	3.8	7.3	6.3	5.1	9.4	8.1	6.6	10.0	8.7	7.1	13.4	11.6	9.5
	L/240	4.4	4.0	3.5	6.3	5.7	5.0	8.4	7.6	6.6	9.1	8.3	7.1	12.6	11.4	9.5
	L/360	3.9	3.5	3.1	5.5	5.0	4.4	7.4	6.7	5.8	7.9	7.2	6.3	11.0	10.0	8.7

Physical Structural Properties⁽¹⁾

Stud Size (in.)	Weight (lbs./ft.)	Cross Section Area (sq.in.)	About Major Axis				About Minor Axis			m (in.)	X ₀ (in.)	J x 1000	C _w	r ₀ (in.)	β BETA	Resisting Moment (x-x) (in.-lbs.)
			X̄ (in.)	I _x (in. ⁴)	S _x (in. ³)	R _x (in.)	I _y (in. ⁴)	S _y (in. ³)	R _y (in.)							
1 5/8	.494	.120	.531	.064	.079	0.731	.024	.034	.445	.646	-1.086	.044	.018	1.355	.358	1646
2 1/2	.592	.125	.513	.166	.133	1.155	.025	.035	.448	.583	-.950	.055	.044	1.452	.572	2957
3 5/8	.718	.162	.396	.407	.224	1.586	.032	.039	.448	.522	-.825	.068	.099	1.683	.760	4928
4	.760	.174	.368	.515	.258	1.721	.034	.040	.444	.505	-.791	.073	.124	1.775	.801	5654
6	.984	.240	.267	1.381	.460	2.400	.041	.042	.412	.431	-.652	.096	.314	2.321	.921	10099

NOTES: Design based on minimum thickness.

(1) Yield strength is 33 KSI.

(2) Limiting heights are calculated using a variable psf uniform load perpendicular to studs and based on stud properties alone. Use of composite action with collateral materials will increase height limits. Stress calculations are based on capacity of studs alone. Where stresses are due to wind loading, the allowable unit stresses have been increased one-third in compliance with the AISI Specification.

(3) Limiting heights based on stress, shear and deflection. Web crippling is assumed negligible due to stiffening provided by connection to track.

VERY CONSERVATIVE

Allowable Joist Spans—Dead Load=10 PSF/Live Load=20 PSF

ENGINEER

Table with columns: MEMBER, SINGLE SPAN SPACING O.C., TWO EQUAL SPANS SPACING O.C., SIZE (in.), CODE, GAGE. Rows include joist types CSJ, CSW, CSE, CSS, CSX for sizes 3-5/8, 4, and 6.

Table with columns: MEMBER, SINGLE SPAN SPACING O.C., TWO EQUAL SPANS SPACING O.C., SIZE (in.), CODE, GAGE. Rows include joist types CSX, CSJ, CSW, CSE, CSS, CSX for sizes 6, 8, and 10.

Table with columns: MEMBER, SINGLE SPAN SPACING O.C., TWO EQUAL SPANS SPACING O.C., SIZE (in.), CODE, GAGE. Rows include joist types CSS, CSX, CSJ, CSW, CSE, CSS, CSX for sizes 10 and 12.

- Joist Notes: 1. For single span joist cells shaded in light blue, web stiffeners are needed at the bearing point. 2. For double span joist cells shaded in medium blue, web stiffeners are required at the center bearing point only. 3. Please refer to page 30 for other important information.

5

TENANT

TRAINING CONSULTANTS

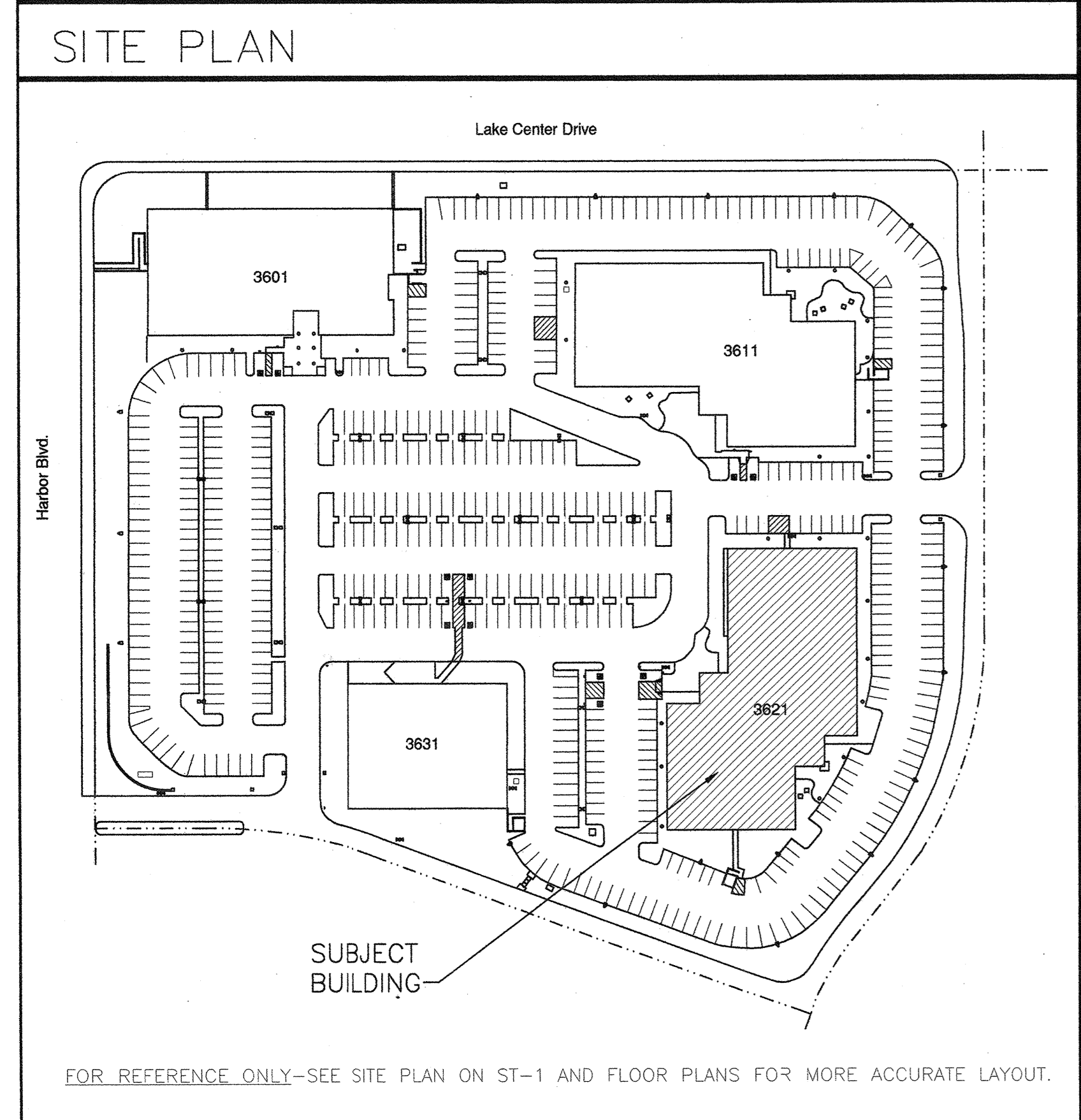
SUITE 225

GENERAL NOTES

- PRIOR TO SUBMISSION OF PRICING AND START OF CONSTRUCTION, INSPECTION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. ANY CONFLICT OR OMISSION, ETC., SHALL BE REPORTED TO SPACES BEFORE PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL PROTECT AREA AND NEW OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC DURING THE COURSE OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE GENERAL CONTRACTOR.
- MATERIALS ARE SPECIFIED BY THEIR BRAND NAMES TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED WITHIN FIVE (5) DAYS OF THE AWARD OF CONTRACT TO THE DESIGNER FOR REVIEW OF EQUAL QUALITY AND PERFORMANCE, AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT WRITTEN APPROVAL.
- ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, ELECTRICAL, ETC., SHALL CONFORM TO THE APPROPRIATE BUILDING DEPARTMENT, AS WELL AS ALL OTHER GOVERNING BODIES AND REGULATIONS.
- DIMENSIONS:
 - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD AND DISCREPANCIES REPORTED TO SPACES PRIOR TO CONSTRUCTION.
 - DIMENSIONS AND ELEVATIONS ARE TO TOP OF CONCRETE OR PLYWOOD FLOORING, NOT TOP OF FLOOR COVERING.
 - ALL PARTITION DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 - DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS OR CALL SPACES FOR VERIFICATION OR CLARIFICATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL THE TRADES AND SHALL CHECK ALL DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY SPACES OF DISCREPANCIES OR CONFLICTS IN THESE DRAWINGS FOUND DURING BIDDING AND/OR CONSTRUCTION PRIOR TO PRICING OR PERFORMING THE WORK. SPACES SHALL RESOLVE ALL SUCH DISCREPANCIES OR ANY DOUBT AS TO THEIR MEANING AND NOTIFY THE CONTRACTOR AND OWNER WITH WRITTEN CLARIFICATION AS TO THE RESOLUTION OF SUCH CONDITIONS.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
- UNLESS SPECIFIED TO BE SUPPLIED "BY THE TENANT" THE GENERAL CONTRACTOR IS TO PROVIDE AND INSTALL ANY ITEMS SPECIFIED ON THE CONSTRUCTION DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL FABRICATED ITEMS, CUTS OF ALL FIXTURES, EQUIPMENT AND SAMPLES OF ALL FINISHES CALLED FOR SPACES FOR APPROVAL PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR SHALL PROVIDE THE MINIMUM INSURANCE REQUIREMENTS SET FORTH IN ARTICLE II OF AIA DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AND LEASE DOCUMENT REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A PERMITTED AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION AND SHALL PROVIDE ALL SUB-CONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS. ALL SUBCONTRACTORS AND TRADES, SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
- PLUMBING, ELECTRICAL, SPRINKLER AND HVAC SUBCONTRACTORS SHALL SECURE THEIR OWN SEPARATE PERMITS AND PLAN CHECK.
- "EXIT" SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH 2010 CBC, CHAPTER 10, SECTION 1011.1. AS SHOWN LOCATED ON FLOOR OR REFLECTED CEILING PLANS(S).
- COMPLIANCE TO 2010 CBC STANDARD 7-2, PART II SECTION 715.4.31 WILL BE PROVIDED. CORRIDOR SHALL BE OF ONE-HOUR CONSTRUCTION WITH DOOR OPENINGS CONFORMING WITH THE FOLLOWING: "PAIRS OF DOORS INSTALLED IN A ONE-HOUR CORRIDOR SHALL HAVE:
 - A LABELED ASSEMBLY HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH 2010 CBC STANDARD 7-2.
 - SELF-CLOSER OR AUTOMATIC-CLOSER ACTUATED BY A SMOKE DETECTOR IN ACCORDANCE WITH SECTION 715.4.8.3.
 - AUTOMATIC FLUSH BOLTS, THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOOR KNOB OR SURFACE-MOUNTED HARDWARE. THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
 - FULL-MORTISE HINGES - THREE MINIMUM. 2010 CBC.
 - TIGHT-FITTING CLEARANCES AND PROVIDED WITH A GASKET SO INSTALLED AS TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES AND ACROSS THE TOP. CLEARANCES FOR A PAIR OF SWINGING DOORS SHALL BE AS FOLLOWS: WITH A MINUS 1/16 INCH TOLERANCE - 1/8 INCH ALONG THE TOP, 1/8 INCH ALONG THE HINGE AND LATCH JAMBS, 1/8 INCH ALONG THE MEETING EDGE OF THE DOORS, AND 1/4 INCH AT THE BOTTOM OF THE DOORS. (DOES NOT APPLY TO EXISTING DOORS.)
 - AN OVERLAPPING ASTRAGAL EXTENDING THE FULL HEIGHT OF THE DOORS IS REQUIRED ALONG THE MEETING EDGES OF THE DOORS. A COORDINATING DEVICE IS ALSO REQUIRED TO INSURE PROPER CLOSING."
- NO HAZARDOUS MATERIALS, LIQUIDS, OR CHEMICALS SHALL BE STORED OR USED WITHIN THE SUBJECT BUILDING AS TO REQUIRE A HAZARDOUS CLASSIFICATION PER THE 2010 CALIFORNIA BUILDING CODE.
- ALL INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST ALL LOADS TO WHICH THEY ARE SUBJECTED BUT NOT LESS THAN A FORCE OF 5 POUNDS PER SQUARE FOOT APPLIED PERPENDICULAR TO THE WALLS.
- CONSTRUCTION SHALL COMPLY TO SECTION 602, 2010 CBC.
- COMPLIANCE TO SECTION 304.5 OF THE 2010 CBC AND STATE AMENDMENTS WILL BE PROVIDED. (LIGHT & VENTILATION, & SANITATION.) PROVIDE NATURAL OR MECHANICAL VENTILATION PER 2010 C.B.C. SECTION 1203 & 2010 CALIFORNIA MECHANICAL CODE SECTION 402.
- "IN GROUP B OCCUPANCY BUILDINGS, ENCLOSED PORTIONS CUSTOMARILY OCCUPIED BY HUMAN BEINGS, OTHER THAN ROOMS AND AREAS FOR WHICH REQUIREMENTS ARE SPECIFIED ELSEWHERE IN THIS SECTION SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF EXTERIOR OPENINGS WITH AN OPEN-ABLE AREA NOT LESS THAN 1/20 OF THE TOTAL FLOOR AREA OF SUCH PORTIONS, OR SHALL BE PROVIDED WITH A MECHANICALLY OPERATED VENTILATION SYSTEM. THE MECHANICALLY OPERATED VENTILATION SYSTEM SHALL BE CAPABLE OF SUPPLYING A MINIMUM OF 15 CUBIC FEET PER MINUTE OF OUTSIDE AIR PER OCCUPANT IN ALL OCCUPIED PORTIONS OF THE BUILDING." NOTE ON DRAWINGS THE OCCUPANT LOAD FOR EACH ROOM AND THE REQUIRED OUTSIDE AIR FOR EACH ROOM BASED ON THE MORE STRINGENT OF THE 2010 CBC AND THE STATE ENERGY CONSERVATION REQUIREMENTS.
- LIGHTING: EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION 1205.2 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT IN ACCORDANCE WITH SECTION 1205.3 [2010 CBC SECTION 1205.1]

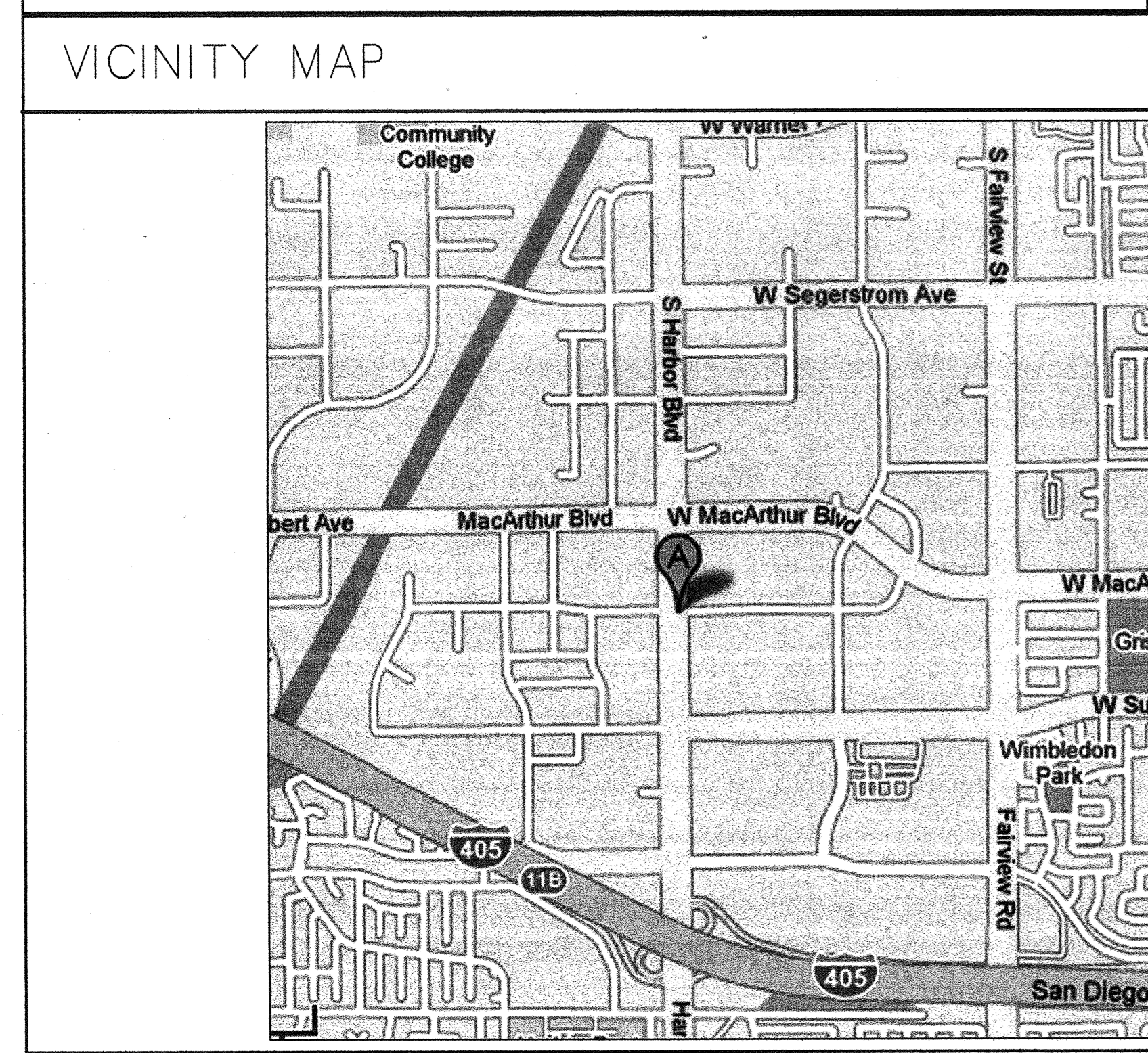
CBC SECTION 1205.2: NATURAL LIGHT. THE MINIMUM NET GLAZED AREA SHALL NOT BE LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED.

CBC SECTION 1205.3: ARTIFICIAL LIGHT. ARTIFICIAL LIGHT SHALL BE PROVIDED THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 10 FOOT-CANDELES (107 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.
- IF FIRE DAMPERS ARE REQUIRED, IT SHALL AUTOMATICALLY BE CLOSED BY 1) AN INCREASE IN TEMPERATURE AND 2) ACTIVATION OF SMOKE DETECTORS, PER SEC. 713 OF THE 2010 CBC.
- COMPLIANCE FOR ALL EQUIVALENT ACCESSIBLE FACILITIES WILL BE MET FOR THIS PROJECT.
- UNDER 2010 CBC, SECTION 907.3.1 IS BEING APPLIED TO THE FOLLOWING ROOMS/EXIT WAYS, AND SMOKE DETECTORS SHALL BE INSTALLED WITHIN EACH NOTED ROOM/AREA IN ACCORDANCE WITH THEIR LISTING. ALL ROOMS AND AREAS THAT ARE WITHIN THE EXIT ENVELOPE SHALL BE PROVIDED WITH THE REQUIRED SMOKE DETECTORS. SMOKE DETECTORS SHALL BE HARD WIRED.
- THE CITY OF SANTA ANA PERFORMS A GENERAL REVIEW OF THE DRAWINGS AND CALCULATIONS. THE DESIGNER WHO SIGNS THE DRAWINGS SHALL BE RESPONSIBLE FOR A COMPLETE CHECK OF ALL DRAWINGS AND CALCULATIONS. IF ARCHITECTURAL AND STRUCTURAL DRAWINGS ARE SEPARATE, INCLUDE THIS NOTE ON EACH SET.
- TENANT'S SIGNAGE AND KEYING TO BE PROVIDED BY THE GENERAL CONTRACTOR AND COORDINATED BY PROPERTY MANAGER.



FIRE DEPARTMENT NOTES

- PROVIDE A 40BC MINIMUM RATED FIRE EXTINGUISHER IN KITCHEN. WHERE IF APPLICABLE.
- FIRE DEPARTMENT FINAL INSPECTIONS ARE REQUIRED. THE GENERAL CONTRACTOR IS TO SCHEDULE ALL INSPECTIONS 72 HOURS IN ADVANCE. PHONE (714) 647-5700.
- PROVIDE 2A 10BC MINIMUM RATED FIRE EXTINGUISHERS, TO BE LOCATED ON EACH FLOOR WITHIN 75 FT OF TRAVEL DISTANCE FROM ALL AREAS.
- FIRE SPRINKLER SYSTEM(S) PER N.F.P.A. STANDARD 13 SHALL BE PROVIDED.
- "EXIT" SIGNS SHALL BE IN BLOCK LETTERS A MINIMUM OF SIX (6) INCHES HIGH WITH A STROKE OF NOT LESS THAN 3/4 INCH. LUMINANCE ON FACE OF SIGN SHALL BE 53.82 LUX.
- "EXIT" SIGNS SHALL BE ELECTRICALLY ILLUMINATED AND ENERGIZED FROM SEPARATE CIRCUITS AS SHOWN ON ELECTRICAL PLANS, UNLESS NUCLEAR STAND-ALONE FIXTURES ARE SPECIFIED.
- DRAPERIES AND OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT. CERTIFICATION THEREOF SHALL BE PROVIDED. EXITS, EXIT LIGHTS, FIRE ALARM STATIONS, HOSE CABINETS AND EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED BY DECORATIVE MATERIALS.
- STORAGE, DISPENSING, OR USE OF ANY FLAMMABLE, COMBUSTIBLE LIQUID, FLAMMABLE GASES, AND HAZARDOUS CHEMICALS SHALL COMPLY WITH 2010 CALIFORNIA BUILDING CODE REQUIREMENTS.
- ALL EXITS SHALL BE OPEN-ABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. REFER TO CHAPTER 10, SECTION 1004.3 OF THE 2010 CBC FOR EXCEPTIONS. ALL DOORS SHALL COMPLY WITH 2010 CBC SECTION 1003.1.1.
- TENANT IMPROVEMENTS IN HIGH-RISE BUILDINGS SHALL HAVE LIFE SAFETY SPEAKERS, WHICH ARE CLEARLY AUDIBLE. SPEAKERS SHALL BE TESTED IN THE PRESENCE OF A FIRE INSPECTOR PRIOR TO FINAL INSPECTION.
- COMPLIANCE TO CBC SECTION 1105.4.6 FOR HEARING IMPAIRED EMERGENCY SYSTEM WILL BE PROVIDED.
- PLANS OF AUTOMATIC SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION OF SYSTEMS. SUBMIT THREE (3) SETS OF PLANS TO THE BUILDING DEPARTMENT FOR APPROVAL.
- PROVIDE SUITE NUMBERS THREE (3) INCHES HIGH, WHICH SHALL BE PLAINLY VISIBLE FROM OUTSIDE THE SUITE.
- FIRE ALARM SYSTEM REQUIRED PER CURRENT ADOPTED C.F.C. AND SANTA ANA STANDARDS, NFPA #72.
- PLANS FOR BOTH ALARM AND THE SPRINKLER SYSTEM SHALL BE SUBMITTED (THREE COPIES) TO THE BUILDING DEPARTMENT FOR FIRE DEPARTMENT APPROVAL PRIOR TO INSTALLATION.
- A SIGN THAT READS "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" WITH A MINIMUM ONE (1) INCH LETTERS SHALL BE PROVIDED ADJACENT TO EXIT DOORS.
- THE PATH OF TRAVEL (AT HARBOR CORPORATE PARK) FROM THE PARKING SPACE TO THE PRIMARY ENTRANCE TO THE TENANT SUITE (REMODELED AREA) CURRENTLY HAS DISABLED ACCESS. THE EXISTING DRINKING FOUNTAINS, RESTROOMS, AND TELEPHONES SERVING THE TENANT'S FLOOR ARE ALSO ACCESSIBLE.



LEGAL DESCRIPTION

PARCEL NUMBER: 414-261-07

LEGAL DESCRIPTION: P BK 198 PG 1 PAR 3

NOTE:
 *TENANT IS REQUIRED TO APPLY FOR CERTIFICATE OF OCCUPANCY WITH CITY OF SANTA ANA, BEFORE BUILDING PERMIT CAN BE ISSUED.
 *IT IS THE TENANT'S RESPONSIBILITY TO NOTIFY VENDORS THAT THE CITY OF SANTA ANA BLDG. DEPT. REQUIRES A PERMIT FOR ANY INSTALLATION OF LOW VOLTAGE SYSTEMS OR FURNITURE SYSTEMS REQUIRING POWER.

PROJECT TEAM

OWNER: ARDEN REALTY
 11601 WILSHIRE BLVD., 4TH FLOOR
 LOS ANGELES, CA 90025
 (310) 966-2655 PHONE
 (310) 861-8281 FAX
 DYANA ELAM, ASST. PROPERTY MANAGER
 DYANA@ARDENREALTY.COM

ARCHITECT: SPACES
 17780 FITCH, SUITE 150
 IRVINE, CALIFORNIA 92614
 (949) 724-1499 PHONE
 (949) 724-1490 FAX
 RANDALL PATRICK
 RAND@SPACES-OC.COM

GENERAL CONTRACTOR: ADVANCED BUILDERS
 359 SAN MIGUEL, SUITE 207
 NEWPORT BEACH, CA 92660
 (949) 760-1146 PHONE
 (949) 760-1107 FAX
 JAMES SCHIERMEYER
 ADVBUILD@EARTHLINK.NET

ELECTRICAL ENGINEER: HACKNEY ELECTRIC, INC.
 23286 ARROYO VISTA
 RANCHO SANTA MARGARITA, CA 92688
 (949) 264-4000 PHONE
 (949) 264-4011 FAX
 GUY ZINN
 GUY@HEIRSM.COM

MECHANICAL ENGINEER: COMPLETE THERMAL SERVICES
 11105 KNOTT AVE., SUITE E
 CYPRESS, CA 90630
 (714) 891-2265 PHONE
 (714) 891-2068 FAX
 DENNIS COHEN
 DENNIS@COMPLETETHERMAL.COM

PLUMBING ENGINEER: D & E PLUMBING, INC.
 1023 W. BRAIRDALE AVE.
 ORANGE, CA 92665
 (714) 974-4861 PHONE
 (714) 974-7213 FAX
 DAN BRADFORD
 DEPLUMBING@SBCGLOBAL.NET

STRUCTURAL ENGINEER: DTA ENGINEERING
 22952 MILLCREEK DR. STE. B
 LAGUNA HILLS, CA 92653
 (949) 597-2147 PHONE
 (949) 597-2148 FAX
 NARSING DASARI
 NARSING@DTACE.COM

FIRE SPRINKLERS: FIRE PROTECTION SPECIALISTS
 2810 E. MIRALOMA AVE.
 ANAHEIM, CA 92806
 (714) 635-6500 PHONE
 (714) 635-4422 FAX
 DAN
 DAN@FIREPROTECTIONSSPECIALISTS.COM

FIRE DEPARTMENT NOTES

APPROVED PLANS

CITY OF SANTA ANA REVISED

R. PL... Revision to 10174236

issued on 2-28-12.

KA 3-14-12

subject to -Fire -Police approval

APPROVED

DATE 3-14-12

SANTA ANA FIRE DEPT.

SCHEDULE & FIRE DEPARTMENT INSPECTIONS AND TESTS TO BE PROVIDED BY THE CONTRACTOR

7.5

PROJECT

OWNER: ARDEN REALTY
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 LOS ANGELES, CA 90025
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 (310) 861-8281 FAX
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 DYANA@ARDENREALTY.COM

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 (714) 635-4422 FAX
 DAN
 DAN@FIREPROTECTIONSSPECIALISTS.COM

TENANT

TRAINING CONSULTANTS

SUITE 225

AGREED:
 ACCEPTED THIS DAY OF _____, 2012

TENANT: _____

BY: _____

TITLE: _____

COMMENTS:
 UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

REVISIONS

NO.	DESCRIPTION	DATE
1	Plan check correction MS&RP A-1, 2, 3, 4, 6, 5-1, 10	03.14.12
2	TENANT REVISIONS MS&RP A-1, 2, 3, 4, 6, 5-1, 10	03.07.12
3	TENANT REVISIONS MS/A-1, 3, 4	02.29.12
4	PLAN CHECK CORRECTIONS MS/A-0, A-1, A-5, A-6	02.13.12
5	DRAWING CLARIFICATIONS MS/SHEET A-4 HARDWARE	02.01.12
6	PLAN CHECK CORRECTIONS SHEET A-1 & A-3	01.31.12
7	TENANT REVISIONS/RP SHTS A-1, 2, 3, 4 & 6	01.25.12
8	PLAN CHECK SUBMITTAL	01.25.12
9	RELEASED FOR ENGINEERING	01.13.12

NO. DESCRIPTION DATE

REVISIONS

DRAWN MS/RP

DATE 10.06.11

CHECKED RP

PRINT DATE 01.20.12

RECEIVED

MAR 1 2012

City of Santa Ana

PROJECT DATA

BUILDING CODE: 2010 CBC AND TITLE 24

BUILDING OCCUPANCY: B

NUMBER OF STORIES: 2

CONSTRUCTION TYPE: V-B

BUILDING SQUARE FOOTAGE: 44,836 SF

APPROVED

DATE 3-14-12

SANTA ANA POLICE DEPT.

"Police Department" Final Inspection Required 027-5820

Uday Kumar

Don Williams

SHEET INDEX

A-0	COVER SHEET
ST-1	SITE PLAN
ST-2	TITLE 24 ACCESSIBLE PARKING DETAILS
RR-1	TITLE 24 ACCESSIBLE RESTROOM DETAILS
A-1	PARTITION/DEMOLITION PLAN
A-2	REFLECTED CEILING PLAN
A-3	TELEPHONE & ELECT. PLAN
A-4	DOOR SCHEDULE & FINISH PLAN
A-5	WALL DETAIL SHEET
A-6	MILLWORK, GLAZING, & SOFFIT DETAILS
S-1	(STRUCTURAL) NOTES, PARTIAL PLAN & DETAILS

ENGINEERING PLANS (IN SEPARATE SETS AT CITY):

E-1	GENERAL NOTES & SYMBOLS PLAN
E-1.1	TITLE 24 SHEETS PLAN
E-2	SINGLE LINE DIAGRAM & PANEL SCHED. PLAN
E-3	REFLECTED CEILING PLAN
E-4	TELEPHONE/ELECTRICAL PLAN
M-2	HVAC PLAN
P-1	PLUMBING NOTES, LEGEND & SPECS

*FIRE SPRINKLER DRAWINGS TO BE SUBMITTED SEPARATELY BY FIRE PROTECTION SPECIALISTS

INTERIOR PLANNING & DESIGN

SPACES

P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
 949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE

USABLE: 5,486 SF

SECOND FLOOR

COVER SHEET

Sheet Title

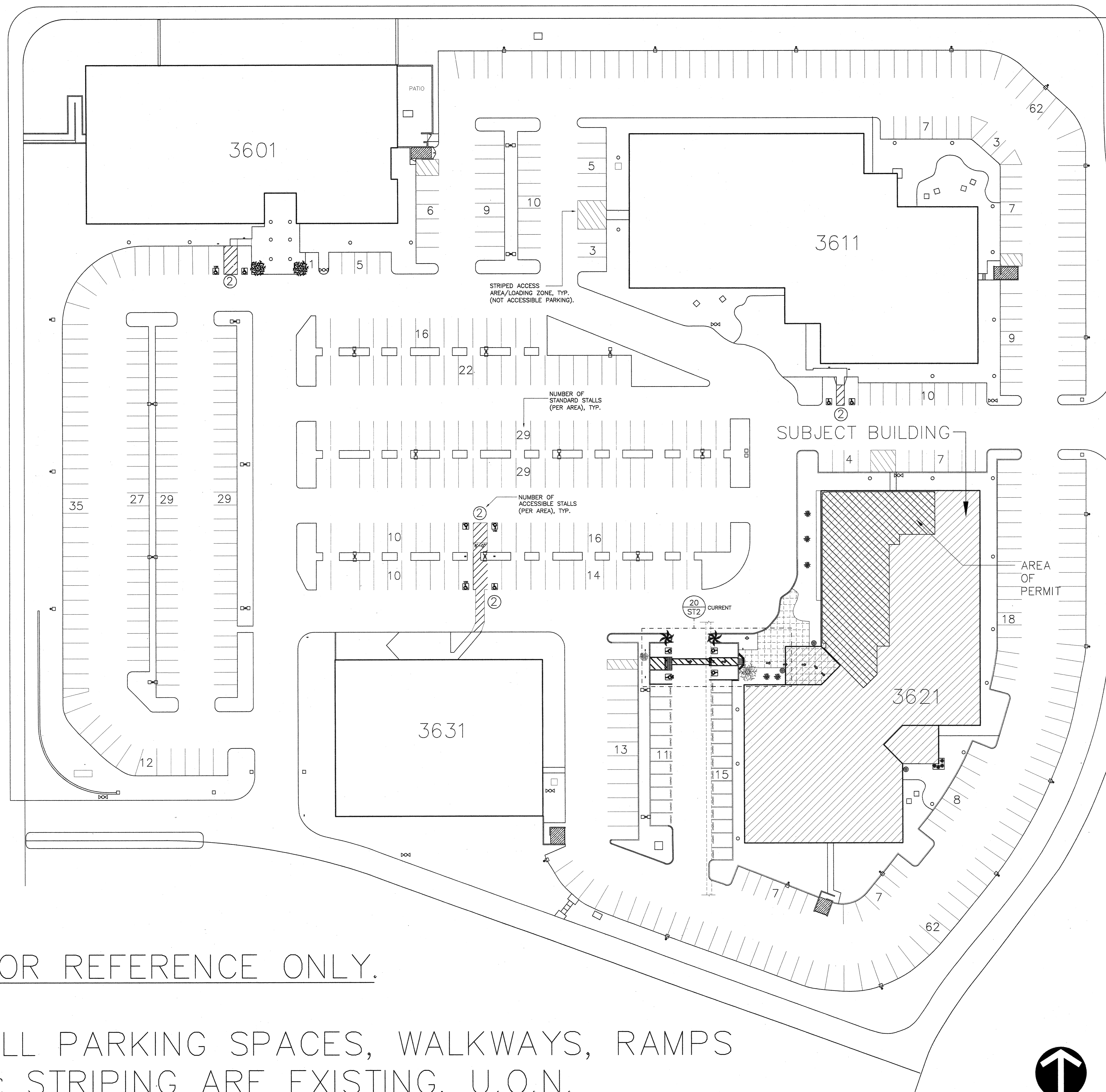
Project Number 2778.15

Sheet Number A-0

MAR 12 2012

LAKE CENTER DRIVE

HARBOR BLVD.

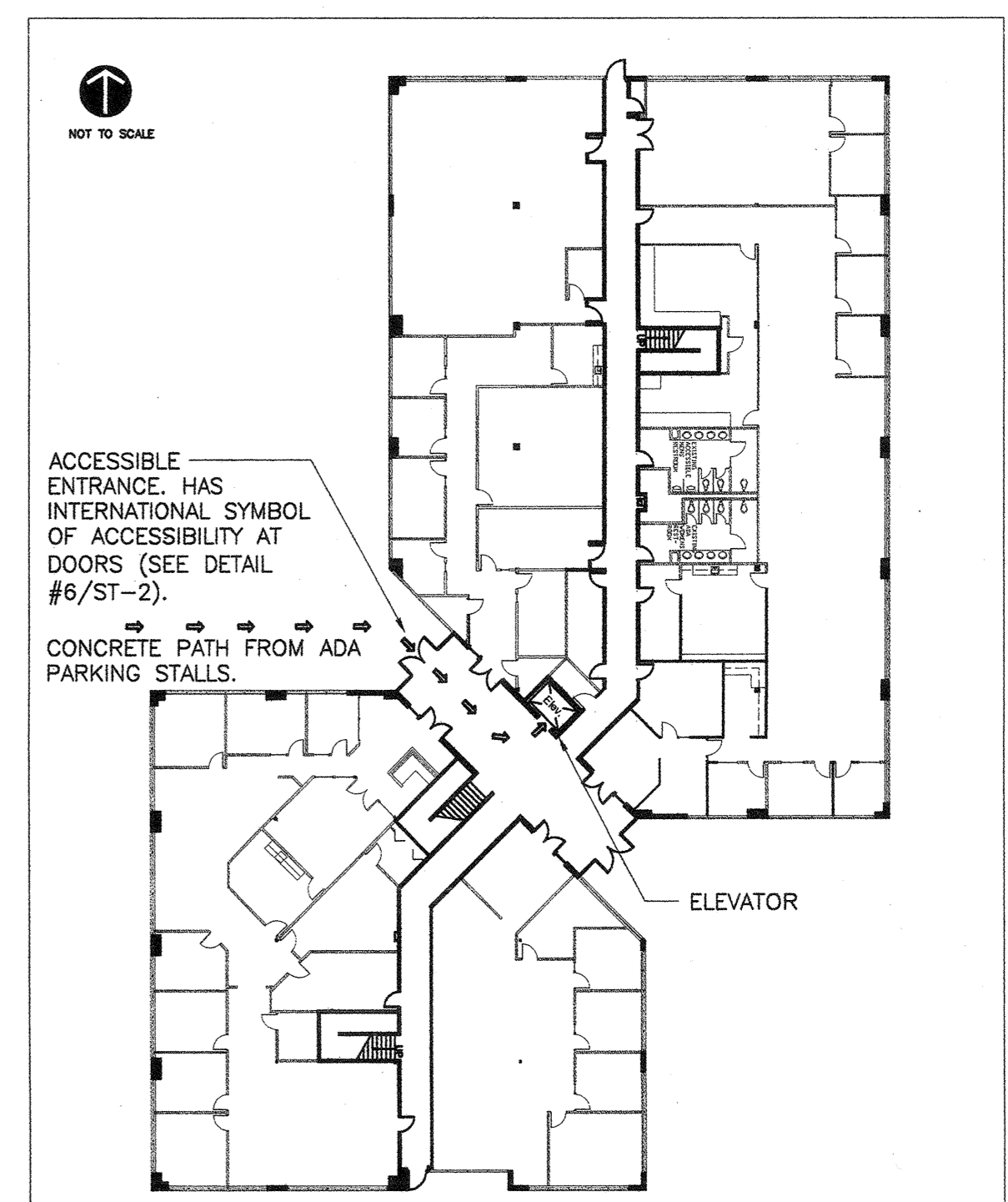


LEGEND

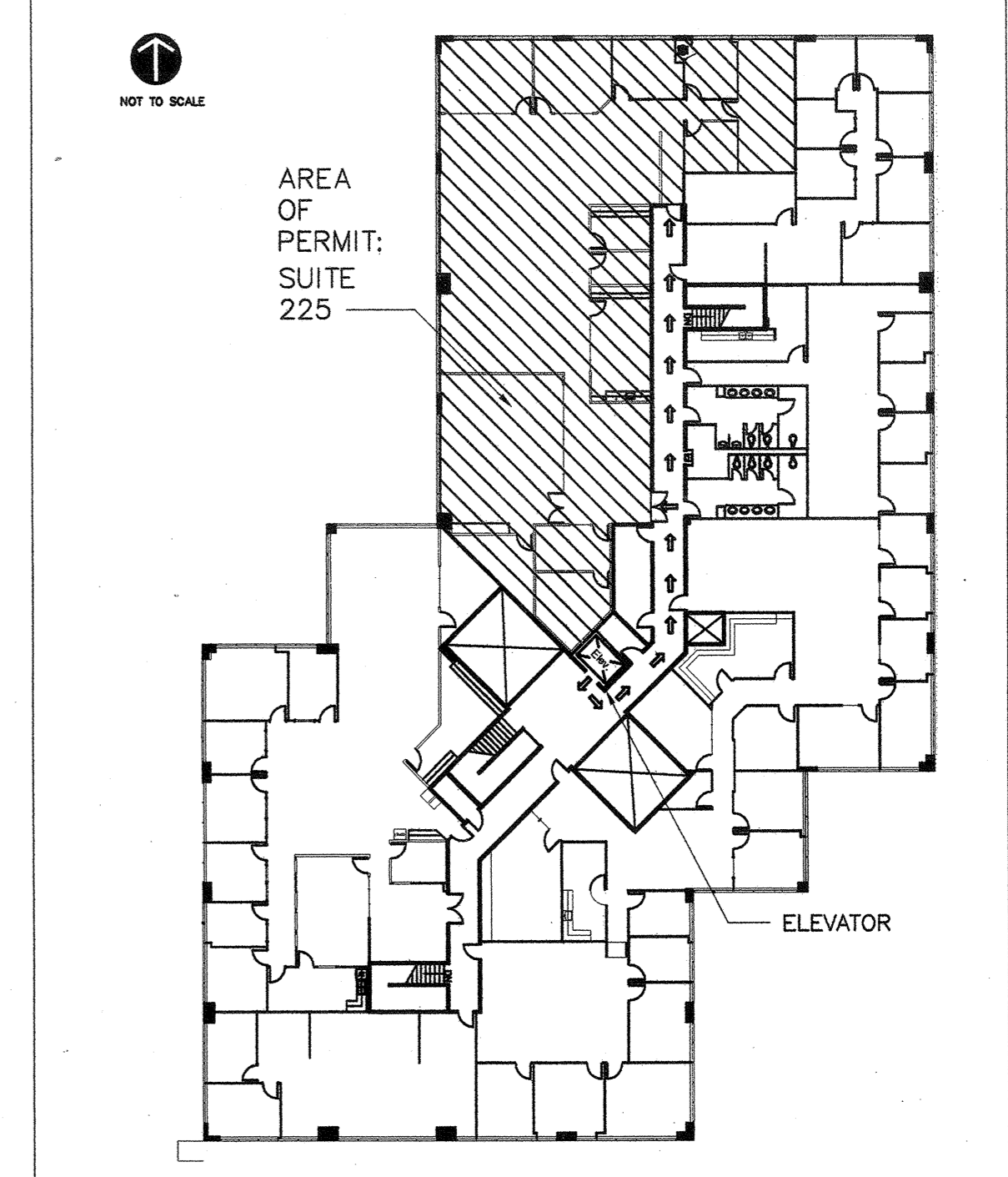
- SITE LIGHT FIXTURE
- ⊗ FIRE HYDRANT
- | SIGNAGE
- BOLLARD
- ⊠ TRANSFORMER
- ▨ TRASH ENCLOSURE

STANDARD ACCESSIBLE PARKING:	9
VAN ACCESSIBLE PARKING:	3
TOTAL ACCESSIBLE PARKING:	12
STANDARD STALLS:	567
TOTAL PARKING STALLS:	579

[TOTALS ABOVE INCLUDE 1 REGULAR ADA PARKING STALL ADDED PER RECENT SITE WORK AT BUILDING 3621 FOR BELMONT PUBLISHING IN JULY 2011.]



1ST FLR. ACCESSIBLE ROUTE



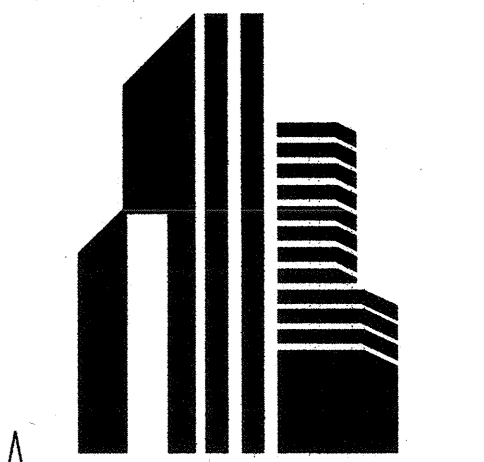
2ND FLR. ACCESSIBLE ROUTE

FOR REFERENCE ONLY.

ALL PARKING SPACES, WALKWAYS, RAMPS & STRIPING ARE EXISTING, U.O.N.



PROJECT



ARDEN REALTY, INC.

HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS

SUITE 225

AGREED:
ACCEPTED THIS DAY OF _____, 2012

TENANT:
BY: _____
TITLE: _____

COMMENT:
UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

THIS DRAWING AND/OR THE INFORMATION CONTAINED HEREIN IS THE PROPERTY OF SPACES AND THEIR USE AND REPRODUCTION IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF SPACES. ANY REPRODUCTION OR PUBLICATION OF THIS DRAWING IN WHOLE OR IN PART IS PROHIBITED EXCEPT BY WRITTEN PERMISSION FROM SPACES. TITLE TO THESE DRAWINGS AND/OR INFORMATION SHALL REMAIN WITH SPACES. NO LIABILITY SHALL BE ASSUMED BY SPACES FOR ANY DAMAGE OR LOSS OF PROFITS OR BUSINESS ARISING FROM THE USE OF THIS DRAWING WITHOUT THE EXPRESS WRITTEN CONSENT OF SPACES. THE USER SHALL CONSTITUTE FROM THIS DRAWING AS EVIDENCE OF ACCEPTANCE OF THESE RESTRICTIONS.

PLAN CHECK SUBMITTAL	01.23.12
RELEASED FOR ENGINEERING	01.13.12
NO. DESCRIPTION	DATE
REVISIONS	

CALIFORNIA COUNCIL FOR PROFESSIONAL DESIGNERS C C I D C REGISTERED PROFESSIONAL DESIGNER RANDOLPH S. PATRICK EXPIRES 1-31-13 NO. 1158802 VIKINGJIT20M	DRAWN	MS/RP
	DATE	10.06.11
	CHECKED	RP
	PRINT DATE	01.20.12

INTERIOR PLANNING & DESIGN
SPACES
P & D INC.
17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

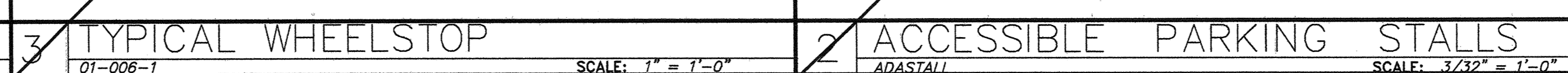
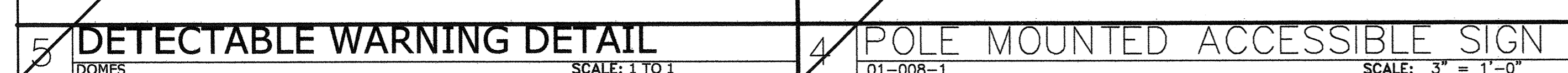
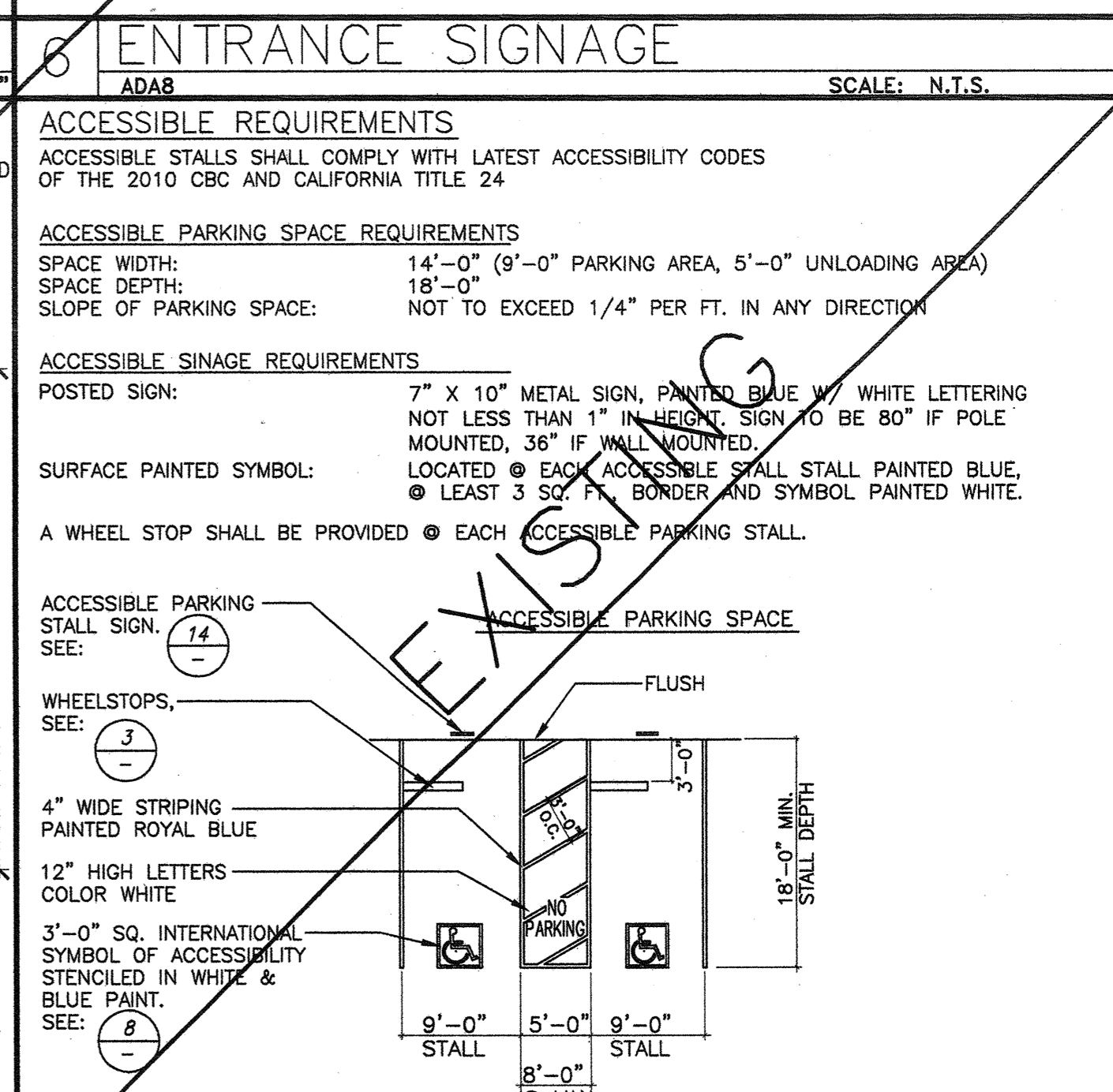
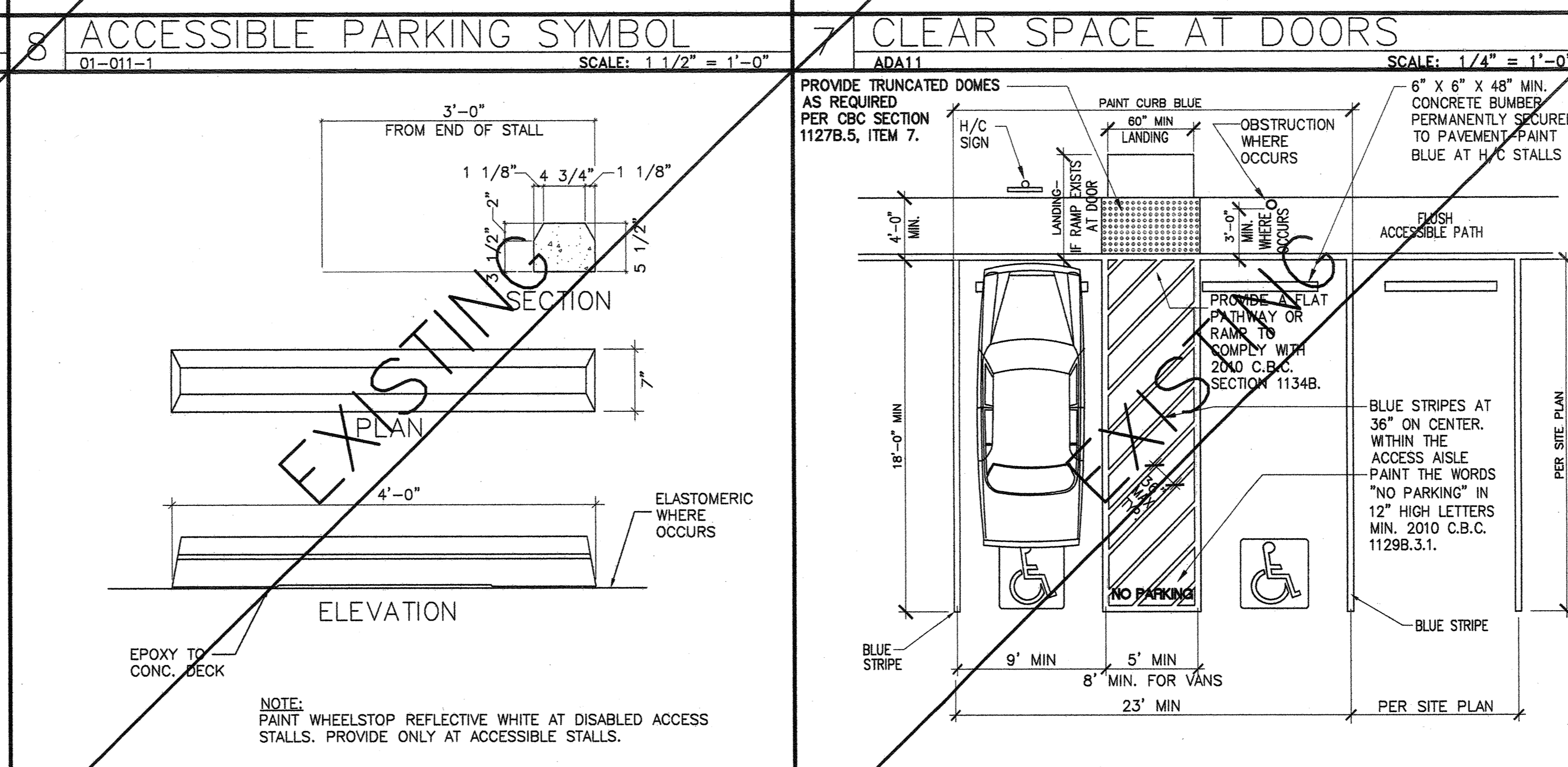
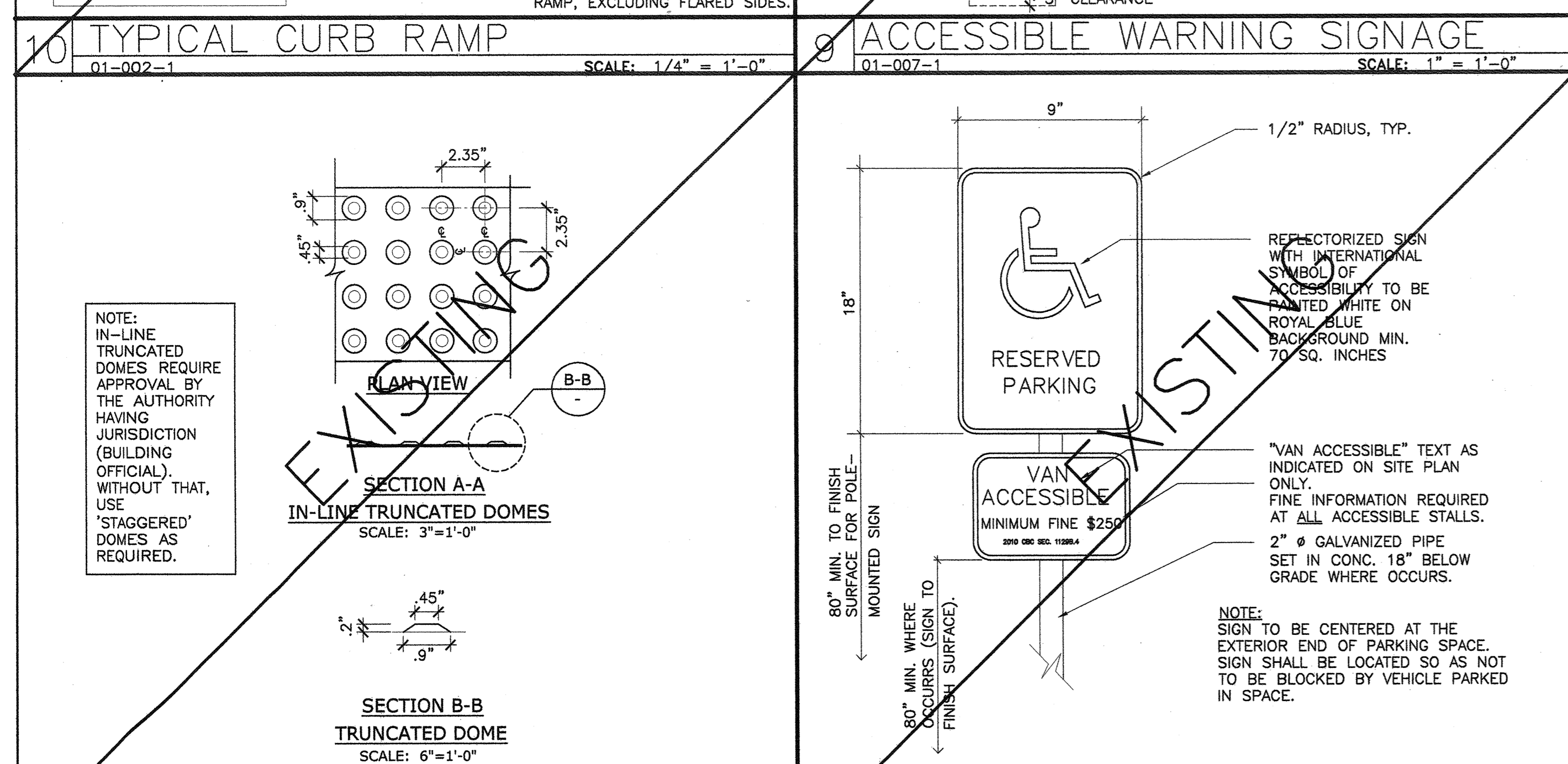
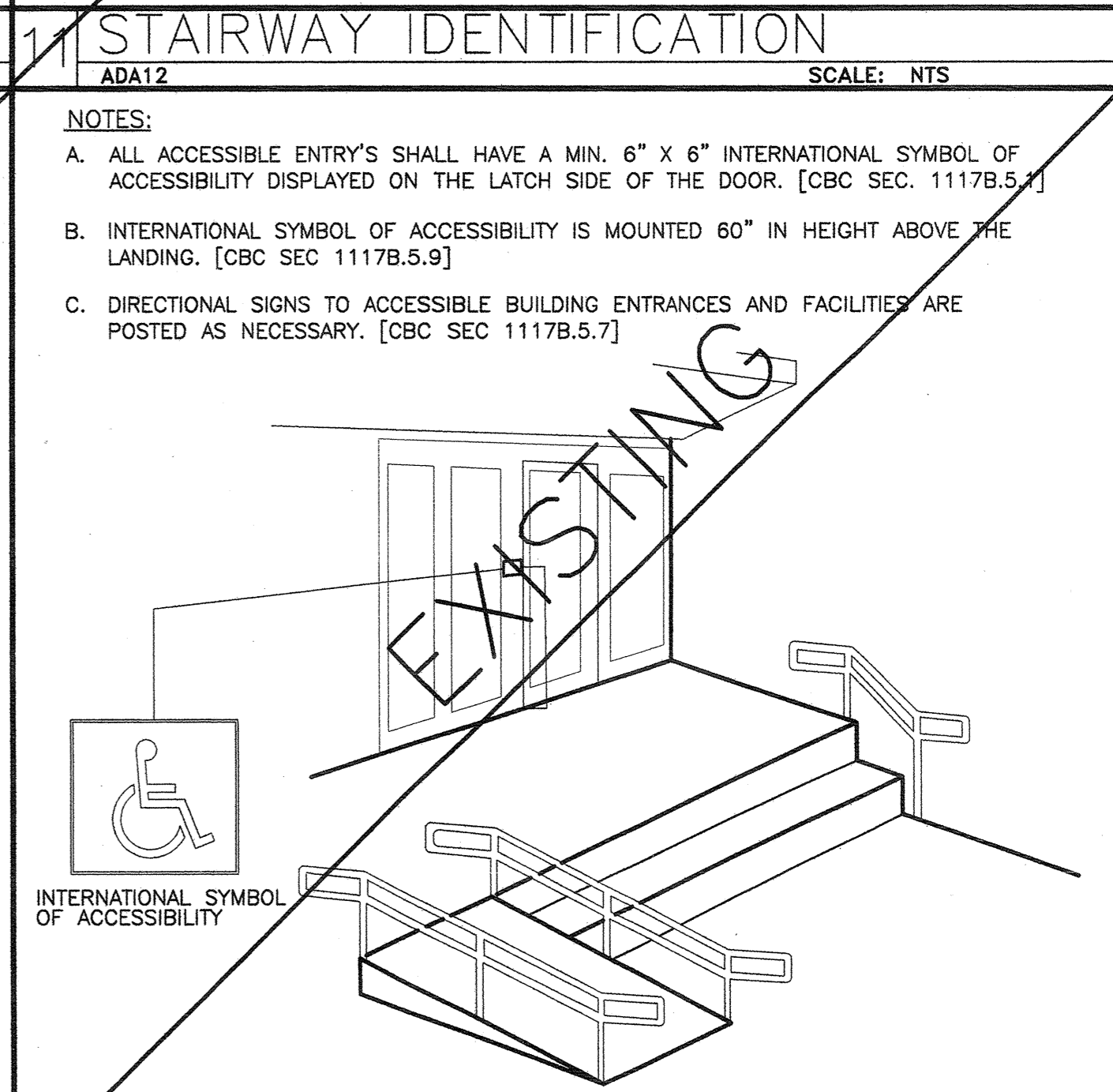
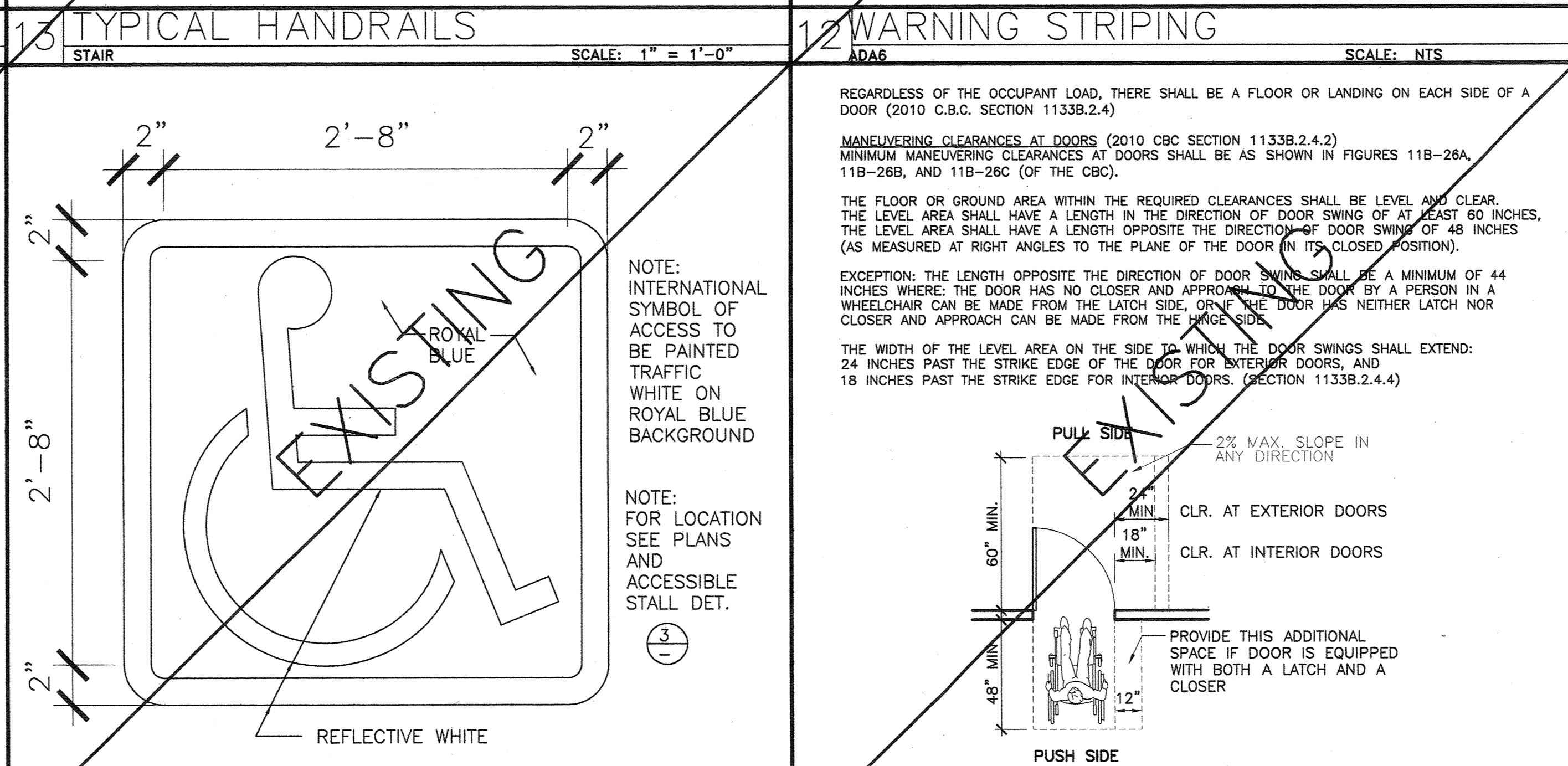
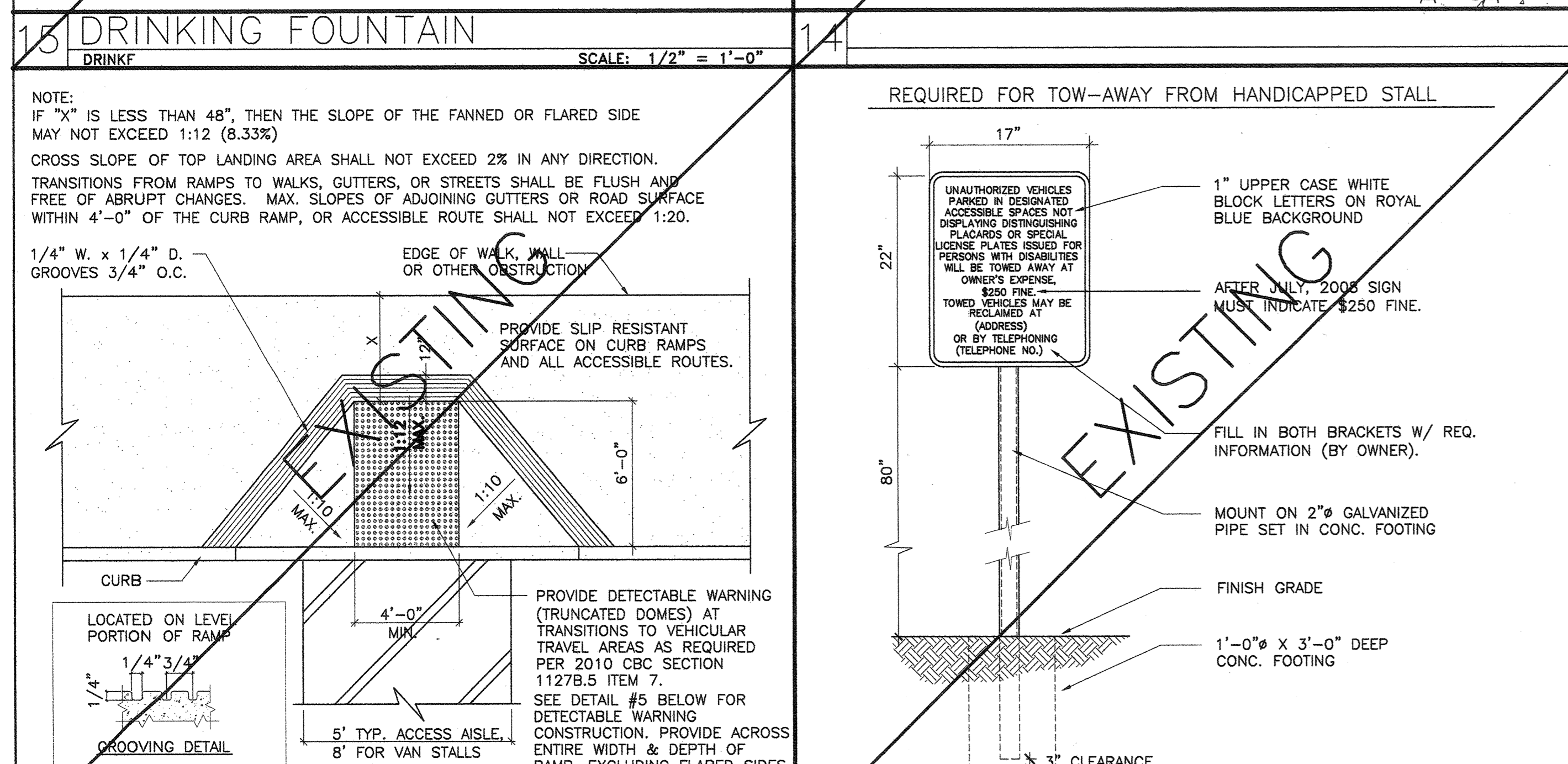
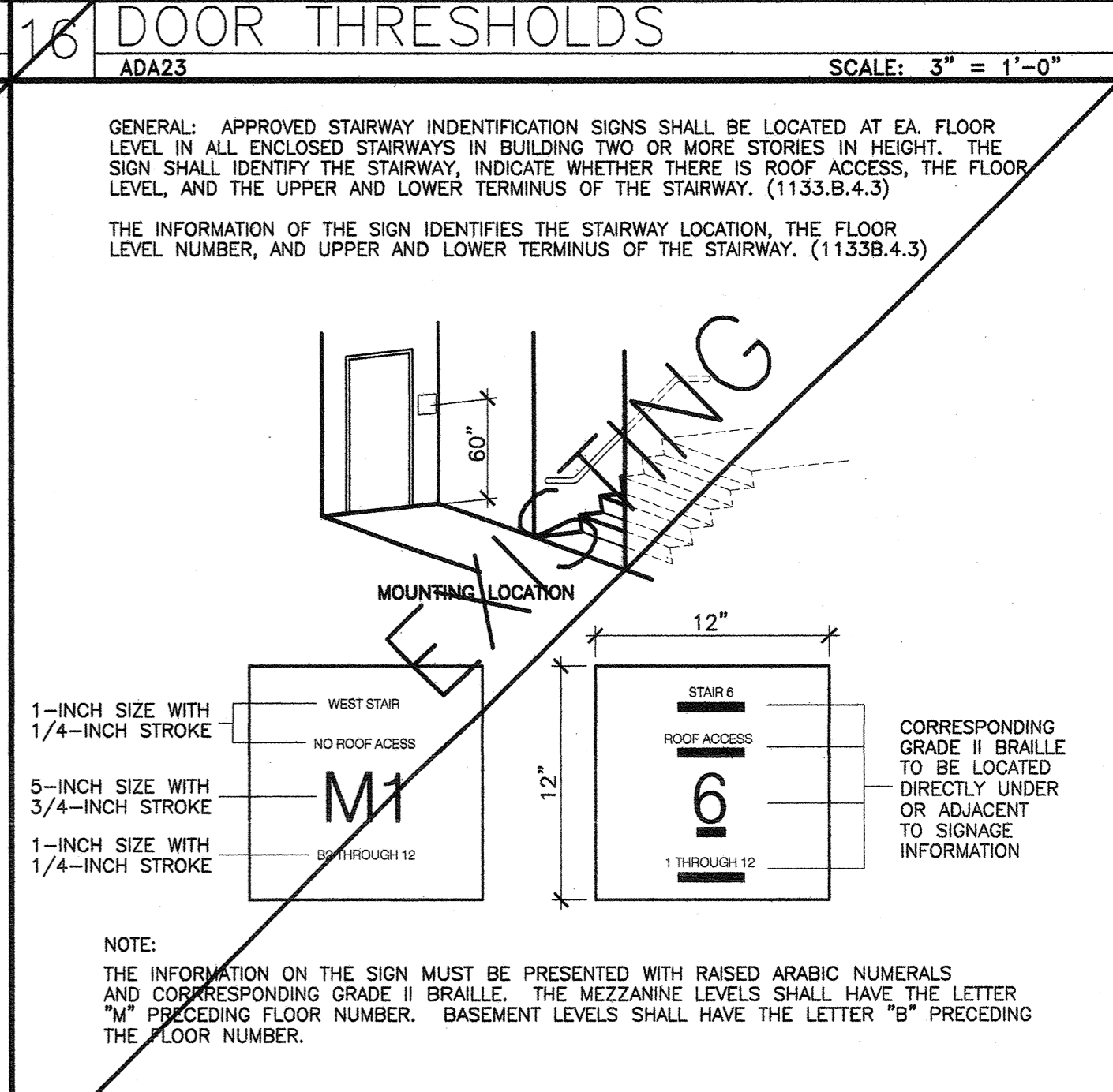
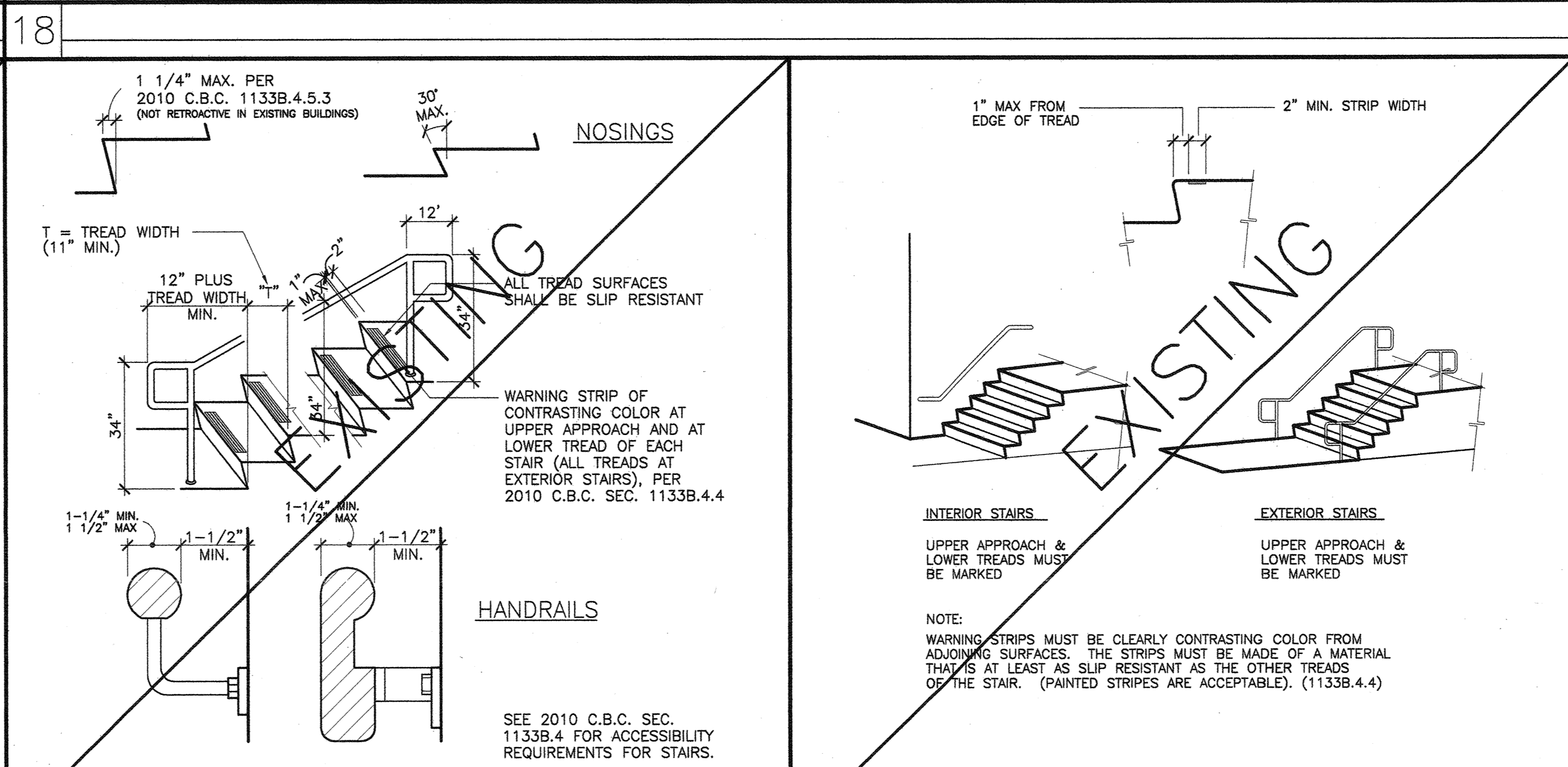
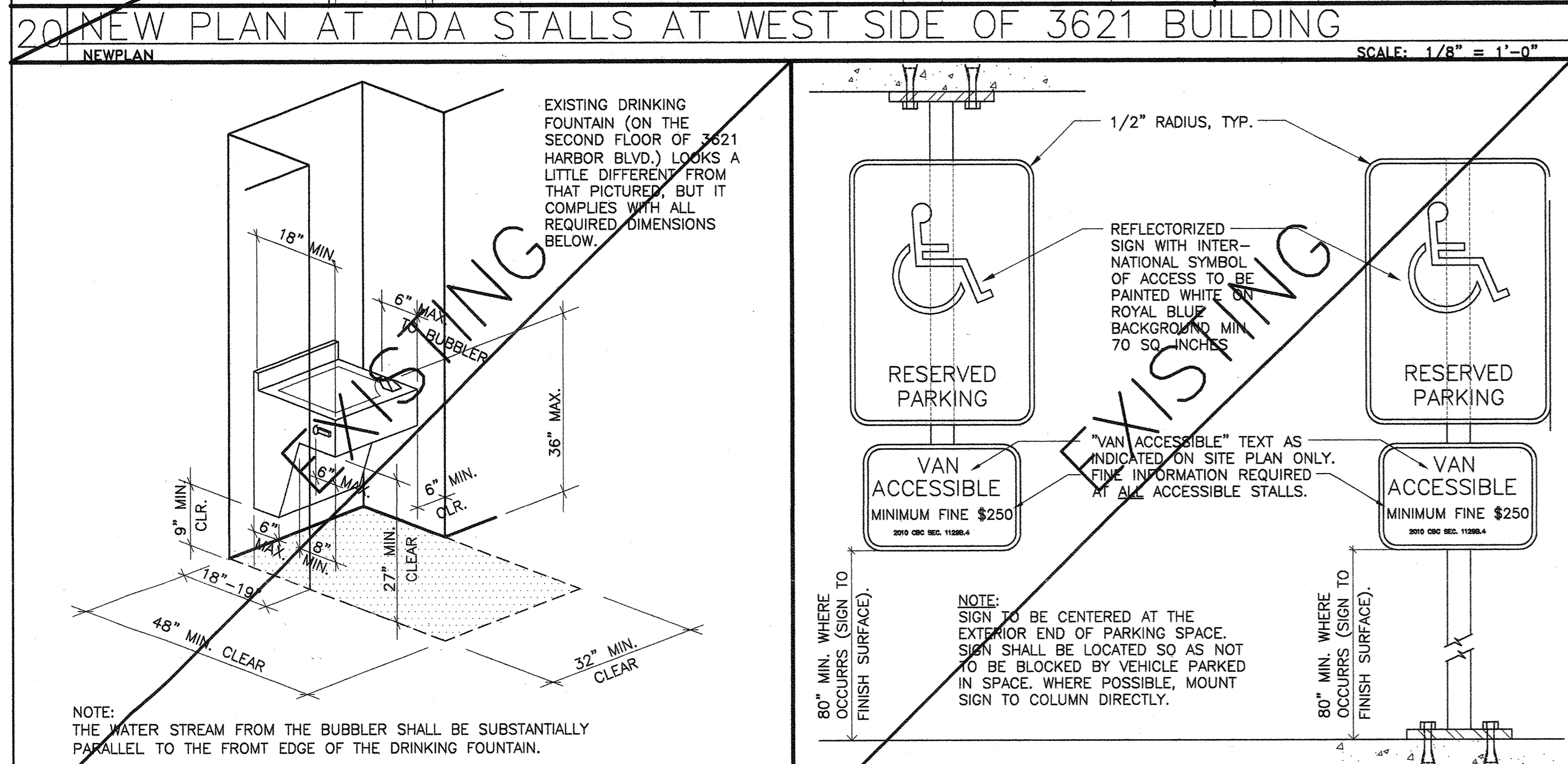
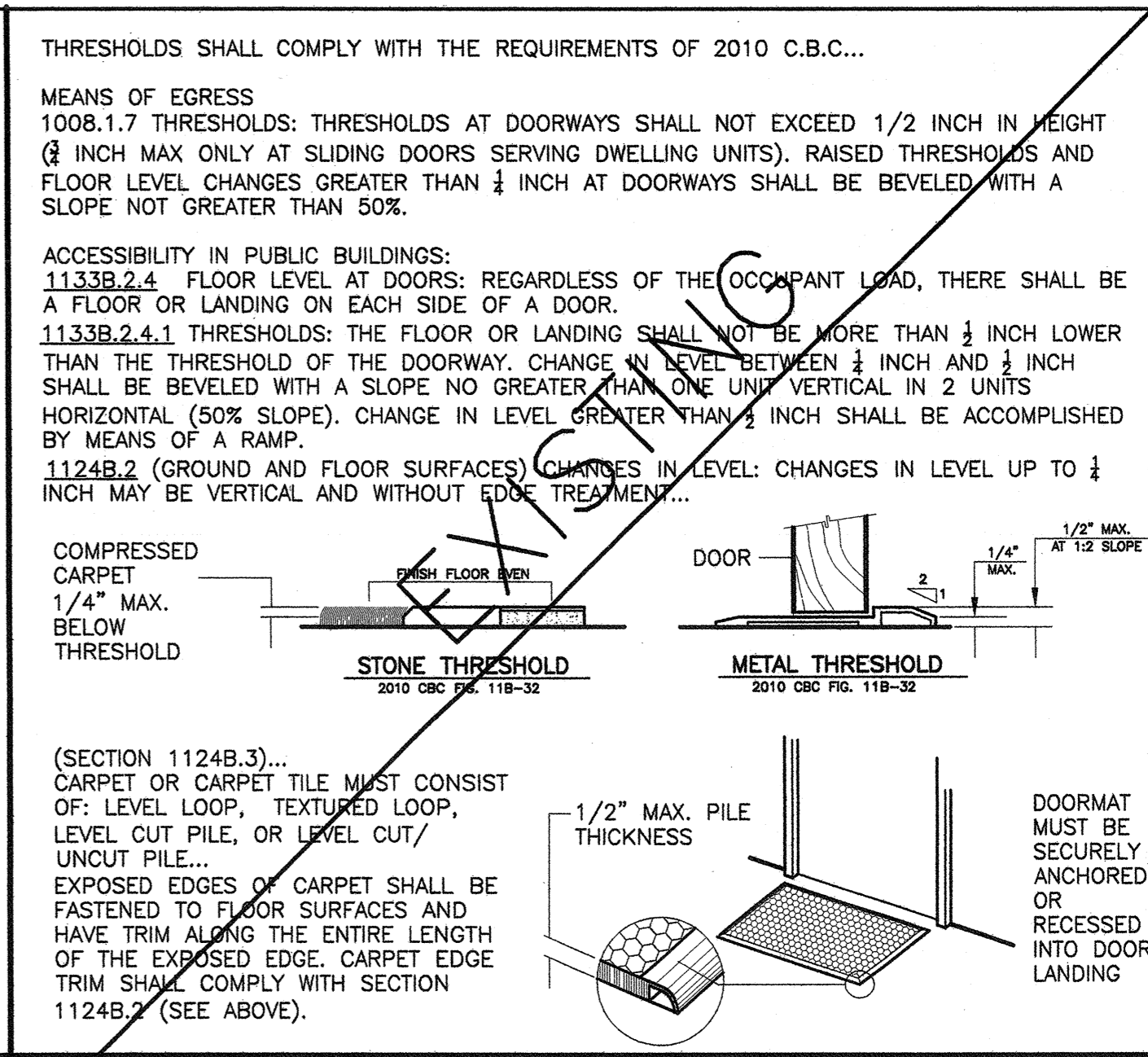
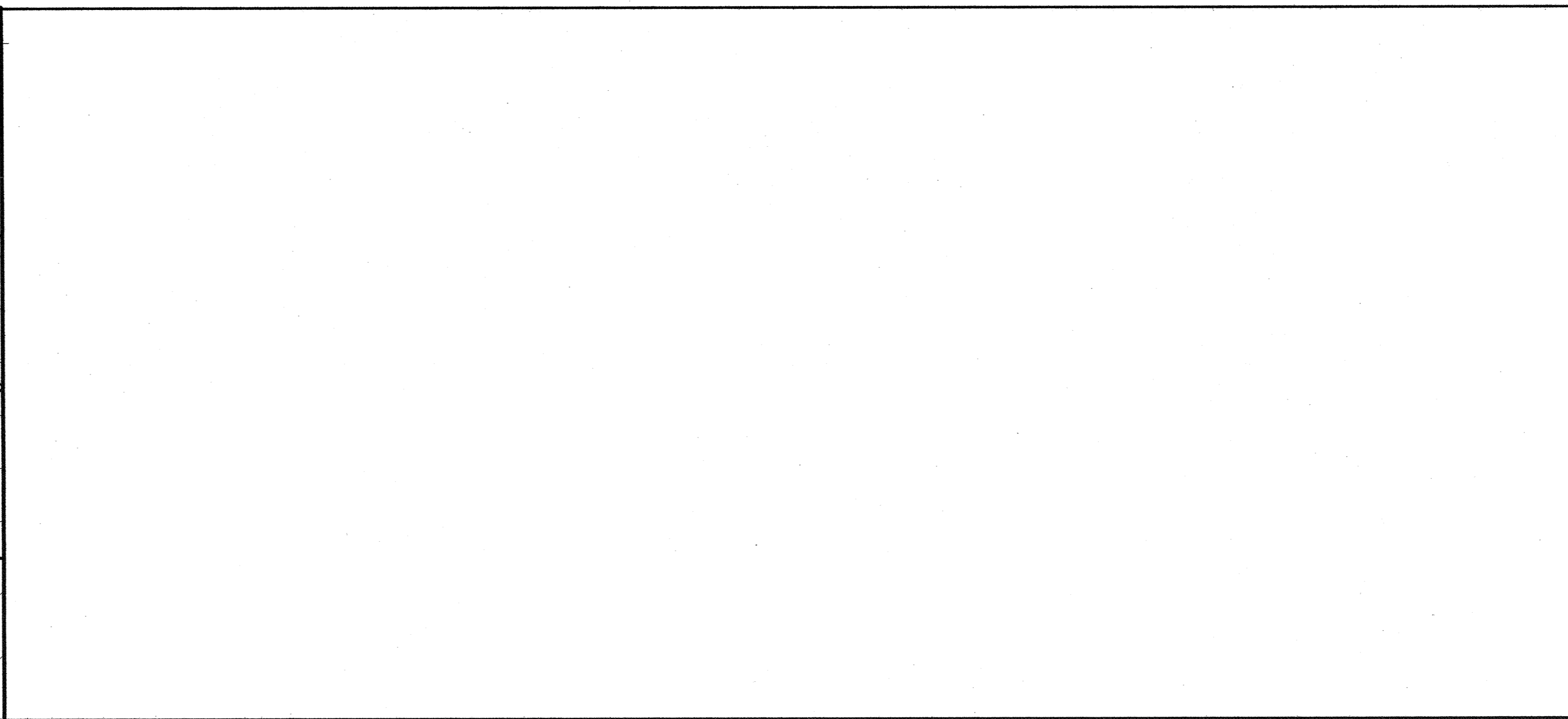
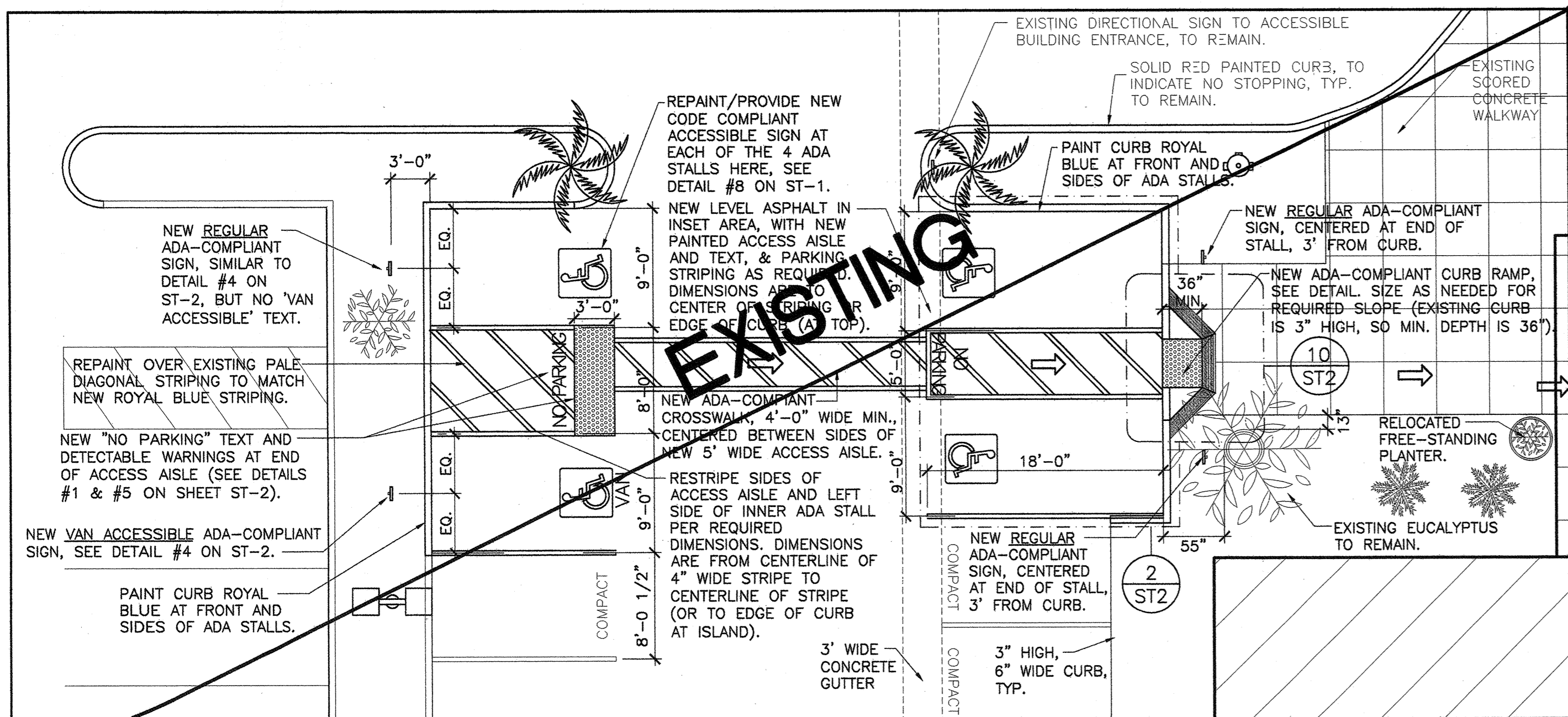
SQUARE FOOTAGE
USABLE: 5,486 SF

SECOND FLOOR
EXISTING SITE PLAN

Sheet Title

Project Number 2778.15

Sheet Number ST-1



PROJECT

ARDEN REALTY, INC.
 HARBOR CORPORATE PARK
 3621 SOUTH HARBOR BOULEVARD
 SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS
 SUITE 225

AGREED:
 ACCEPTED THIS DAY OF _____, 2012
 BY: _____
 TITLE: _____
 COMMENT:
 UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO SIGN MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

THESE DRAWINGS AND/OR THE ACCOMPANYING SPECIFICATIONS AS INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF SPACES AND THEIR USE AND REPRODUCTION IS LIMITED TO THE ORIGINAL SCOPE OF THE PROJECT FOR WHICH THEY WERE PREPARED. RE-USE, REPRODUCTION OR PUBLICATION OF ANY PORTION OF THESE DRAWINGS OR SPECIFICATIONS WITHOUT THE WRITTEN PERMISSION FROM SPACES, FILE TO THESE PLANS AND/OR SPECIFICATIONS SHALL BE CONSIDERED A VIOLATION OF THE PROFESSIONAL ETHICS OF THE REGISTERED PROFESSIONAL ARCHITECTURE BOARD OF CALIFORNIA. ACCEPTANCE OF THESE RESTRICTIONS.

PLAN CHECK SUBMITTAL	01.23.12
RELEASED FOR ENGINEERING	01.13.12
NO. DESCRIPTION	DATE
REVISIONS	
	DRAWN MS/RP
	CHECKED RP
	DATE 10.06.11
	PRINT DATE 01.20.12

INTERIOR PLANNING & DESIGN

17780 FITCH, SUITE 150 / IRVINE, CA 92614
 949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE
 USABLE: 5,486 SF

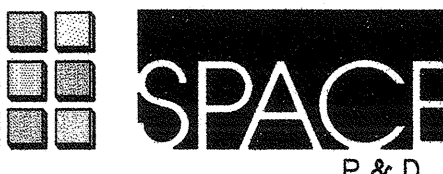
SECOND FLOOR
 ACCESSIBLE PARKING
 DETAILS

Sheet Title
 Project Number 2778.15
 Sheet Number ST-2

AGREED:
 ACCEPTED THIS DAY OF _____, 2012
 BY: _____
 TITLE: _____
 COMMENT: _____
 UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME. THE TENANT.

THIS SHEET IS FOR REFERENCE ONLY - RESTROOMS ARE EXISTING.

NO.	REVISIONS	DATE
1	PLAN CHECK SUBMITTAL	01.23.12
2	RELEASED FOR ENGINEERING	01.13.12

INTERIOR PLANNING & DESIGN

 17780 FITCH, SUITE 150 / IRVINE, CA 92614
 949.724.1499 / www.spaces-oc.com

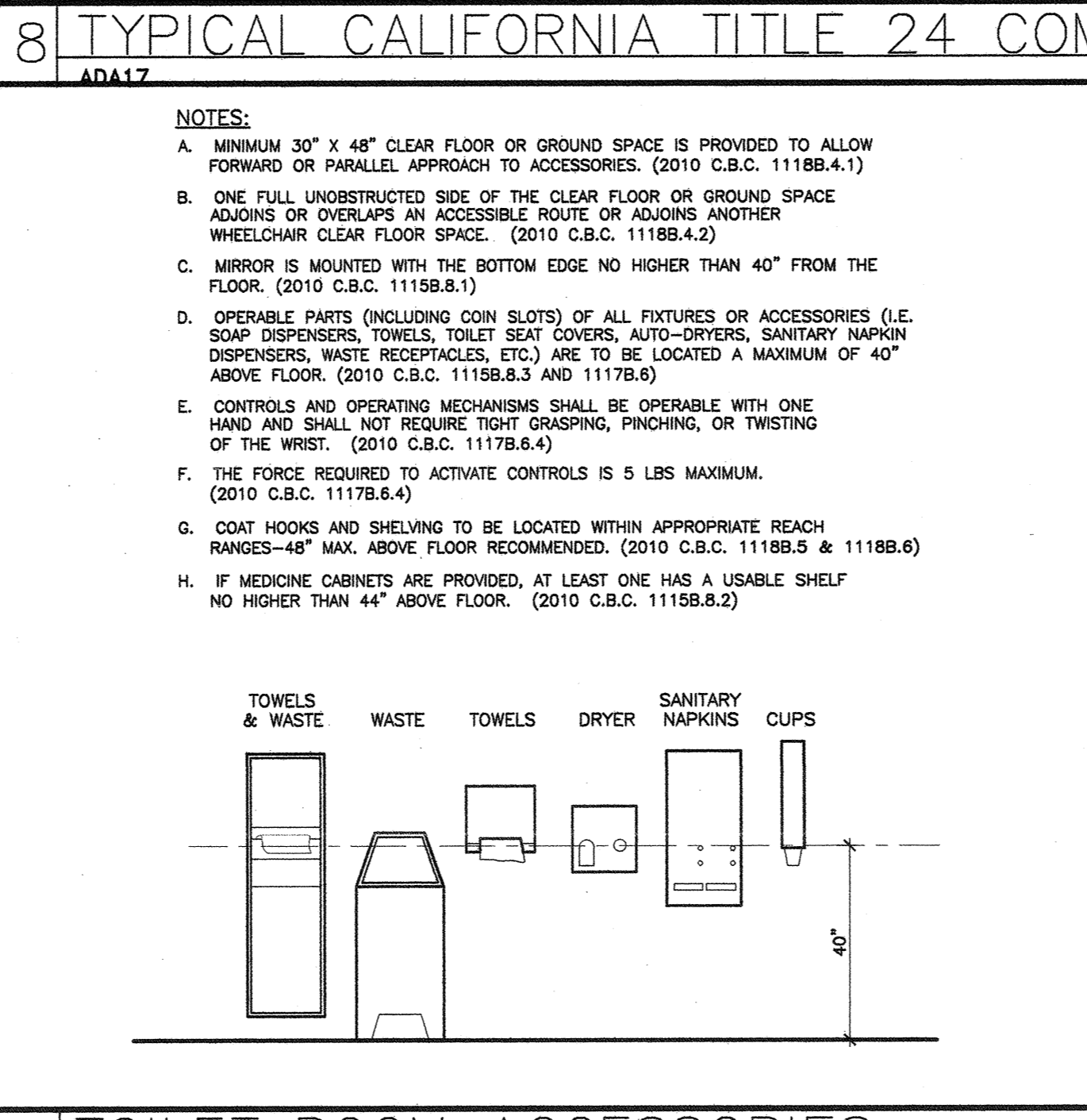
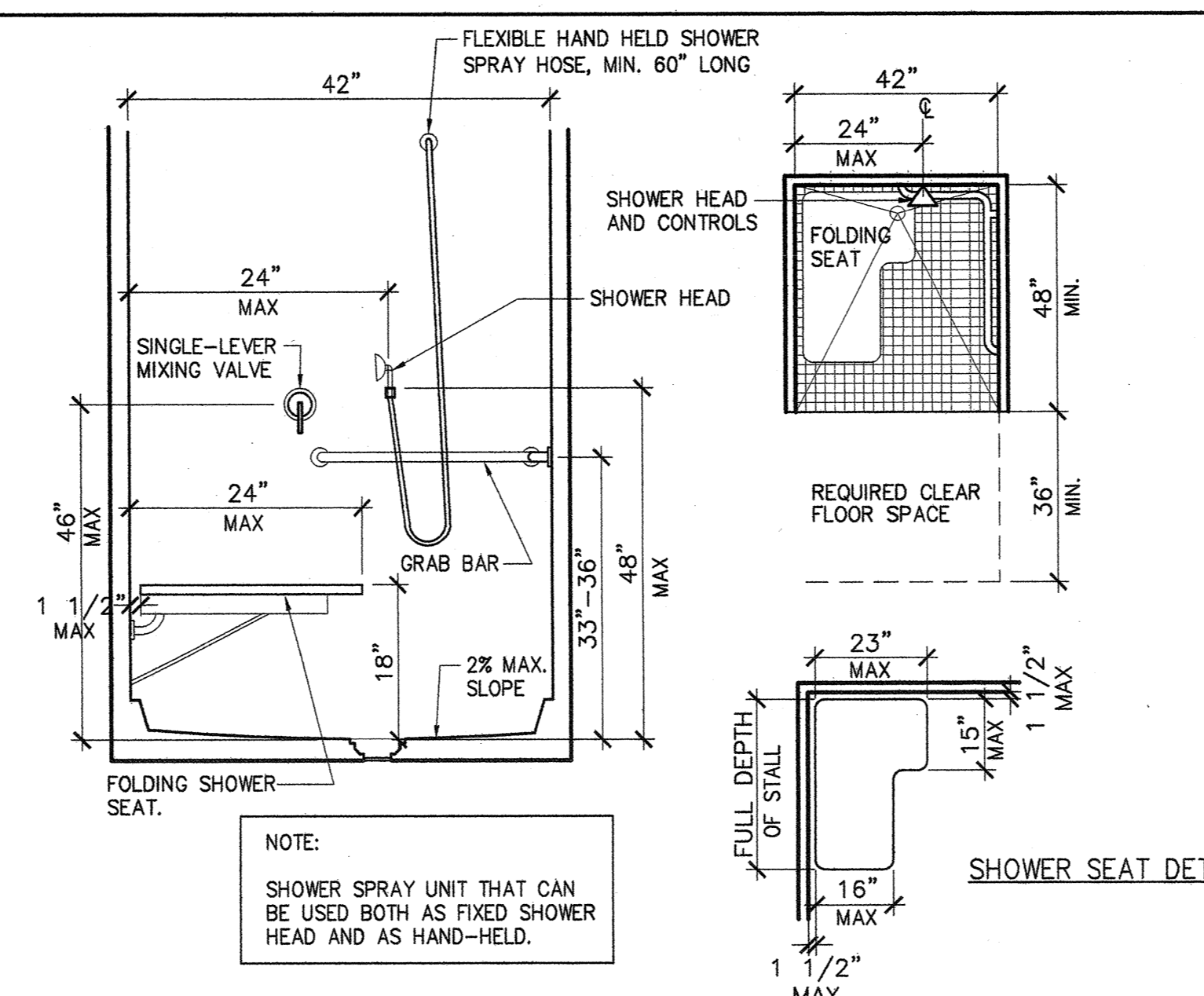
SQUARE FOOTAGE
 USABLE: 5,486 SF

SECOND FLOOR ACCESSIBLE RESTROOM DETAILS

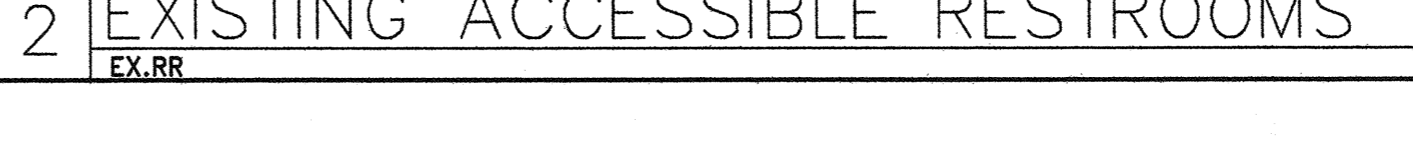
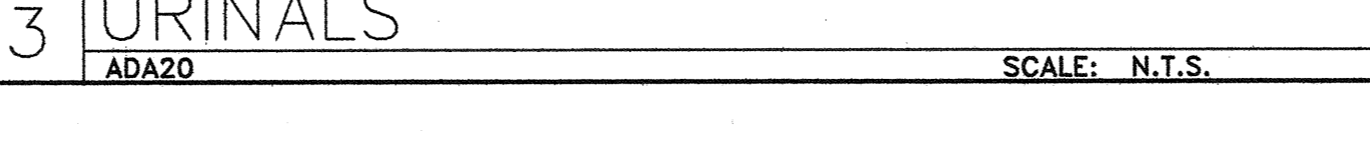
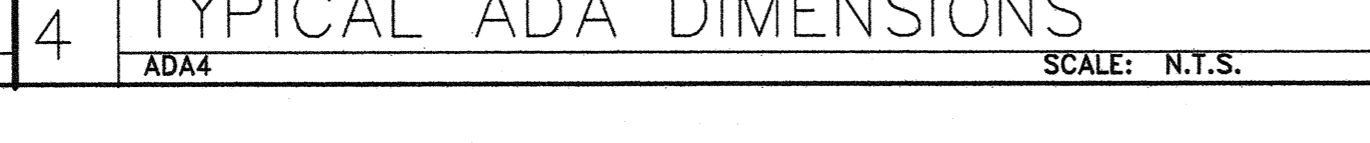
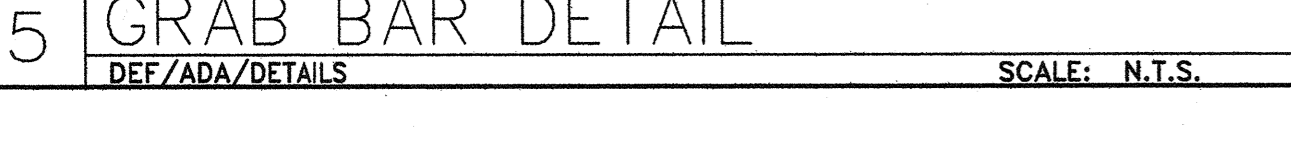
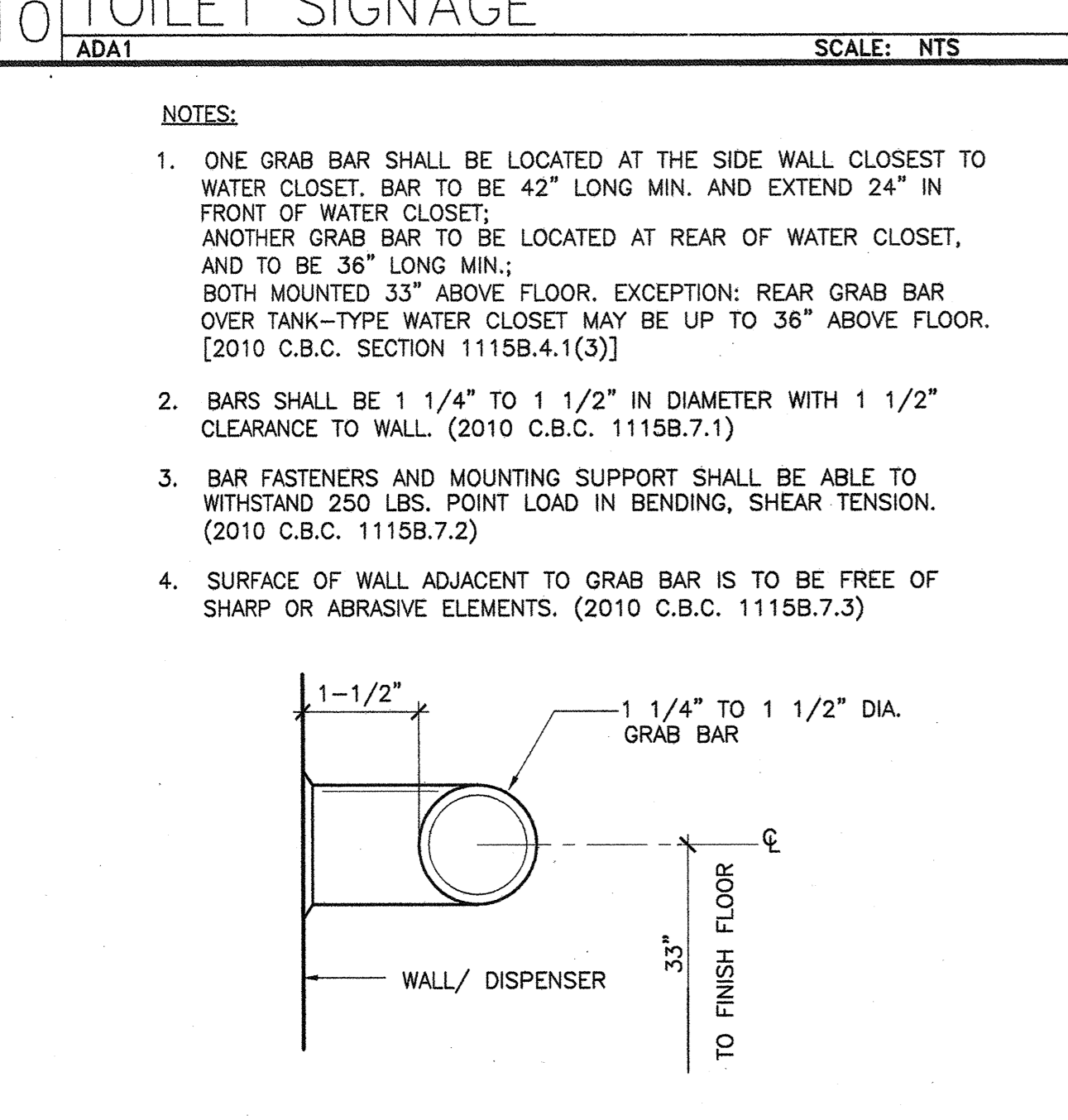
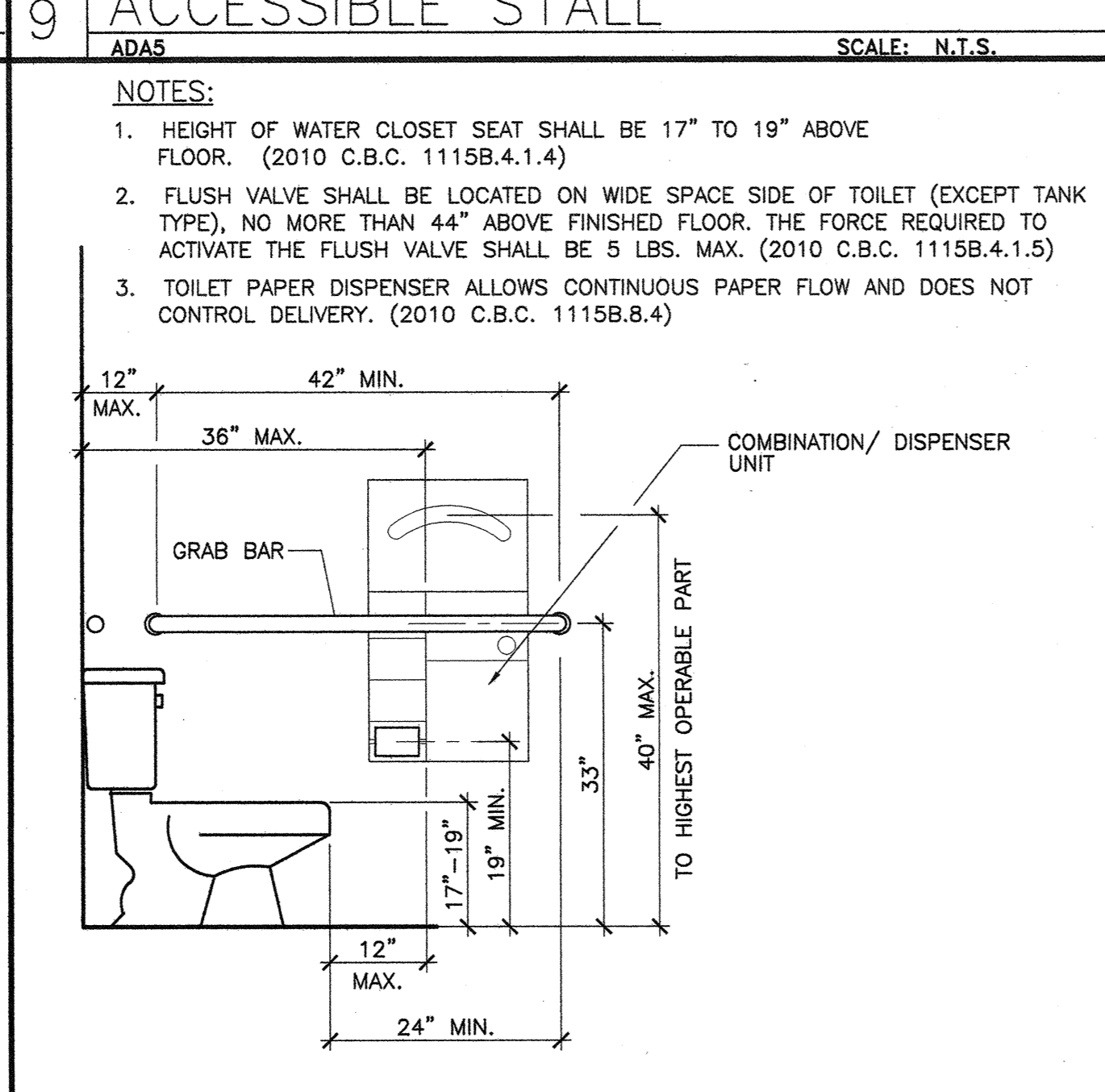
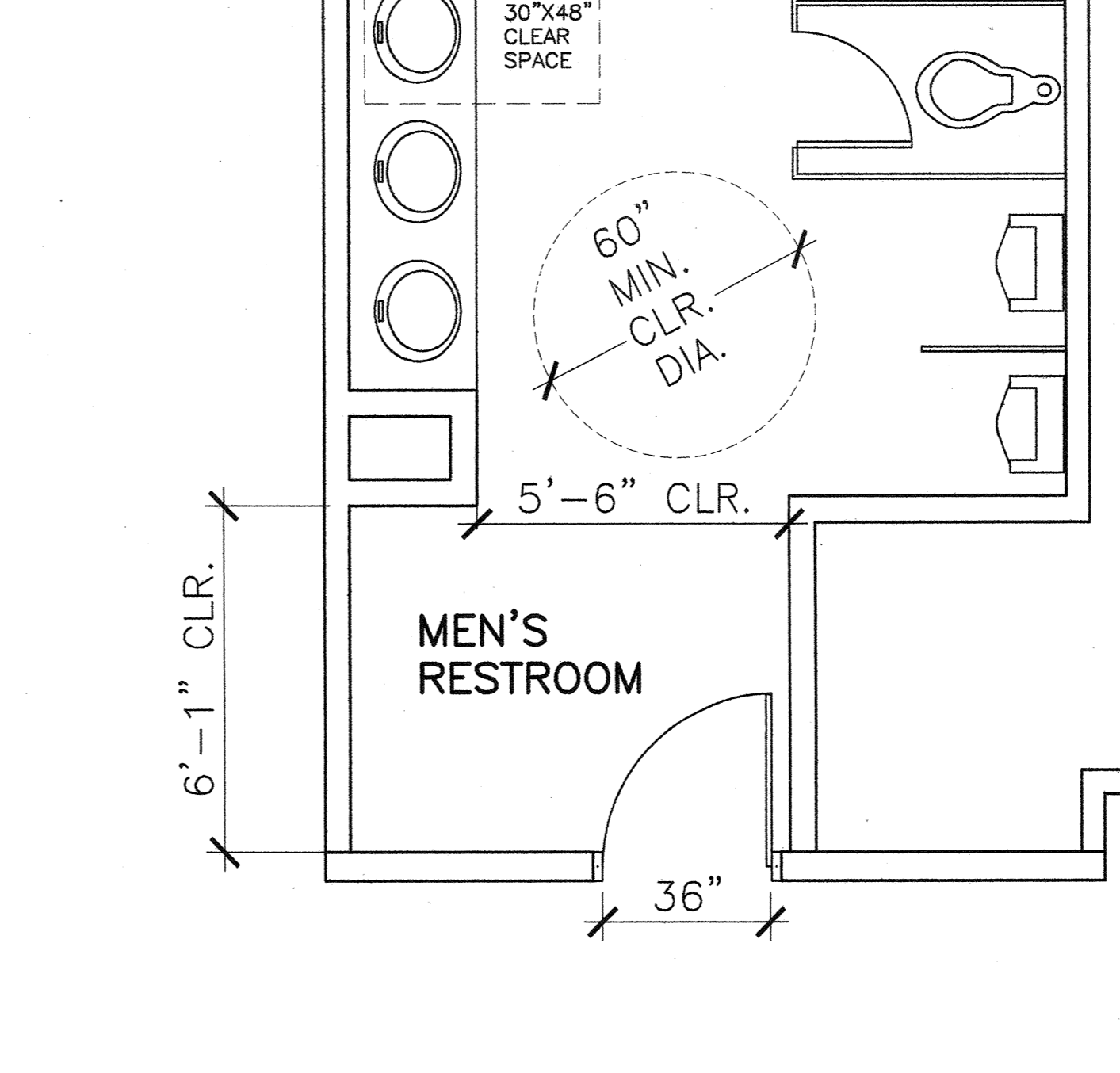
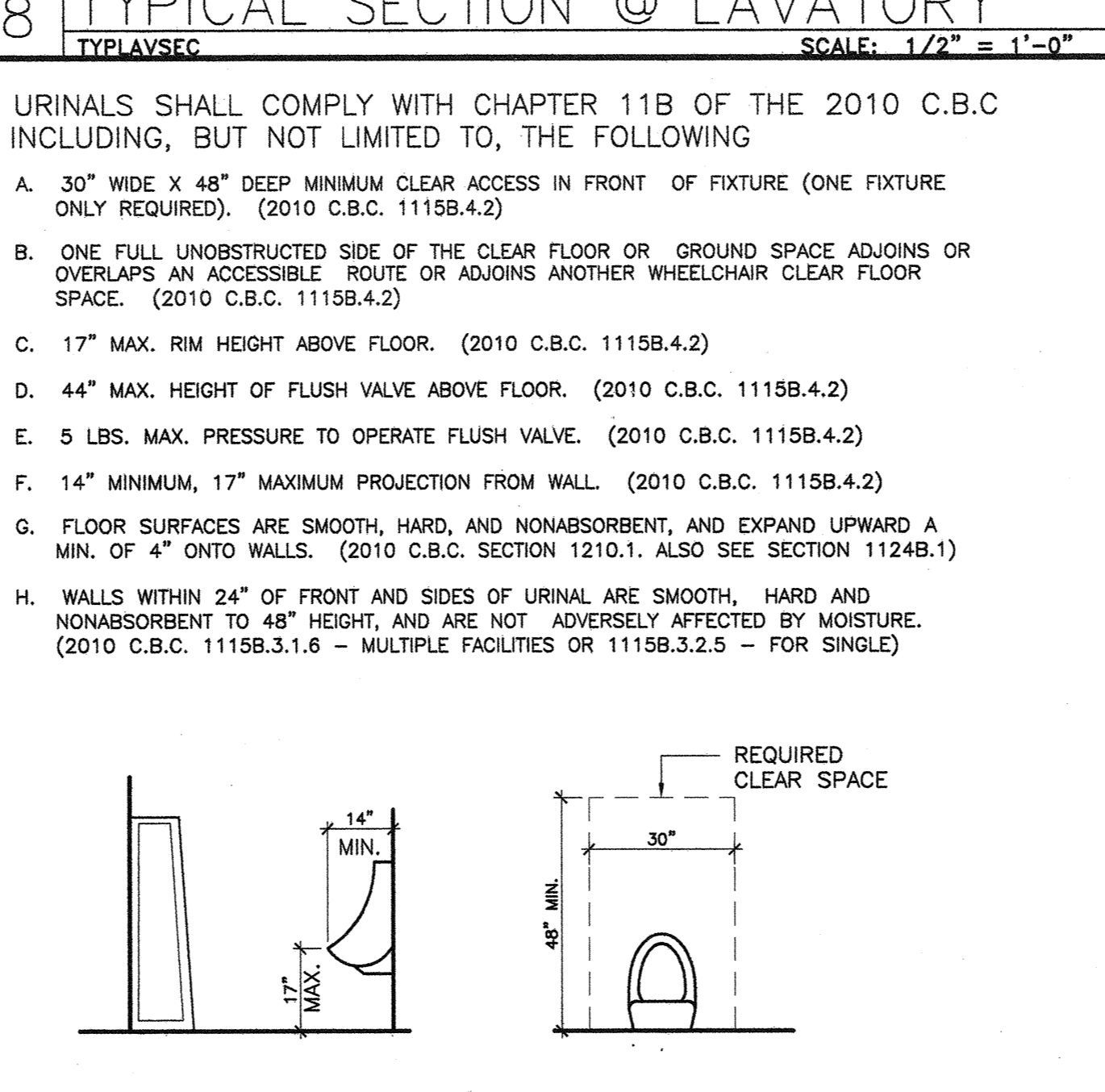
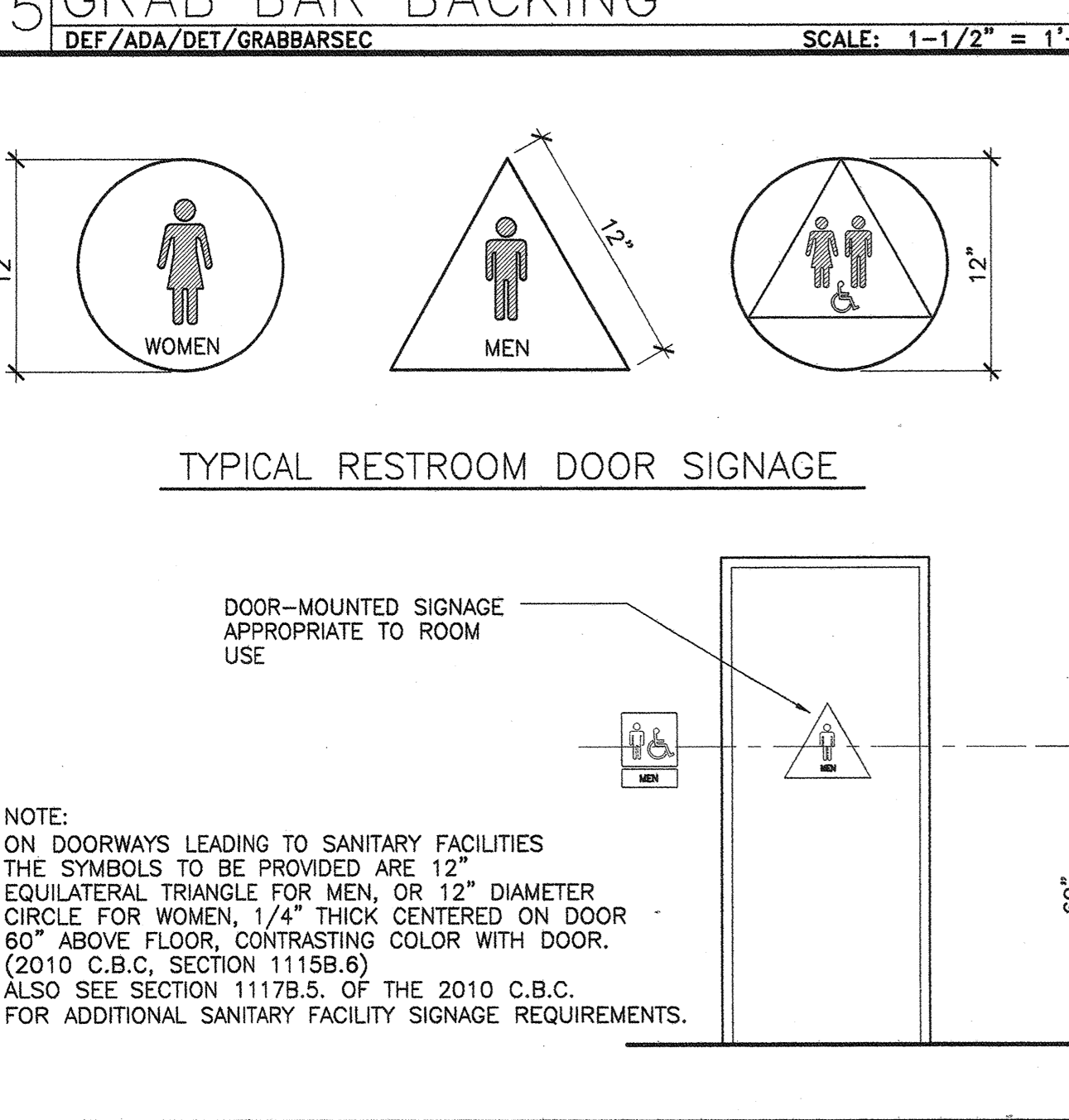
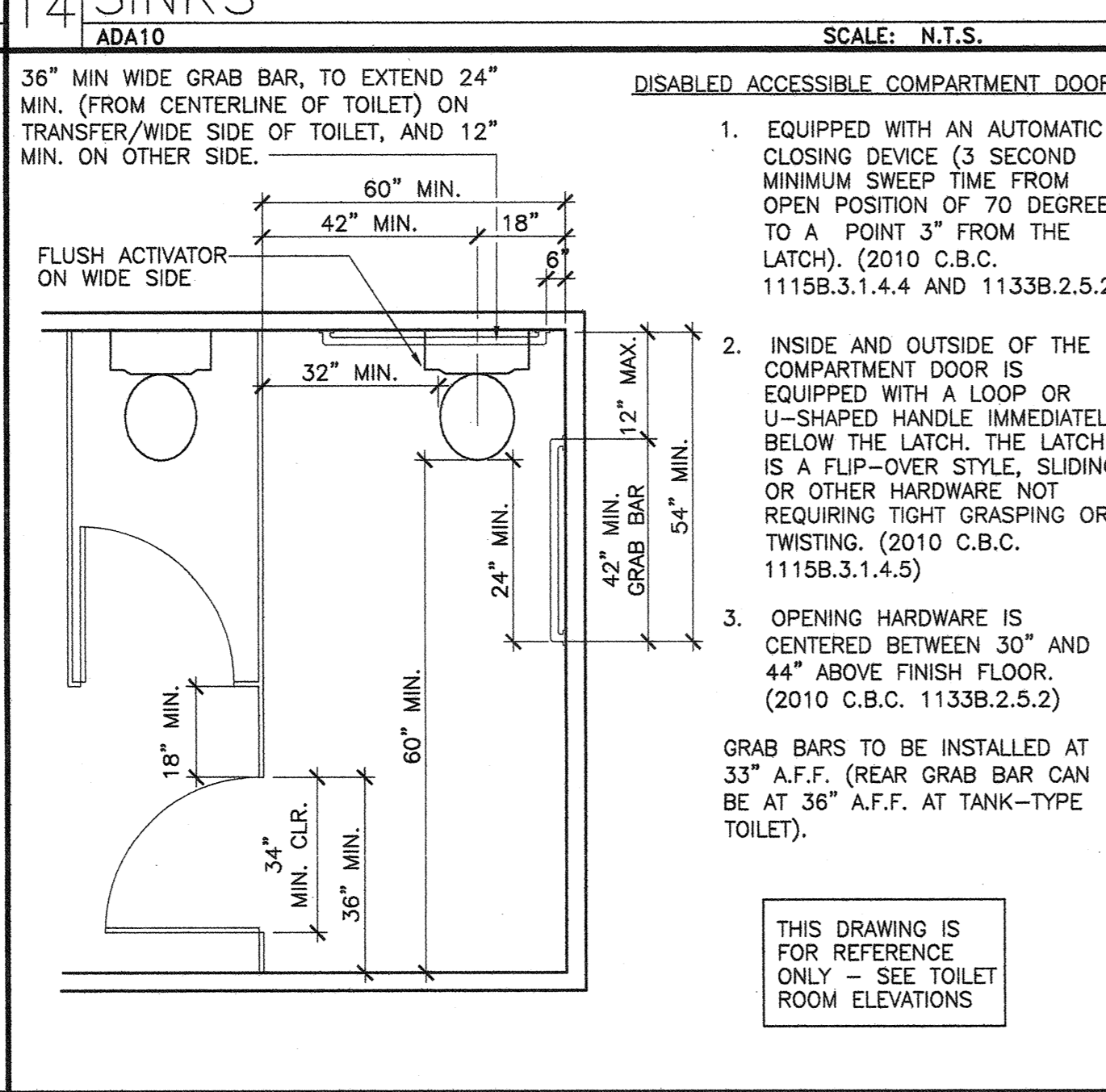
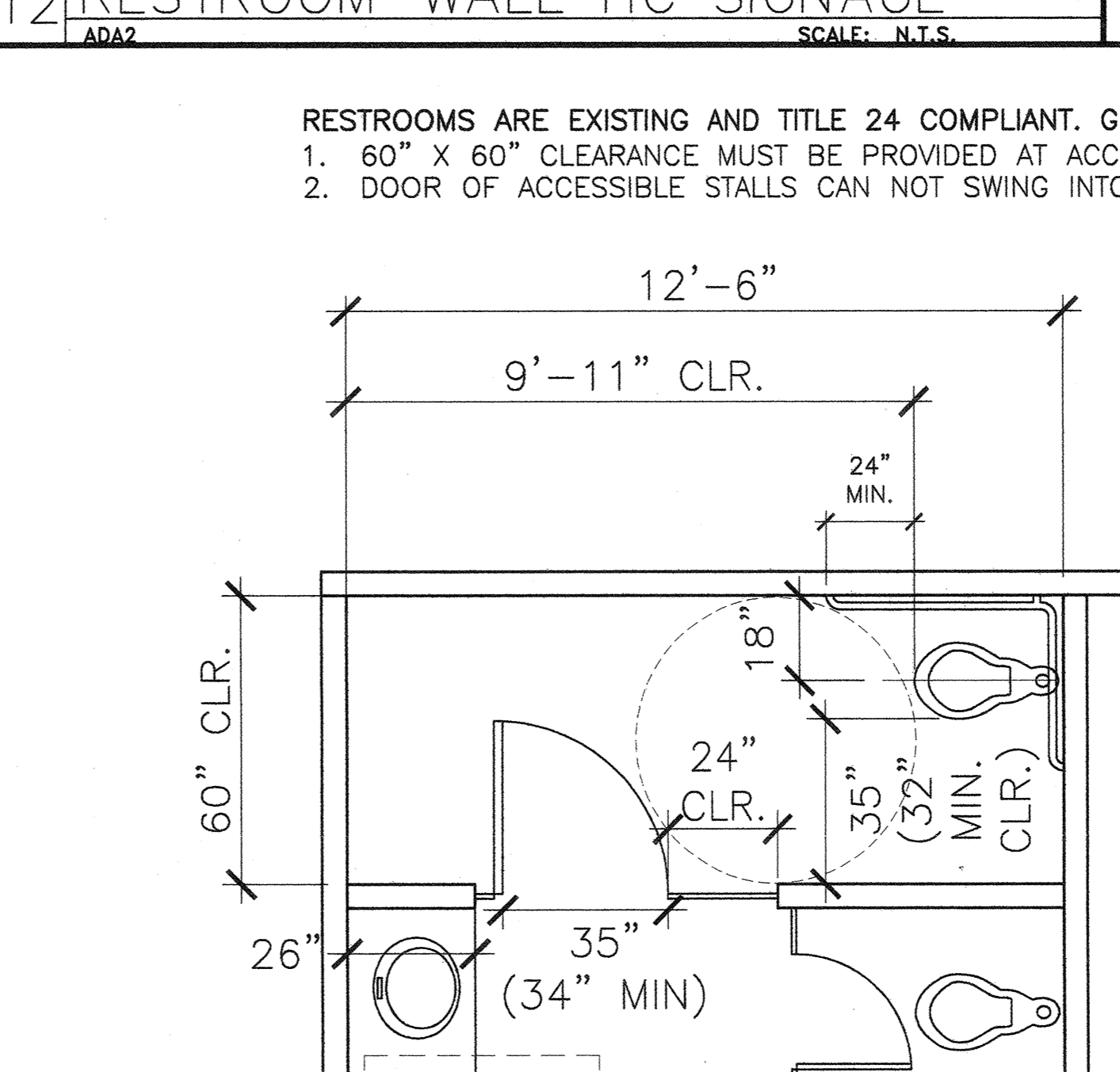
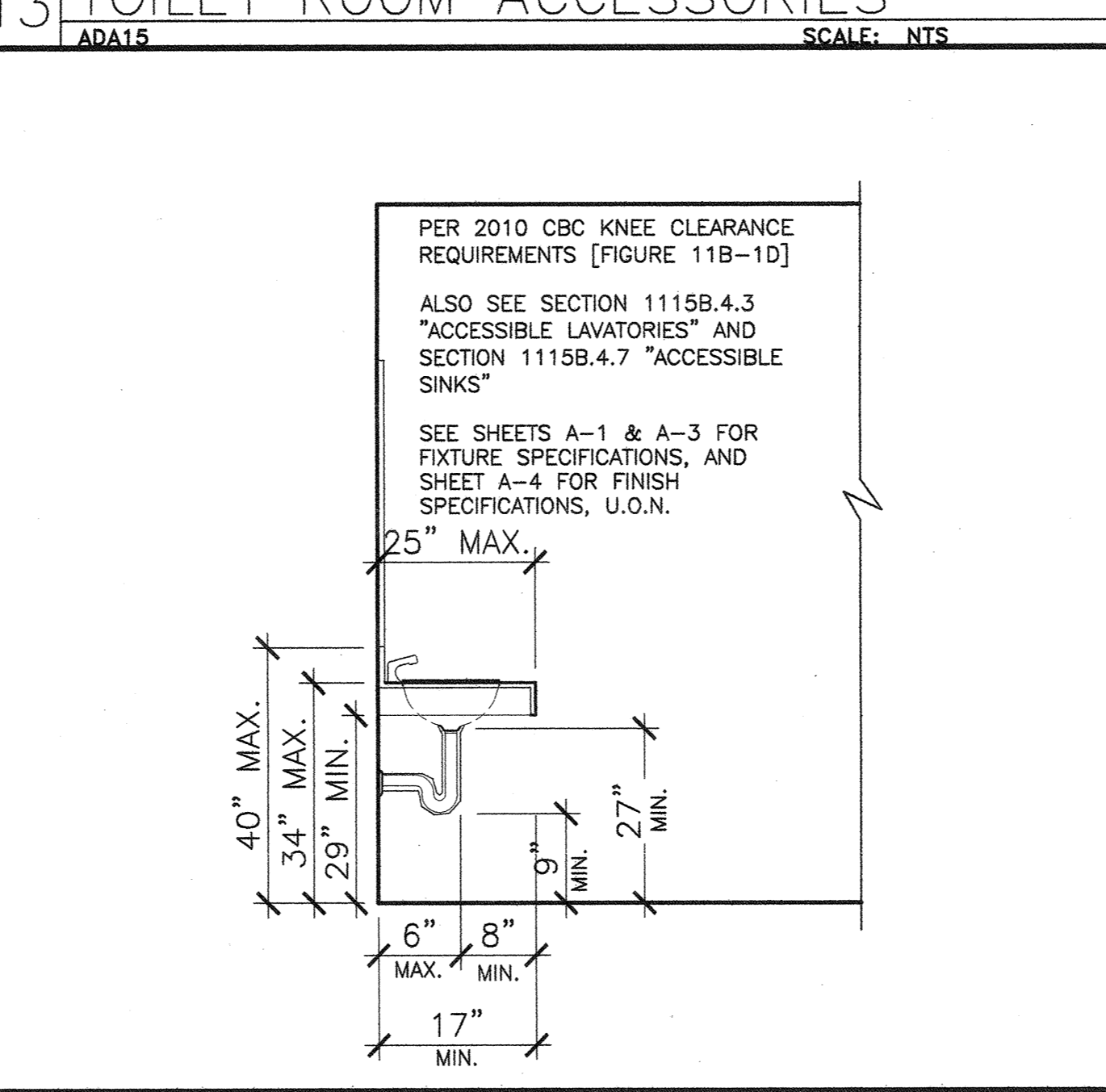
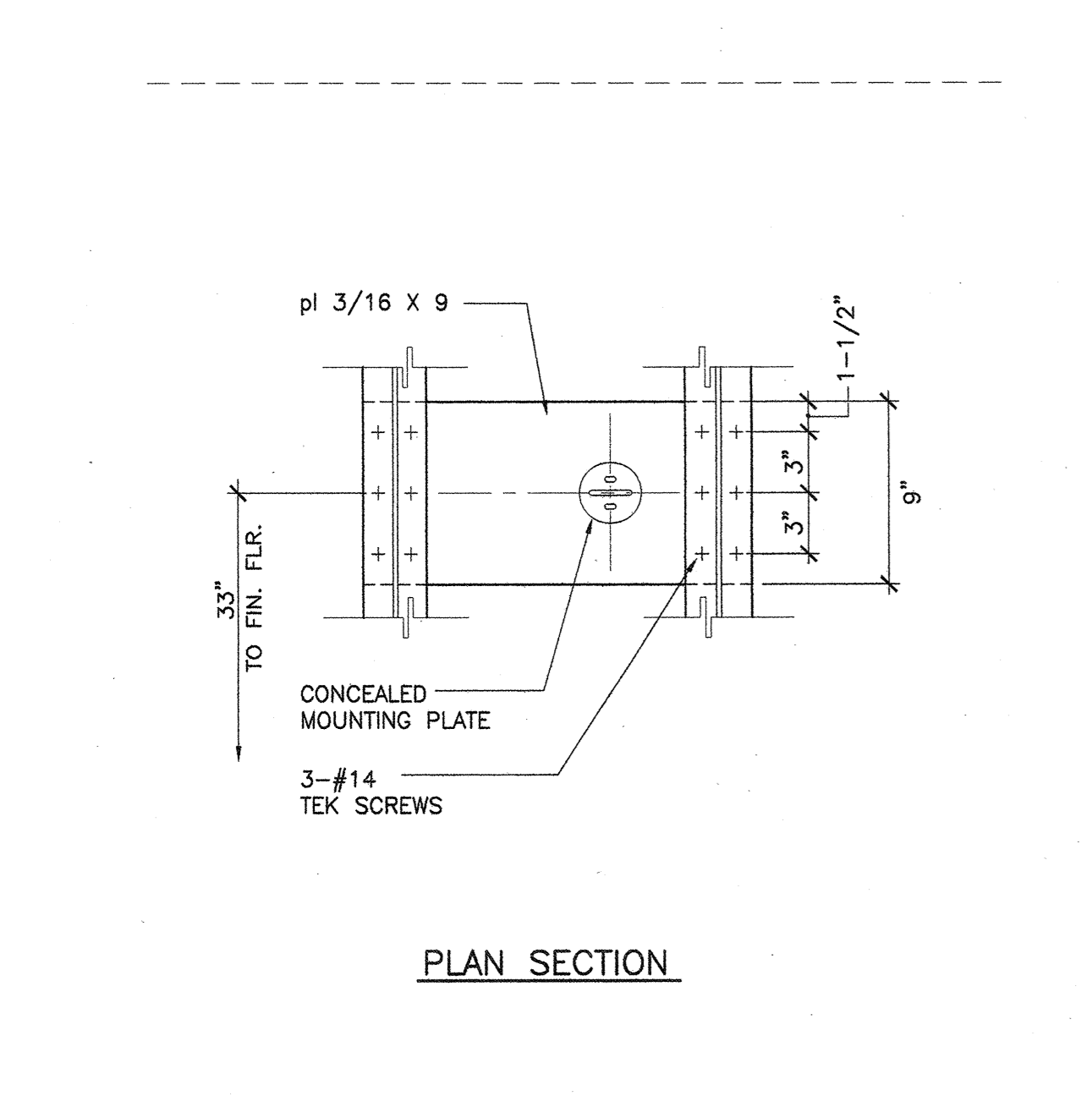
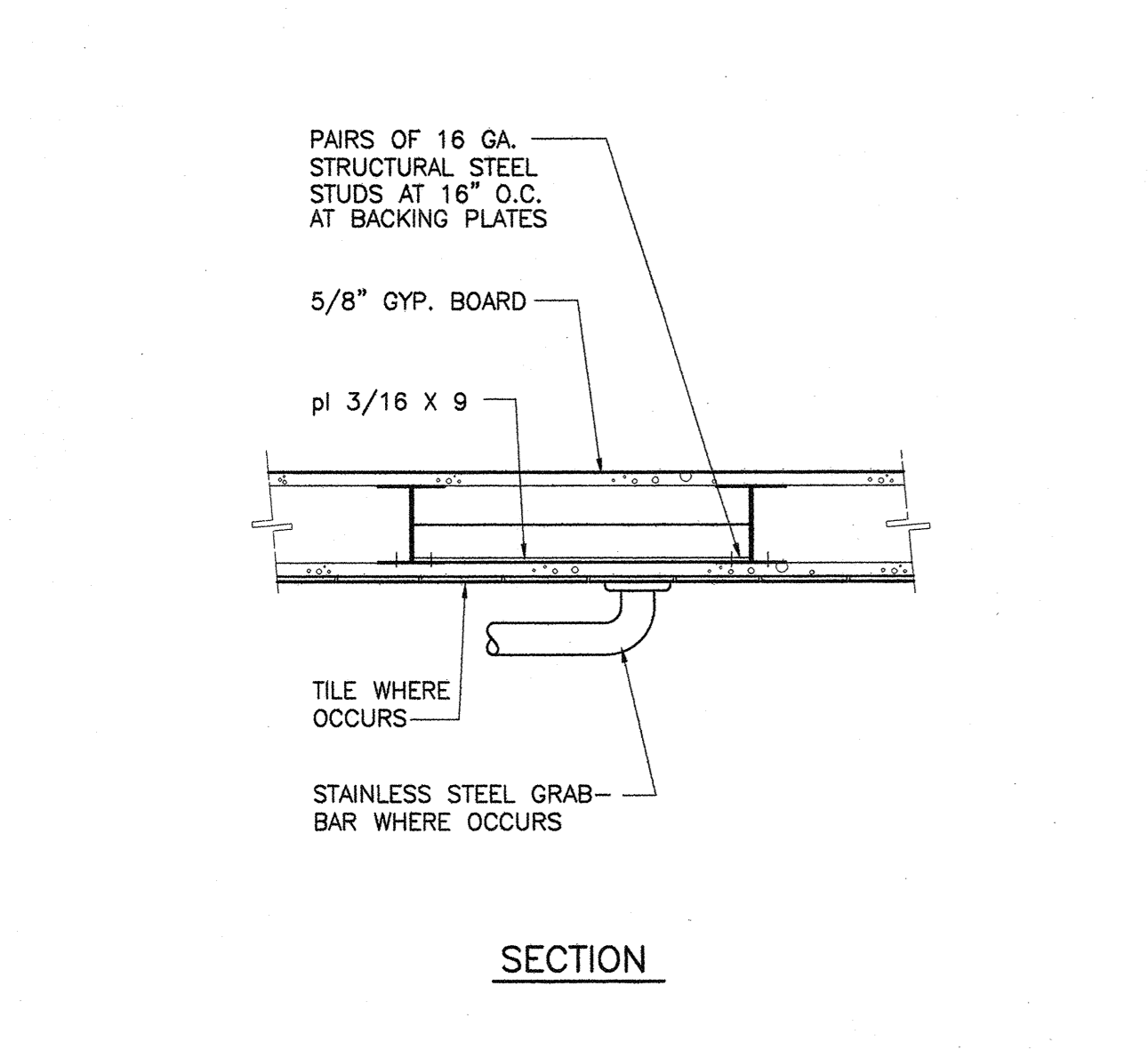
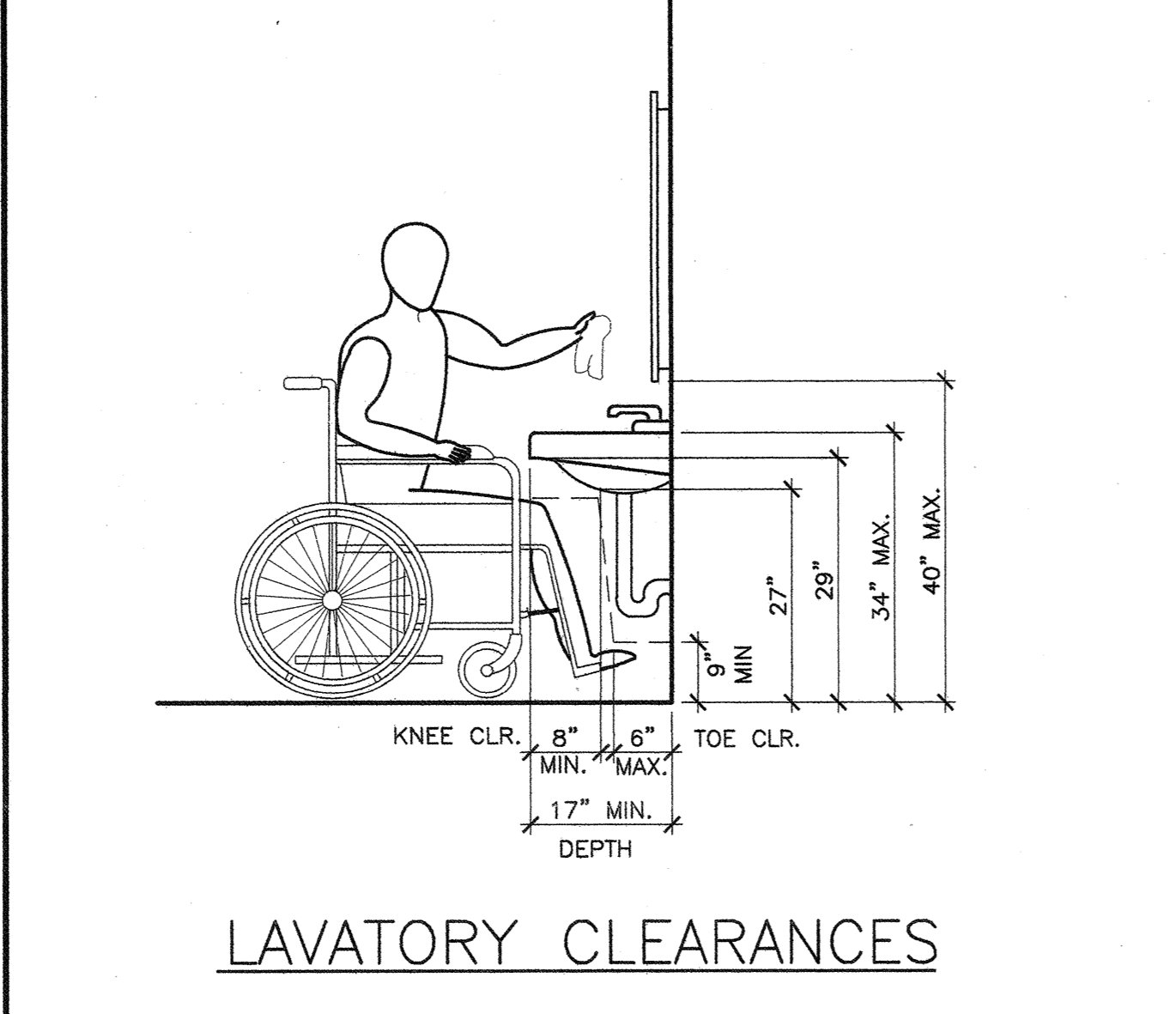
Sheet Title
 Project Number 2778.15
 Sheet Number RR-1

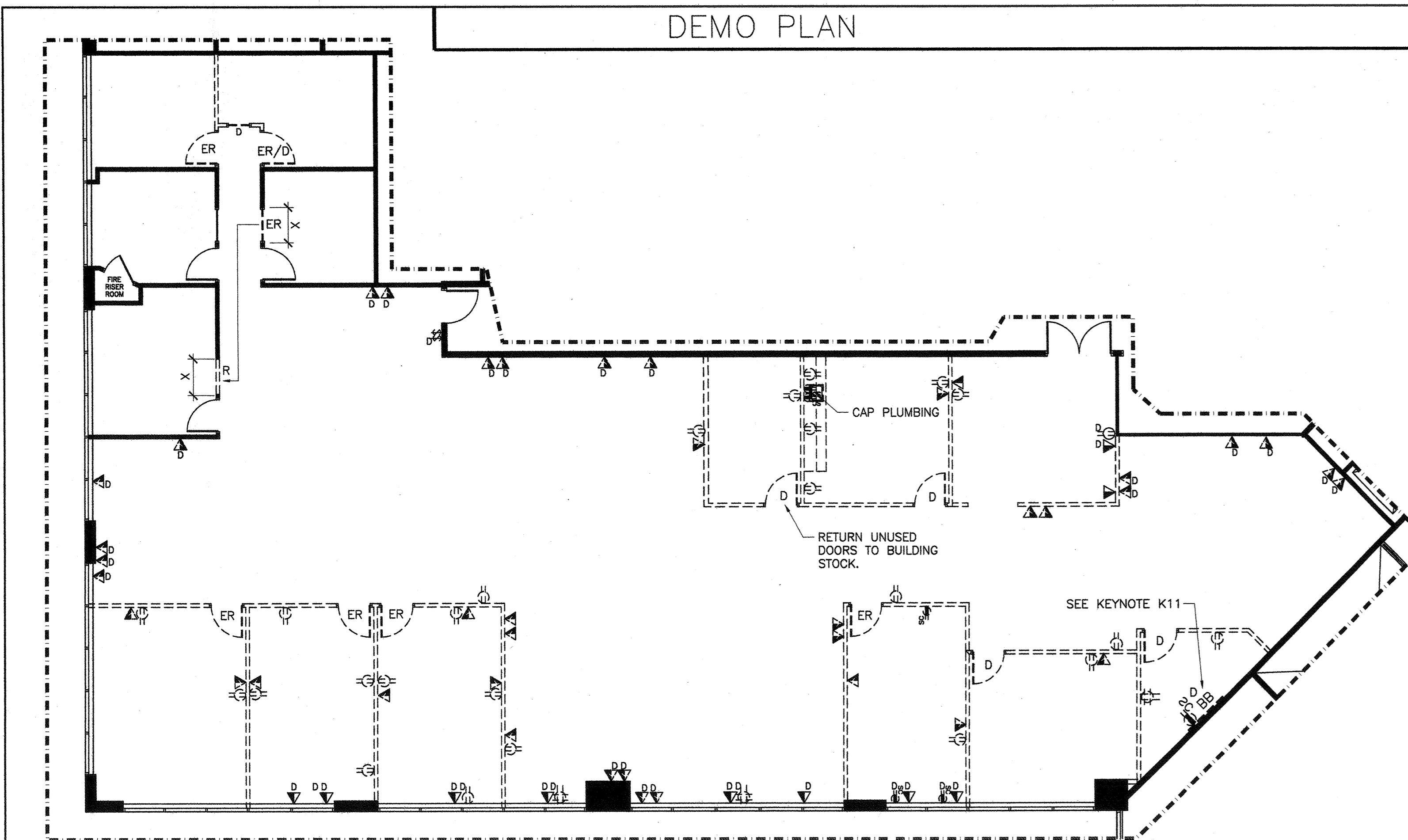
- F. SOAP DISH MOUNTED ON THE CONTROL WALL AT 40" MAXIMUM HEIGHT. 1115B.4.4.9
- G. ENCLOSURES, IF PROVIDED, DO NOT OBSTRUCT CONTROLS OR TRANSFER FROM WHEELCHAIRS ONTO SHOWER SEATS. 1115B.4.4.10
- H. WHERE LOCKERS ARE PROVIDED FOR THE PUBLIC, CLIENTS, EMPLOYEES, MEMBERS OR PARTICIPANTS, AT LEAST ONE AND NOT LESS THAN 1% OF ALL LOCKERS ARE ACCESSIBLE. A PATH OF TRAVEL NOT LESS THAN 36" IN CLEAR WIDTH IS PROVIDED TO THESE LOCKERS. 1115B.6.4
- I. WALLS AND FLOORS WITHIN SHOWER COMPARTMENTS ARE FINISHED TO HAVE A SMOOTH, HARD, NON-ABSORBENT SURFACE SUCH AS PORTLAND CEMENT, CONCRETE, CERAMIC TILE OR OTHER APPROVED MATERIAL TO A HEIGHT OF NOT LESS THAN 70" ABOVE THE DRAIN INLET. MATERIALS OTHER THAN STRUCTURAL ELEMENTS USED IN SHOWER WALLS ARE OF A TYPE NOT ADVERSELY AFFECTED BY MOISTURE. 1115B.3.2.5.
- J. DOORS AND PANELS OF SHOWER ENCLOSURES ARE SUBSTANTIALLY CONSTRUCTED FROM APPROVED, SHATTER-RESISTANT MATERIALS. HINGED DOORS SHALL OPEN OUTWARDS. 1115B.2.2
- K. GLAZING USED IN DOORS AND PANELS OF SHOWER ENCLOSURES IS FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC (SHATTER-RESISTANT TYPE). WHEN GLASS IS USED, IT HAS A MINIMUM THICKNESS OF NOT LESS THAN 1/8" WHEN FULLY TEMPERED, OR 1/4" WHEN LAMINATED, AND SHALL PASS THE REQUIREMENTS OF 2010 CBC STANDARD 1115B.2.3

- A. SURFACE SLOPE DOES NOT EXCEED 1.50 (2%) IN ANY DIRECTION (THRESHOLDS ARE NOT ALLOWED). 2010 CBC SECTION 1115B.4.4.7
- FLOOR SURFACES ARE CARBORUNDUM OR GRIT-FACED TILE OR MATERIAL PROVIDING EQUIVALENT SLIP-RESISTANCE. 807.1.1
- GRAB BAR LOCATED ON WALLS ADJACENT TO AND OPPOSITE THE SEAT. GRAB BARS ALSO COMPLY WITH THE DIAMETER, LOADING AND PROJECTION REQUIREMENTS OF SECTIONS 1115B.7.1, 1115B.7.2, AND 1115B.7.3.
- GRAB BAR SHALL BE MOUNTED BETWEEN A MIN. OF 33" AND A MAX. 36" ABOVE THE SHOWER FLOOR WITH AN L-SHAPED GRAB BAR MOUNTED ON WALLS OPPOSITE AND ADJACENT TO THE FRONT EDGE OF THE SEAT, BUT NOT EXTENDED TO THE FRONT EDGE OF WALL OVER THE SEAT. 2010 CBC SECTION 1115B.4.4.8.2.
- WATER VALVE CONTROL IS SINGLE LEVER TYPE. 1115B.4.4.4.
- 5 LBS. MAXIMUM OPERATING FORCE. 1115B.4.1.5.
- 40" MAXIMUM HEIGHT ABOVE FLOOR. 1115B.4.4.4.
- SHOWER SEAT IS FOLDING TYPE AND IS LOCATED ON THE WALL ADJACENT TO THE CONTROLS. 1115B.4.4.8.1.
- SHOWER SEAT PROVIDES MINIMUM STRUCTURAL STRENGTH TO SUPPORT A 250 LBS. POINT LOAD. 1115B.7.2.



- NOTES:
- A. MINIMUM 30" X 48" CLEAR SPACE IS PROVIDED IN FRONT OF SINK THAT ALLOWS FORWARD APPROACH. (2010 C.B.C. SEC. 1115B.4.3.3)
 - B. REQUIRED CLEAR SPACE ADJOINS OR OVERLAPS AN ACCESSIBLE ROUTE AND EXTENDS 19" MAX. UNDER LAVATORY. (2010 C.B.C. SEC. 1115B.4.3.3)
 - C. LAVATORIES ADJACENT TO SIDE WALL SHALL HAVE 18" MIN. FROM WALL TO CENTER OF LAV. (2010 C.B.C. SEC. 1115B.4.3.2)
 - D. SINK IS A MAXIMUM OF 6 1/2" DEEP.
 - E. KNEE CLEARANCE UNDER SINK IS A MINIMUM OF 30" WIDE, A 27" MIN. VERTICAL CLEARANCE MUST BE PROVIDED FROM THE FINISH FLOOR TO BOTTOM OF SINK, WITH A 29" MAXIMUM VERTICAL CLEARANCE TO BOTTOM OF APRON/COUNTER. (2010 C.B.C. SEC. 1115B.4.3.2)
 - F. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED TO PROTECT AGAINST CONTACT. (2010 C.B.C. SEC. 1115B.4.3.4.2)
 - G. NO SHARP OR ABRASIVE SURFACES ARE ALLOWED UNDER LAVATORIES AND SINKS. (2010 C.B.C. SEC. 1115B.4.3.4)
 - H. FAUCETS ARE LEVER TYPE, ELECTRONICALLY ACTIVATED OR APPROVED SELF CLOSING VALVES (MIN. 10 SECOND OPEN FLOW).
 - I. FAUCETS ARE OPERABLE WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. (2010 C.B.C. SEC. 1115B.4.3.1)
 - J. 5 LBS. MAXIMUM FORCE REQUIRED TO ACTIVATE CONTROLS. (2010 C.B.C. SEC. 1115B.4.3.1)
 - K. MIRROR SHALL BE MOUNTED SO BOTTOM EDGE IS NO HIGHER THAN 40" TO FLOOR. (2010 C.B.C. SEC. 1115B.8.1)





A-1 KEY NOTES-MILLWORK:

- (KM1) BREAKROOM (RIGHT SIDE): NEW UPPER & LOWER CABINETS WITH: SINK, FAUCET, GARBAGE DISPOSAL, INSTA-HOT, AND DISHWASHER. PROVIDE CUBBIE FOR TENANT'S MICROWAVE, AND COPPER WATER LINES FOR TENANT'S COFFEE MAKER & REFRIGERATOR. PROVIDE PRICE FOR ALTERNATE COUNTER TOPS-SEE SPECS #19 & 20 ON SHEET A-4. HAS UPGRADED BACKSPLASH.
- (KM2) BREAK ROOM (LEFT SIDE): NEW UPPER & LOWER CABINETS WITH: PROVIDE PRICE FOR ALTERNATE COUNTER TOPS-SEE SPECS #19 & 20 ON SHEET A-4. HAS UPGRADED BACKSPLASH.
- (KM3) COPY ROOM: NEW P-LAM UPPER & LOWER CABINETS.
- (KM4) CONFERENCE ROOM: NEW P-LAM LOWER CABINETS.

WALLS AND SOUND CONTROL

- (KW1) PONY-UP W/ SOUND INSULATED WALL TO DECK ABOVE AT ELECTRICAL ROOM, JANITORS CLOSET, ELEVATOR, & BUILDING CORRIDOR IF NOT ALREADY. STUD SIZE/GA/SPACING AS REQ.
- (KW2) CONTROL ROOM 226 & AV STUDIO 227: PROVIDE 1" GAP BETWEEN NEW SOUND INSULATED FULL-HEIGHT WALL (SLAB TO SLAB) AND EXISTING WALLS AS SHOWN FOR ADDITIONAL SOUND CONTROL OF ADJACENT ROOMS.
- (KW3) CONTROL ROOM, AV STUDIO, CONFERENCE, 4 OFFICES, AND BREAKROOM: PROVIDE ROOMS WITH INSULATION SOUND CONTROL (NEW AND EXISTING).
 - SOUND BATT INSULATION IN NEW & EXISTING WALLS.
 - SOUND CAULKING AT METAL STUD FLOOR CHANNELS.
 - SOUND GASKET WHERE WALL TERMINATES AT MULLIONS.
 - INSTA-QUIL ABOVE CEILING.
 - SOUND BOOTS IN AIR VENTS.
 - SOUND GASKET AROUND DOOR FRAMES. (EXCEPT AT GLASS DOORS)
 - SOUND SWEEPS ON DOORS. (EXCEPT AT GLASS DOORS)
- (KW4) ALL NEW WALLS TO HAVE 3-5/8" STUDS, U.O.N.

A-1 KEY NOTES:

- (K1) CONFERENCE ROOM 229: 2 FULL-HEIGHT BUTT-JOINT FRAME-LESS WINDOWS (NO BLINDS). WITH FULL-HEIGHT FRAME-LESS HERCULITE DOUBLE DOORS.
- (K2) CONTROL ROOM 226: NEW SINGLE PANEL FULL-HEIGHT FRAME-LESS WINDOW (NO BLINDS). ELEVATION AND SECTIONS ARE SHOWN TO HALF OF CONFERENCE ROOM GLAZING, BUT CONTROL ROOM GLAZING ONLY HAS A SINGLE PANEL, AND WALLS ABOVE AND TO THE SIDES OF GLAZING ARE FULL HEIGHT (SLAB TO SLAB). PROVIDE STRUCTURAL REINFORCEMENT AS REQUIRED.
- (K3) OFFICE 231 & 232, AND BREAK ROOM 242: PROVIDE NEW FULL-HEIGHT BUTT-JOINT WINDOWS IN BUILDING STANDARD FRAME TO ALIGN WITH DOORS. PROVIDE AND INSTALL VERTICAL BUILDING STANDARD BLINDS. PANELS OF EQUAL WIDTH U.O.N. NUMBER & TOTAL LENGTH AS ON PLAN.
- (K4) OFFICE #233 & 234: PROVIDE AND INSTALL VERTICAL BUILDING STANDARD BLINDS ON EXISTING & RELOCATED (SEE K5 BELOW) SIDE LIGHTS.
- (K5) TELE/DATA #237: INSTALL A DOOR VENT IN EXISTING DOOR, OR PROVIDE NEW (LIKE DOOR DETAIL "E" ON A-4). REMOVE SIDE LIGHT & INSTALL AT OFFICE #233.
- (K6) AV STUDIO 227: RELOCATE WINDOW FROM SUITE 150, SEE THAT PLAN FOR EXISTING PLACEMENT. HEIGHT TO MATCH EXISTING HEIGHT IN SUITE 150. VERIFY IF TO RECEIVE BLINDS.
- (K7) RECEPTION, BREAK ROOM, OPEN OFFICE 230, OFFICES 231, & 232 (5 LOC): PROVIDE BACKING SUPPORT FOR WALL MOUNTED T.V. HEIGHT TO BE VERIFIED WITH TENANT DURING CONSTRUCTION.
- (K8) THROUGHOUT: PAINT ALL NEW & EXISTING WINDOW & DOOR FRAMES IN SUITE.
- (K9) BOTH ENTRY DOORS AT CONTROL ROOM DOOR PROVIDE CONDUIT & DOOR OMIT FREE FOR TENANT'S VENDOR TO INSTALL CARD READERS, SPECS & PLACEMENT MUST BE COORDINATED WITH THE VENDOR TO BE INSTALLED BETWEEN 6" TO 12" PER 2010 SECTION 113302.2.2. MODIFY EXISTING HARDWARE AS REQUIRED.
- (K10) CONFERENCE ROOM: TENANT TO PROVIDE WHITE BOARD(S).
- (K11) PROVIDE CONDUIT CONNECTION FROM TELE/DATA ROOM TO SUITE 150 (BELOW) FOR TENANT DATA AND TELEPHONE CABLING BETWEEN THE TWO SUITES. CONDUIT SIZE TO BE DETERMINED PER TENANT'S CABLING NEEDS.
- (K12) WORK ROOM #235: RELOCATED DOOR IS NOT TO HAVE A CLOSER. REMOVE IF ALREADY EXISTING.
- (K13) PROVIDE CLOSER ON BREAK ROOM DOOR.
- (K14) PLAN CHECK CORRECTIONS (INCLUDING KEYNOTE TO ABOVE) - OMIT THERE IS NO REDUCTION IN THE RATING OF THE CORRIDOR FROM BY INSTALLING THE CARD READER. EACH OF THE ENTRY DOORS MUST BE RE-RATED TO MAINTAIN RATING. RE-RATING OF ENTRY DOORS MUST BE PERFORMED BY A LICENSED PROFESSIONAL ENGINEER. PROVIDE SIGNAGE AT ALL ENTRY DOORS WITH NEW DOORS WITH CARD READERS THAT MEET CERTIFICATION REQUIREMENTS.
- (K15) CONFERENCE ROOM: PROVIDE SIGNAGE INDICATING THE MAXIMUM OCCUPANT LOAD: 46 PERSONS, AS REQUIRED. SEE POSTING OF OCCUPANT LOAD NOTE BELOW.

OCCUPANT LOAD INFORMATION

IBC SECTION 1004.3, POSTING OF OCCUPANT LOAD: EVERY ROOM OR SPACE THAT IS ASSEMBLY OCCUPANCY (SUCH AS MEETING OR CONFERENCE ROOMS) SHALL HAVE THE OCCUPANT LOAD OF THE ROOM OR SPACE POSTED IN A CONSPICUOUS PLACE, NEAR THE MAIN EXIT OR EXIT ACCESS DOORWAY FROM THE ROOM OR SPACE. POSTED SIGNS SHALL BE OF AN APPROVED LEGIBLE PERMANENT DESIGN AND SHALL BE MAINTAINED BY THE OWNER OR AUTHORIZED AGENT.

LEGEND:

- EXISTING WALLS TO REMAIN
- DEMO EXISTING WALLS/ITEMS
- NEW CEIL. HT. INTERIOR PARTITION
- NEW CEIL. HT. INSULATED WALLS
- NEW FULL-HT. INSULATED WALLS
- EXISTING DOOR-HEIGHT SIDELIGHTS
- HALF-HEIGHT FRAMED WINDOWS
- FRAME-LESS FULL-HEIGHT
- FRAMED FULL-HT BUTT-JOINT GLAZING
- ALIGN
- DOOR TAGS FOR NEW DOORS
- NEW CARD READERS
- TELEPHONE BACKBOARD
- TACTILE EXIT SIGN (PROVIDE AS REQ.)
- FIRE EXTINGUISHER
- EXISTING TO BE RELOCATED
- RELOCATED
- DEMOLISH
- NEW

SEE DEMO PLAN AT LEFT FOR ITEMS TO BE RELOCATED OR REMOVED.

SPECIFICATIONS SEE A-3 & A-6 FOR LOCATIONS OF SPECS #3-12

- TELEPHONE BACKBOARD: (DEMO/NEW) 4' x 4' x 3/4" FIRE TREATED PLYWOOD TELEPHONE BACKBOARD. SAND AND PAINT TO MATCH WALL. PROVIDE ONE (1) 2" CONDUIT RUN TO BASE BUILDING TELEPHONE ROOM WITH ONE (1) SEPARATE CIRCUIT DUPLEX OUTLET. MOUNT AT FINISHED CEILING.
- FIRE EXTINGUISHER: (NEW) TO MATCH BUILDING STANDARD. PROVIDE AS NEEDED IF NOT EXISTING.
- TELEPHONE WALL OUTLETS: STANDARD GANG BOX WITH 3/4" CONDUIT TO TERMINATE 6" ABOVE CEILING LINE WITH PULLSTRING. INSTALL BOX VERTICALLY 17" A.F.F. TO CENTER LINE OF OUTLET. NEW TO MATCH EXISTING.
- SINK & FAUCET: (NEW) ALL COMPONENTS TO BE TITLE 24 COMPLIANT AS NEEDED. "JUST" BRAND:
 - SINK: #SL-ADA-1921-A-GR SINGLE ADA BOWL WITH CENTER DRAIN, 6 1/2" DEEP.
 - FAUCET: #ATR-51-W4 OR SIMILAR
 - DRAIN SYSTEM: #J-ADA-35 WITH OVERFLOW SYSTEM IF REQUIRED, AND
 - DRAIN INSULATOR KIT: #J-ADA-150 OR SIMILAR INSULATION IF AS REQUIRED BY CODES. INCLUDE ALL NECESSARY PLUMBING AS NEEDED. MODIFY STANDARD CONSTRUCTION IF/AS NEEDED TO ALLOW FOR INSTALLATION OF GARBAGE DISPOSAL, IF SPECIFIED.
- GARBAGE DISPOSAL: (NEW) IN-SINK-ERATOR, MODEL "EVOLUTION" SERIES. "EVOLUTION COMPACT", BLACK ENAMEL FINISH, 8" DIAMETER, 12-1/8" DEEP. SINGLE PHASE, 3/4 H.P., 120V, 60HZ, 8.1 AMPS. PROVIDE SEPARATE CIRCUIT OUTLET AND WALL SWITCH.
- INSTA-HOT: (NEW) CHROMIUM INSTANTANEOUS HOT WATER HEATER, UNDER CABINET MOUNT, MODEL #SR-30. 8320W, 277 VOLTS, 30 BREAKER. INSTALL WITH 1/4" COPPER WATER LINE & PROVIDE SEPARATE CIRCUIT OUTLET AS NEEDED.
- PANEL FURNITURE: (NEW) TO BE PROVIDED BY TENANT. GC TO PROVIDE POWER AND TO HARWARE SYSTEM. TENANT TO PROVIDE "WHIPS". SEE A-3 FOR LOC.
- REFRIGERATOR W/ ICE MAKER: (NEW) TO BE PROVIDED BY G.C. AND G.C. TO PROVIDE COPPER WATER LINE.
- COFFEE MAKER: (NEW) TO BE PROVIDED BY TENANT. G.C. TO PROVIDE COPPER WATER LINE.
- DISHWASHER: (NEW) G.C. TO PROVIDE & INSTALL NEW ADA ASKO SELF HEATING: D5122ADA. COLOR: T.B.D.
- MICROWAVE: (NEW) TENANT TO PROVIDE AND MILL WORK TO HAVE A BUILT-IN CUBBIE SIZE AND TYPE: TBD
- COPIER: (NEW) BY TENANT.

NOTES:

GENERAL:

- VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
- ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
- ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED ON AUTOCAD. PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS. NO DXF FILES.

TITLE 24:

- ALL DOORS SHALL BE HANDICAPPED ACCESSIBLE: FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" BELOW THRESHOLD. MAXIMUM EFFORT TO OPEN DOORS SHALL NOT EXCEED 5 LBS (EXIT DOORS) & 5 LBS. (INTERIOR DOORS). DOORS SHALL COMPLY WITH REQUIREMENTS OF THE 2010 C.B.C.
- ALL EXISTING HANDICAPPED FACILITIES SHALL MEET OR COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS.
- ALL MILLWORK (EXISTING OR NEW) IS TO COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS. OWNER AND CONTRACTOR ARE RESPONSIBLE FOR 2010 CBC COMPLIANCE AND INTERPRETATION OF REQUIREMENTS.

FIRE LIFE SAFETY:

- ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID.
- PUBLIC CORRIDORS SHALL BE OF ONE-HOUR CONSTRUCTION WITH DOOR OPENINGS PROTECTED WITH 20 MINUTE SELF-CLOSING AND LATCHING ASSEMBLIES AND SMOKE SEALS.

WALLS:

- ALL DRYWALL IS TO BE INSTALLED VERTICALLY.
- PATCH AND PAINT DRYWALL WHERE EXISTING ELECTRICAL IS TO BE REMOVED. BLANK PLATES SHALL NOT BE PERMITTED. REMOVE EXISTING BLANK PLATES.
- PROVIDE BRACING AT CEILING AND TIE WIRES AT FIXTURES TO MEET CBC/BOCA/LOCAL CODES. CONFIRM EXISTING CONDITIONS.

DOORS & FINISHES:

- ALL EXISTING INTERIOR DOORS ARE EXISTING TO REMAIN, U.O.N. DOORS TO BE REPAIRED AS REQUIRED. NEW DOORS TO MATCH EXISTING IN MANUFACTURE, STYLE, FINISH AND SIZE. CONTRACTOR TO CHECK BUILDING STOCK IF NEW DOORS ARE REQUIRED. DUE TO ENVIRONMENTAL HAZARDS NO DOORS ARE TO BE FINISHED ON SITE. REPLACE ALL NON-COMPLIANT HARDWARE WITH NEW ADA-COMPLIANT HARDWARE TO MATCH BUILDING STANDARD.
- RETURN UNUSED DOORS AND SIDELIGHTS TO BUILDING STOCK U.O.N.
- ALL EXTERIOR WINDOW COVERINGS ARE EXISTING TO REMAIN, U.O.N. CLEAN AND REPAIR OR REPLACE AS REQUIRED WHERE DAMAGED OR MISSING VENTS OCCUR. NEW TO MATCH EXISTING.
- WALLS TO BE REPAIRED AS REQUIRED. PREP, PATCH & PAINT WITH NEW BUILDING STANDARD PAINT. TWO (2) COATS TO COVER.
- REMOVE ALL EXISTING CARPET, PAD, VCT, BASE, AND WALLCOVERING, U.O.N. PREP FOR NEW FINISHES AS REQ. SEE SHEET A-4 FOR LOCATIONS AND SPECIFICATIONS.

PROJECT

ARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS

SUITE 225

AGREED: _____
ACCEPTED THIS DAY OF _____, 2012
TENANT: _____
BY: _____
TITLE: _____
COMMENT: _____

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

REVISIONS

NO.	DESCRIPTION	DATE
1	Plan Check Corrections	03.07.12
2	Tenant Revisions	02.29.12
3	Plan Check Corrections	02.13.12
4	Plan Check Corrections	01.31.12
5	Tenant Revision	01.25.12
6	Plan Check Submittal	01.25.12
7	Released for Engineering	01.13.12

NO. DESCRIPTION DATE

REVISIONS

NO.	DESCRIPTION	DATE
1	RP/MS	10.06.11
2	CHECKED	
3	RP	
4	PRINT DATE	01.20.12

INTERIOR PLANNING & DESIGN

SPACES

P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

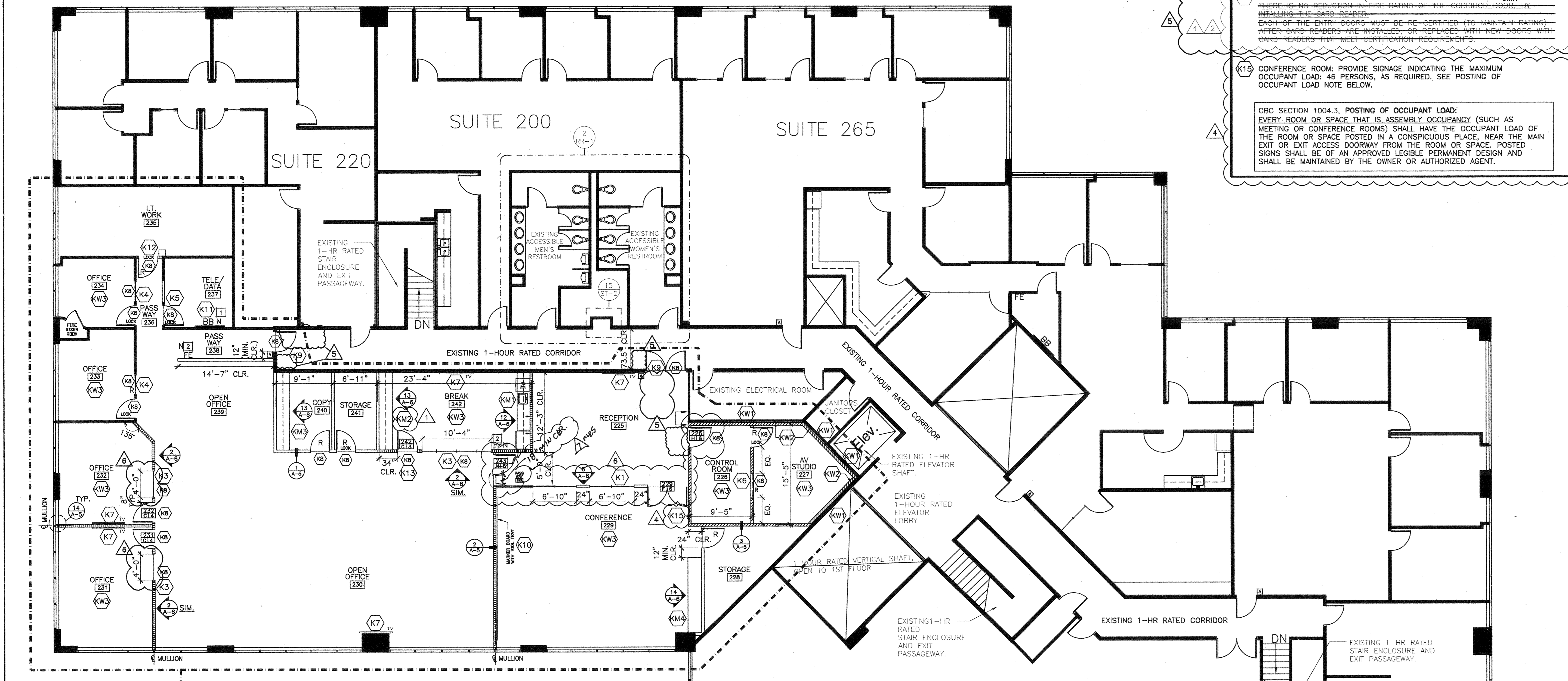
SQUARE FOOTAGE

USABLE: 5,486 SF

SECOND FLOOR PARTITION & DEMO PLAN

Sheet Title _____
Project Number 2778.15
Sheet Number A-1

MAR 12 2012



AREA OF PERMIT SUITE 225

3621 BLDG 2ND FLR.

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.

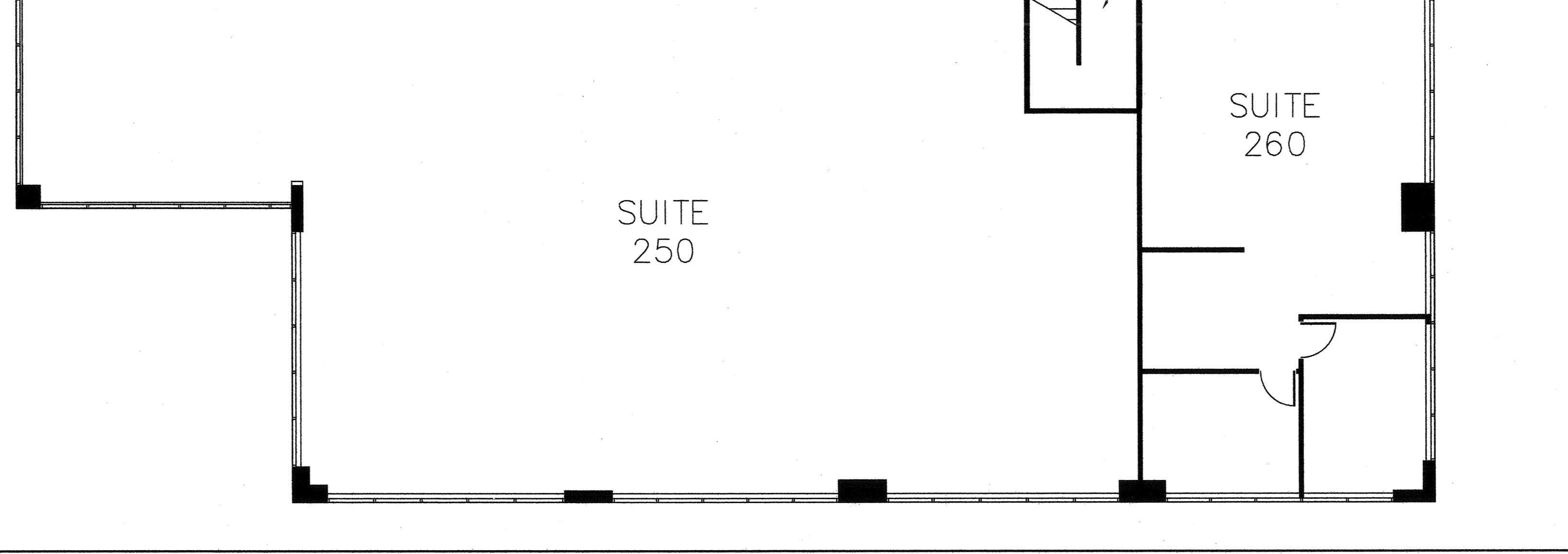
NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.

1/8" = 1'-0"

OCCUPANT LOAD INFORMATION

SUITE 225-5,486 SF.
B OCCUPANCY LOAD: 55 PER SUITE / EXITS REQUIRED: TWO (TWO PROVIDED)
MAX OCCUPANT LOAD PER ROOM/AREA

ROOM #	S.F.	OCC. LOAD FACTOR	OCC. LOAD
RECEPTION 225	413	100	4 OCC.
CONTROL ROOM 226	135	100	1 OCC.
AV STUDIO 227	177	100	2 OCC.
STORAGE 228	132	300	0 OCC.
CONFERENCE 229	700	15	46 OCC.
OPEN OFFICE 230	1539	100	15 OCC.
OFFICE 231	268	100	3 OCC.
OFFICE 232	222	100	2 OCC.
OFFICE 233	167	100	1 OCC.
OFFICE 234	120	100	1 OCC.
LT. WORK 235	284	100	3 OCC.
PASSWAY 236	44	N/A	0 OCC.
TELE/DATA 237	108	300	0 OCC.
PASSWAY 238	90	N/A	0 OCC.
OPEN OFFICE 239	288	100	3 OCC.
COPY 240	102	300	0 OCC.
STORAGE 241	77	300	0 OCC.
BREAK 242	271	15	18 OCC.
PASSWAY 243	31	N/A	0 OCC.



PROJECT CEILING PLAN NOTES:

- (C1) EXISTING 2X4 T-BAR GRID TO REMAIN THROUGHOUT SUITE (EXCEPT CONFERENCE ROOM AND RECEPTION) CLEAN, PATCH AND PAINT. REMOVE EXISTING 2X4 CEILING TILES AND REPLACE WITH NEW 2X4 CEILING TILES-SPEC; ARMSTRONG DUNN SECOND LOOK.
- (C2) CONFERENCE ROOM TO RECEIVE NEW 2X2 T-BAR GRID WITH NEW 2X2 DUNN CEILING TILES.
- (C3) RECEPTION AREA TO BE GYP. BOARD CEILING-SEE PLAN.
- (C4) PROVIDE REFLECTOR ON SIX (6) DOWN LIGHTS IN LOBBY #225. SPEC-6109 DECO GLASS REFLECTOR

TRAINING CONSULTANTS LIGHTING SCHEDULE

KEY	FIXTURE TYPE	LAMP TYPE	LOCATION	NEW SPEC	QTY	NOTES
A	2X4 RECESSED DIRECT/INDIRECT		GENERAL - T-BAR	SAME FIXTURE WITH 2 LAMP AND 28 WATT	55	
B						
C	2" RECESSED DOWNLIGHT	LED	LOBBY; 4" RECESSED CIRCLE	MATCH TO ELITE FIXTURE	N/A	
D	6" RECESSED DOWNLIGHT	CFL	GENERAL; LOBBY, OPEN OFFICE, CORRIDORS	MATCH TO ELITE FIXTURE	18	DIMMABLE IN CONFERENCE
E	8" RECESSED DOWNLIGHT	2X CFL	CONFERENCE/TRAINING ROOM/OPEN OFFICE	MATCH TO ELITE FIXTURE	17	DIMMABLE IN CONFERENCE
F	6" WALL WASHER	CFL	LOBBY AND OPEN OFFICE AREA	MATCH TO ELITE FIXTURE	6	

NOTE: FOR PURCHASING INFORMATION AND GENERAL INQUIRIES, CONTACT JOHN LOMELI 949.294.7537; JLOMELI@SCLIGHTS.COM

PROJECT CEILING PLAN LEGEND

- NOTE CEILING HEIGHTS WHERE CALL-OUTS OCCUR ALL OTHERS ARE 9'-0".
- 2X2 SUSPENDED ACOUSTIC CEILING TILE GRID SPEC: ARMSTRONG DUNE REGULAR WITH SILHOUETTE 9/16" BOLT SLOT GRID; 1/4" REVEAL
*RECOMMENDATION ONLY; PLEASE COMPARE TO BUILDING STANDARDS
- A - RECESSED 2X4 FIXTURE, SPEC-A
 - B - OMIT
 - C - RECESSED DOWNLIGHT; 2" APERTURE, SPEC-C OR EQUAL
 - D - RECESSED DOWNLIGHT; 6" APERTURE; DIMMABLE IN CONFERENCE, SPEC-D OR EQUAL
 - E - RECESSED DOWNLIGHT; 8" APERTURE; DIMMABLE IN CONFERENCE, SPEC-E OR EQUAL
 - F - WALL WASHER; 6" APERTURE; SPEC-F OR EQUAL

PROJECT WALL LEGEND

- EXISTING WALLS TO REMAIN, HEIGHTS VARY
- NEW CEILING HT. INTERIOR WALLS (SEE DETAIL #1/A-5)
- NEW CEILING HEIGHT INSULATED WALLS (SEE DETAIL #2/A-5)
- FULL-HEIGHT (SLAB-SLAB) INSULATED WALLS (DETAIL #3/A-5)

A-2 KEY NOTES:

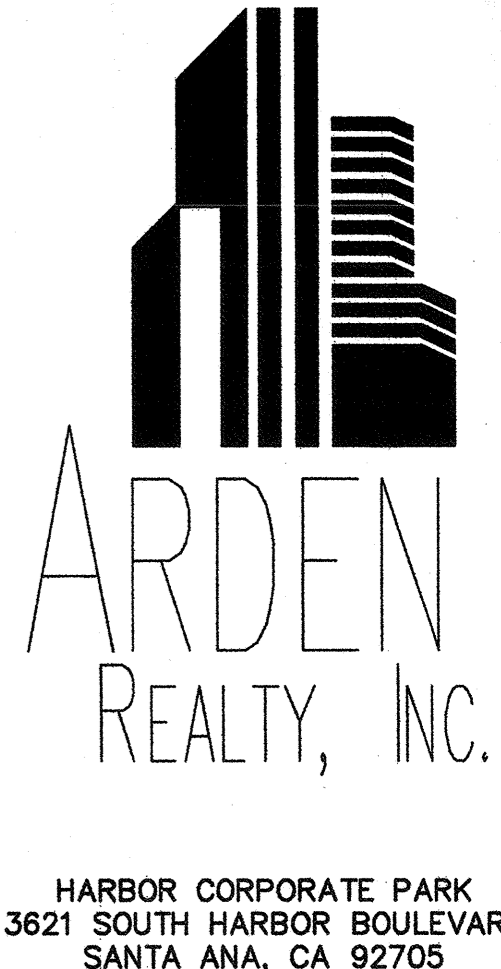
- (K1) PROVIDE J-BOX CONNECTIONS AND POWER (ABOVE CEILING) FOR TENANT'S VENDOR PROVIDED EQUIPMENT IN STUDIO ROOM. ALL EQUIPMENT AND PLACEMENT TO BE DETERMINED.
- (K2) PROVIDE REWORKING OF HVAC SYSTEM PER NEW ROOM LAYOUT & ZONES PER PLAN AND RE-BALANCE THE AIR SYSTEM THROUGHOUT THE SUITE.
- (K3) PROVIDE & INSTALL A TEMPERATURE CONTROLLED EXHAUST FAN WITH DOOR VENT IN THE TELE/DATA ROOM.
- (K4) REMOVE ALL EXISTING BUILDING STANDARD 2X4 LIGHT FIXTURES AND REPLACE WITH NEW-SEE SPEC ON PROJECT CEILING LEGEND AND NOTES. (DEMO'D LIGHTS NOT SHOWN ON PLAN)
- (K5) PROVIDE AND INSTALL NEW ELECTRIC 10' PROJECTION SCREEN. SPEC-DA-LITE OR SIMILAR (TENANT TO SELECT PER THEIR NEEDS)
- (K6) PROVIDE J-BOX CONNECTION FOR TENANT PROVIDED PROJECTOR. (EXACT PLACEMENT TBD DURING CONSTRUCTION).
- (K7) PROVIDE J-BOX WITH SWITCHING FOR TENANT PROVIDED LIGHTING.
- (K8) PROVIDE 1" GAP BETWEEN NEW SOUND INSULATED FULL-HEIGHT WALL (SLAB TO SLAB) AND EXISTING WALLS AS SHOWN FOR ADDITIONAL SOUND CONTROL OF ADJACENT ROOMS.
- (K9) PROVIDE ROOMS WITH INSULATION SOUND CONTROL (NEW AND EXISTING).
-SOUND BATT INSULATION IN NEW & EXISTING WALLS.
-INSTA-QUIL ABOVE CEILING.
-SOUND BOOTS IN AIR VENTS.
-SOUND CAULKING AT METAL STUD FLOOR CHANNELS.
-SOUND GASKET WHERE WALL TERMINATES AT MULLIONS.
-SOUND GASKET AROUND DOOR FRAMES. (EXCEPT AT GLASS DOORS)
-SOUND SWEEPS ON DOORS. (EXCEPT AT GLASS DOORS)
- (K10) MECHANICAL ENGINEER TO PROVIDE SOUND CONTROL AT EXISTING HVAC UNITS THROUGHOUT SUITE. SEE MECHANICAL ENGINEERING DRAWINGS DURING CONSTRUCTION DOCUMENT PHASE.
- (K11) LANDLORD SHALL, IN SUITE 225 ONLY, PROVIDE SUPPLEMENTAL SOUND ISOLATION SCOPE IN ADDITION TO "KEY NOTES - WALLS AND SOUND CONTROL" KW1 - KW4 AV. STUDIO AREA, BUILD HVAC MAIN DUCT SOUND ISOLATION SHROUD WITH METAL STUDS, DRYWALL, WALL INSULATION AND ABOVE CEILING INSUL-QUILT, (V) IN SUITE 225 ONLY, REPAINT THE EXISTING CEILING GRID AND INSTALL NEW 2X4 CEILING TILES AND INSTALL NEW AVANTE INDIRECT LIGHT FIXTURES

LEGEND:

- EXISTING ACOUSTICAL CEILING GRID & TILE, 2' x 2' IN SUITES [12" x 12" IN COMMON CORRIDORS-G.C. TO VERIFY] SPEC #1
- 2' x 4' PARABOLIC FLUORESCENT FIXTURE REMOVE
- 2' x 4' PARABOLIC FLUORESCENT NIGHT LIGHT FIXTURE REMOVE
- 1-WAY CEILING MOUNTED SENSOR SPEC #6
- 2-WAY CEILING MOUNTED SENSOR SPEC #6
- WALL MOUNTED SENSOR, W/ INTEGRAL OVERRIDE BUTTON SPEC #5
- DOUBLE TOGGLE OVERRIDE SWITCH. SPEC #4
- EXIT SIGN SPEC #3
- TEMPERATURE CONTROLLED EXHAUST FAN SEE KEYNOTE K2
- J-BOX ABOVE CEILING
- FIRE STROBE
- FIRE LIFE SAFETY SPEAKER NOT SHOWN ON ARCHITECTURAL PLANS. G.C. TO PROVIDE AS REQUIRED-SEE ENGINEERING PLANS.
- SMOKE DETECTOR
- FIRE LIFE SAFETY OBJECT NOTE #15

- D DEMOLISH N NEW
 - R RELOCATED ER EXISTING TO BE RELOCATED
- ALL ITEMS ARE EXISTING TO REMAIN, U.O.N.

PROJECT



TENANT

TRAINING CONSULTANTS
SUITE 225

AGREED: _____ DAY OF _____, 2012

TENANT: _____

BY: _____

TITLE: _____

COMMENT: _____

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

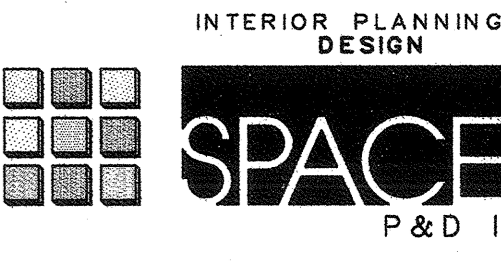
THIS DRAWING INCLUDES THE ACCOMPANYING SPECIFICATIONS AS INSTRUMENTS OF SERVICE AND THE EXCLUSIVE PROPERTY OF SPACES AND THEIR USE AND REPRODUCTION IS RESTRICTED TO THE ORIGINAL SPACE OF SUITE FOR WHICH THEY WERE PREPARED. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED EXCEPT BY WRITTEN CONSENT FROM SPACES WITHOUT PREJUDICE AND WITHOUT CONTACT WITH THEM SHALL CONSTITUTE FRAUD UNDER ACCEPTANCE OF THEIR RESTRICTIONS.

Plan check completed 11/23/11 225+227(6B) 03/14/12

NO.	REVISION	DATE
1	TENANT REVISIONS RSP	03.07.12
2	TENANT REVISIONS MS/A-1, 3	02.29.12
3	PLAN CHECK CORRECTIONS MS/A-1, K9 & K15	02.13.12
4	PLAN CHECK CORRECT/MS KB&14/A-1, CRDRR/A-3	01.31.12
5	TENANT REVISION	01.25.12
6	PLAN CHECK SUBMITTAL	01.25.12
7	RELEASED FOR ENGINEERING	01.13.12

NO.	DESCRIPTION	DATE
1	REVISIONS	

DRAWN BY: RP/MS
DATE: 10.06.11
CHECKED BY: RP
PRINT DATE: 01.20.12



17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-cc.com

SQUARE FOOTAGE

USABLE: 5,486 SF

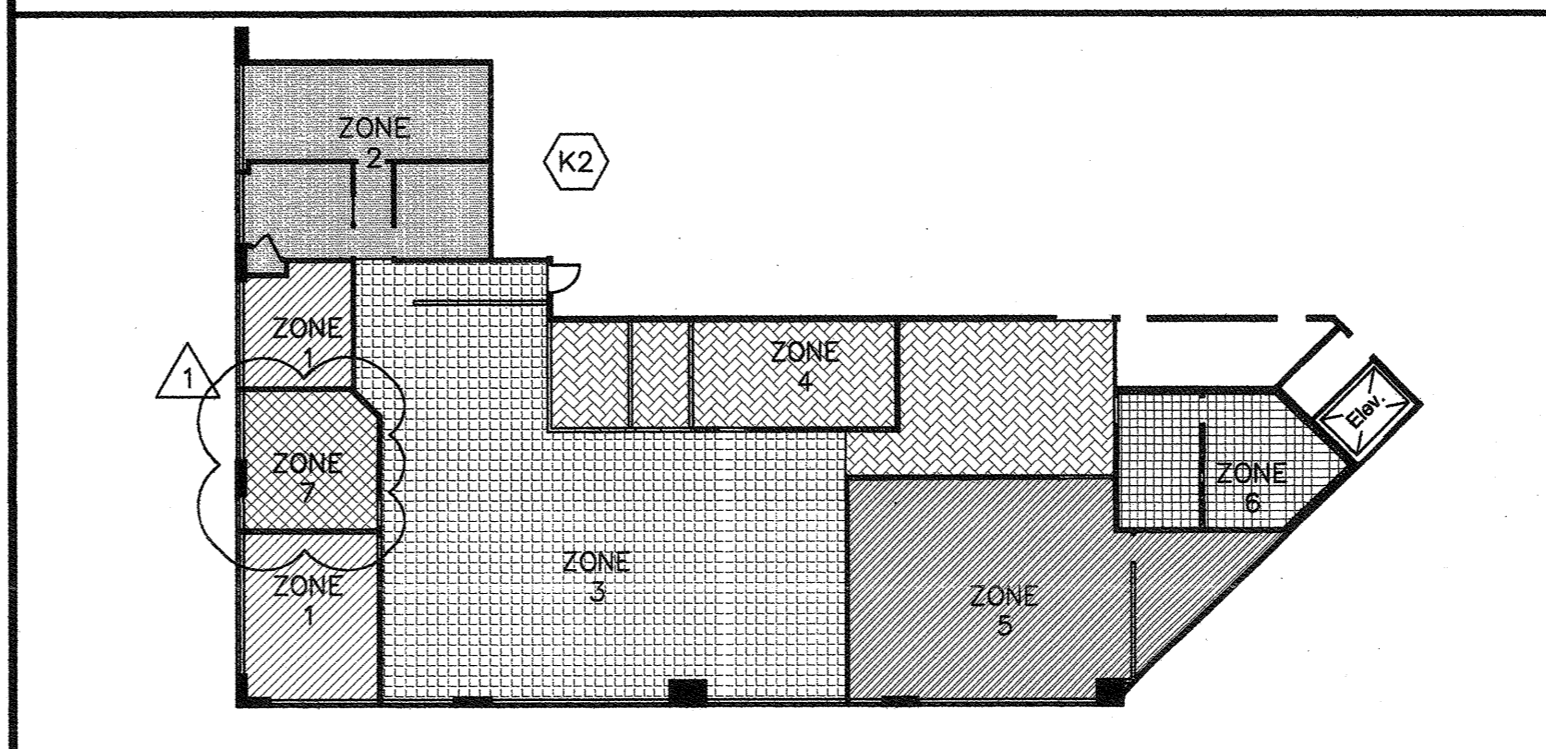
SECOND FLOOR REFLECTED CEILING PLAN

Sheet Title

Project Number 2778.15

Sheet Number A-2

HVAC ZONE PLAN:



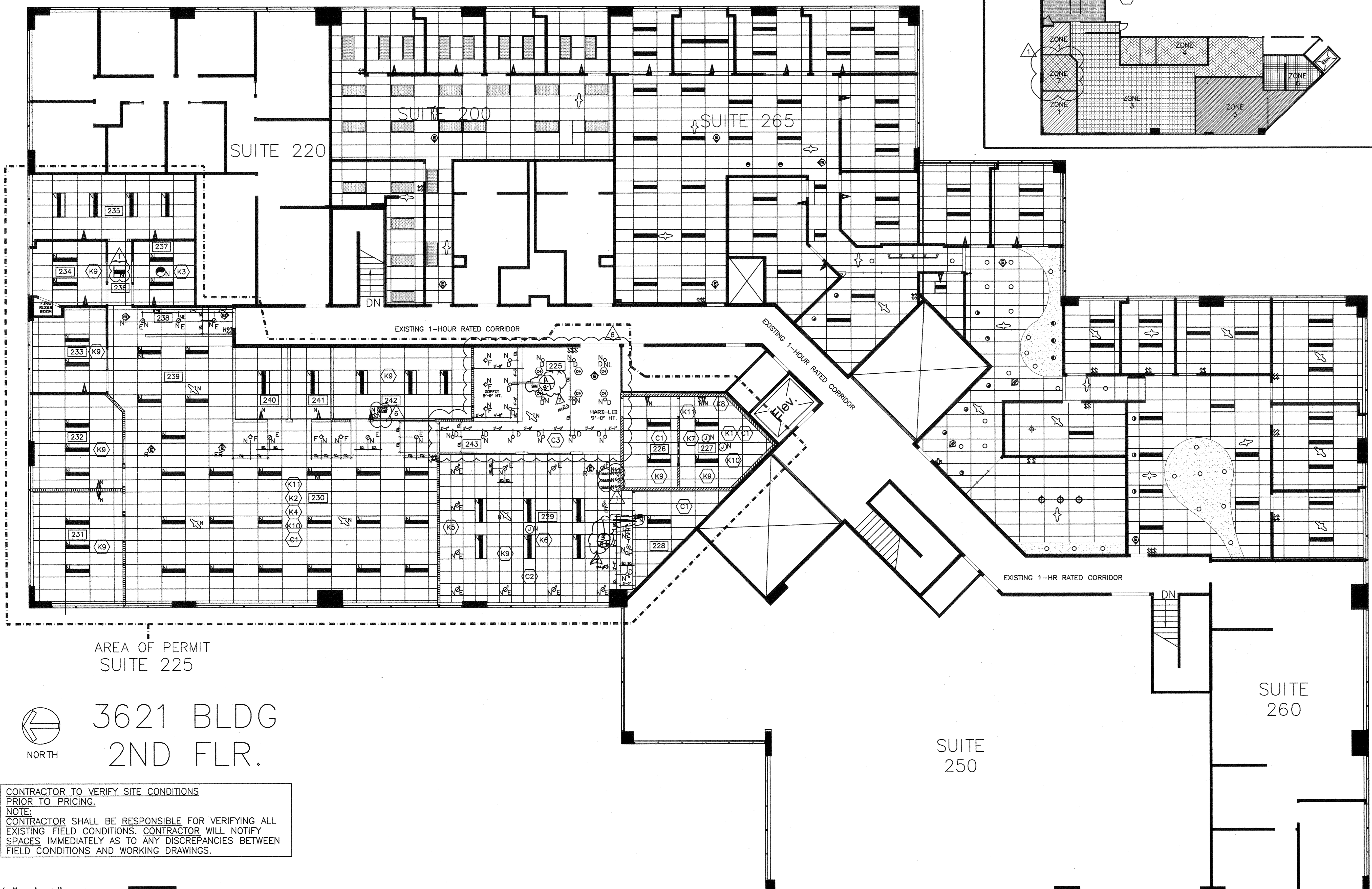
BUILDING STANDARD SPECIFICATIONS

- CEILING TILE: MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH. G.C. TO VERIFY. SUSPENDED CEILING GRID: TO MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH. G.C. TO VERIFY. SUPPRESSION SYSTEM TO COMPLY WITH ASTM C635 SPECIFICATIONS. COMPRESSION STRUTS TO CONFORM TO TITLE 24.
- RECESSED 2' X 4' FLUORESCENT FIXTURE: MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH U.O.N. PROVIDE EARTHQUAKE CLIPS AND WIRE AS REQUIRED. "NL" DENOTES FIXTURE WITH BACK-UP BATTERY PACK FOR NIGHT-LIGHT. G.C. TO VERIFY.
- EXIT SIGN: PROVIDE AS NEEDED PER CODES. MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH. CEILING MOUNTED. EQUIP WITH BACK-UP POWER.
- SWITCHES: MATCH BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH. SWITCHES PAIRED IN DOUBLE GANG BOX. PROVIDE A/B OR OVERRIDE SWITCHING AS APPLICABLE TO MEET TITLE 24 REQUIREMENTS.
- WALL MOUNTED MOTION SENSOR/SWITCH: MATCH EXISTING BUILDING STANDARD SETUP IN MANUFACTURER, STYLE, AND FINISH.
- CEILING MOUNTED MOTION SENSORS: MATCH EXISTING BUILDING STANDARD IN MANUFACTURER, STYLE, AND FINISH.
- DOWNLIGHTS: SEE SPECS
- FIRE SPRINKLERS: EXISTING TO REMAIN/PROVIDE AS REQUIRED PER CODES. G.C. TO VERIFY. IF NEW ARE REQUIRED, THEY ARE TO MATCH BUILDING STANDARD. SEE SPRINKLER SHOP DRAWINGS FOR SPECIFICATIONS.
- SMOKE DETECTOR: NOT SHOWN IN SUITES, PROVIDE IF/AS REQUIRED BY CODES. G.C. TO VERIFY. SPECIFICATION TO BE PROVIDED BY FIRE LIFE SAFETY ENGINEER. MATCH EXISTING U.O.N.
- FIRE LIFE SAFETY SPEAKERS & STROBES: PROVIDE IF/AS REQUIRED BY CODES. G.C. TO VERIFY. EXISTENCE & LOCATION, SPECIFICATION TO BE PROVIDED BY FIRE LIFE SAFETY ENGINEER. MATCH EXISTING U.O.N.

BUILDING STANDARD NOTES:

- GENERAL:**
- VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
 - ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
 - ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED ON AUTOCAD. PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS. NO DXF FILES.
 - COMBINE ALL MECHANICAL, HVAC, ELECTRICAL, AND FIRE LIFE SAFETY WITHIN EXPANDED SUITE. IF NOT ALREADY, SEPARATE THESE SYSTEMS FROM THOSE OF ADJACENT SUITES.
 - G.C. TO VERIFY HVAC CONDITIONS/ZONING WITH BUILDING ENGINEER TO ENSURE ADEQUACY OF EXISTING UNITS FOR SUITE. ANY ADDITIONS TO HVAC EQUIPMENT SHALL BE INCLUDED IN SCOPE AND BID FOR PROPOSED WORK. G.C. TO REPAIR DUCTS AS REQUIRED. EXISTING HVAC GRILLS ARE TO BE REBALANCED. ALL EXISTING SUPPLY & RETURN AIR GRILLS ARE TO BE CLEANED, REPAIRED, AND REPAINTED (AS NEEDED) TO MATCH CEILING FOR CONTINUOUS UNIFORM APPEARANCE. REPLACE WITH NEW ONLY AS REQUIRED.
- CEILING GRID, TILES, LIGHTS, SWITCHES:**
- ALL SUSPENDED T-BAR IS EXISTING TO REMAIN. U.O.N. CLEAN/PATCH/REPAIR AS REQUIRED.
 - ALL ACOUSTICAL CEILING TILES ARE EXISTING TO REMAIN. U.O.N. TRIM/PATCH/REPLACE AS REQUIRED AND UNIFORM APPEARANCE THROUGHOUT SUITE AS REQUIRED WITH BUILDING STANDARD TILES.
 - SEE SHEET A-1 FOR HEIGHTS & CONSTRUCTION OF NEW WALLS. TRIM CEILING GRID AND TILES AS NEEDED.
 - LIGHT FIXTURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED. G.C. TO ALLOW FOR MINIMUM LIGHT LEVEL OF ONE (1) FIXTURE PER EIGHTY (80) SQUARE FEET U.O.N. REPAIR/REPLACE FIXTURES AS REQUIRED. ALL EXISTING FIXTURES TO BE CLEANED, G.C. TO RELAMP AND REPLACE LENSES WITH BUILDING STANDARD ONLY PER DIRECTION OF LANDLORD.
- FIRE LIFE SAFETY & STRUCTURAL:**
- ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID.
 - PROVIDE EXIT SIGNS, SMOKE DETECTORS & LIFE SAFETY AS REQUIRED PER CODES. NEW TO MATCH EXISTING BUILDING STANDARD. U.O.N. G.C. TO VERIFY ALL ARE OPERATIONAL. PROVIDE 24 HOUR BATTERY PACK FOR EXIT SIGNS, IF REQUIRED. VERIFY AND REUSE EXISTING FIRE LIFE SAFETY ITEMS IF POSSIBLE-SEE ENGINEERING PLANS (IF NOT SHOWN ON THIS PLAN).
 - FIRE SPRINKLER DRAWINGS TO BE SUBMITTED TO SPACES ONE WEEK PRIOR TO ANY CONSTRUCTION. NO EXCEPTIONS. CONTRACTOR RESPONSIBLE FOR DELIVERING DRAWINGS TO SPACES. FIRE SPRINKLERS TO BE LOCATED TO MEET CITY FIRE DEPT. REQUIREMENTS.
 - WHERE ABOVE-CEILING WALLS HAVE BEEN DEMOLISHED, CEILING GRID AND TILES TO BE MODIFIED AND/OR REPLACED AS REQUIRED.
 - WHERE WALLS HAVE BEEN DEMOLISHED OR NEW CEILINGS ADDED REINFORCE CEILING GRID WITH COMPRESSION STRUTS PER 2010 CBC.
 - PROVIDE BRACING AT CEILING AND THE WIRES AT FIXTURES TO MEET CBC/BOCA/LOCAL CODES. CONFIRM EXISTING CONDITIONS.
 - PROVIDE NATURAL VENTILATION PER SECTION 1203.4 AND NATURAL OR ARTIFICIAL LIGHTING PER SECTION 1205 OF CBC. IN LIEU OF NATURAL VENTILATION PROVIDE MECHANICAL VENTILATION PER CALIFORNIA MECHANICAL CODE. SEE MECHANICAL ENGINEERING DRAWINGS FOR HVAC COMPLIANCE.

MATERIALS:
ON ALL CONSTRUCTION PROJECTS WITH LIGHTING SCOPE, THE LAND LORD (ARDEN REALTY) REQUIRES THE ELECTRICAL SUBS RECEIVE THEIR MATERIALS FROM F.S.G. (FACILITY SOLUTIONS GROUP) ONLY. THE F.S.G. CONTACT PERSON: ROGER HEINING, ACCOUNT REPRESENTATIVE, CELL: (909) 519-7011, OFFICE: 800.285.0439, rpgar.heining@fsfg.com

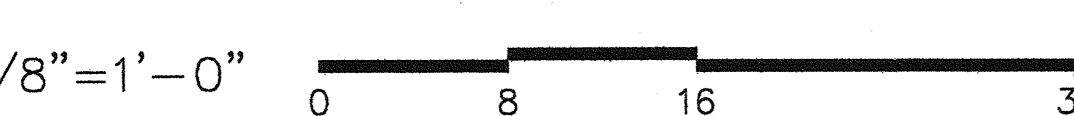


AREA OF PERMIT SUITE 225

3621 BLDG 2ND FLR.

NORTH

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.
NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.



CARD READER NOTES:

DOORS AND CARD READERS SHALL COMPLY WITH THE 2010 CALIFORNIA BUILDING CODE, INCLUDING SECTION 1008.1.4.4, WHICH STATES:

"ACCESS-CONTROLLED EGRESS DOORS, THE ENTRANCE DOORS IN A MEANS OF EGRESS IN BUILDINGS WITH AN OCCUPANCY IN GROUP A, B, M, R-1, OR R-2 AND ENTRANCE DOORS TO TENANT SPACES IN OCCUPANCIES IN GROUPS A, B, M, R-1 AND R-2 THAT ARE EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.3.1.1 AND APPROVED AUTOMATIC SMOKE DETECTION SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 907, ARE PERMITTED TO BE EQUIPPED WITH AN APPROVED ENTRANCE AND EGRESS ACCESS CONTROL SYSTEM WHICH SHALL BE INSTALLED IN ACCORDANCE WITH ALL OF THE FOLLOWING CRITERIA:

1. A SENSOR SHALL BE PROVIDED ON THE EGRESS SIDE ARRANGED TO DETECT AN OCCUPANT APPROACHING THE DOORS. THE DOORS SHALL BE ARRANGED TO UNLOCK BY A SIGNAL FROM OR LOSS OF POWER TO THE SENSOR.
2. LOSS OF POWER TO THAT PART OF THE ACCESS CONTROL SYSTEM WHICH LOCKS THE DOORS SHALL AUTOMATICALLY UNLOCK THE DOORS.
3. THE DOORS SHALL BE ARRANGED TO UNLOCK FROM A MANUAL UNLOCKING DEVICE LOCATED 40 INCHES TO 48 INCHES (1016 MM TO 1219 MM) VERTICALLY ABOVE THE FLOOR AND WITHIN 5 FEET (1524 MM) OF THE SECURED DOORS. READY ACCESS SHALL BE PROVIDED TO THE MANUAL UNLOCKING DEVICE AND THE DEVICE SHALL BE CLEARLY IDENTIFIED BY A SIGN THAT READS "PUSH TO EXIT" WHEN OPERATED. THE MANUAL UNLOCKING DEVICE SHALL RESULT IN DIRECT INTERRUPTION OF POWER TO THE LOCK-INDEPENDENT OF THE ACCESS CONTROL SYSTEM.
4. ACTIVATION OF THE BUILDING FIRE ALARM SYSTEM, SHALL AUTOMATICALLY UNLOCK THE DOORS, AND THE DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.
5. ACTIVATION OF THE BUILDING AUTOMATIC SPRINKLER OR FIRE DETECTION SYSTEM, SHALL AUTOMATICALLY UNLOCK THE DOORS. THE DOORS SHALL REMAIN UNLOCKED UNTIL THE FIRE ALARM SYSTEM HAS BEEN RESET.
6. ENTRANCE DOORS IN BUILDINGS WITH AN OCCUPANCY IN GROUP A, B, OR M SHALL NOT BE SECURED FROM THE EGRESS SIDE DURING PERIODS THAT THE BUILDING IS OPEN TO THE GENERAL PUBLIC."

FIRE DEPARTMENT REQUESTED NOTE:
DOORS WITH CARD READERS TO BE FAIL-SAFE IN THE DIRECTION OF EGRESS TRAVEL.

N/A

BUILDING STANDARD NOTES:

13. DEDICATED/ISOLATED OUTLETS TO BE COLOR CODED ORANGE OR TO MATCH BUILDING STANDARD.
14. ALL OUTLETS TO BE OPERATIONAL. TYPICAL SPACING FOR ALL NEW OUTLETS IS 6" FROM EACH OTHER. NO BACK TO BACK OUTLETS. OUTLETS TO BE VERTICAL AND CENTERED AT 18" A.F.F. U.O.N.
15. NEW SWITCHES TO BE LOCATED NOT MORE THAN 8" FROM DOOR FRAME U.O.N. MOUNT @ 42" A.F.F.
16. PATCH AND PAINT DRYWALL WHERE EXISTING ELECTRICAL IS TO BE REMOVED. BLANK PLATES SHALL NOT BE PERMITTED. REMOVE EXISTING BLANK PLATES.
17. TENANT TO SPECIFY ALL REQUIREMENTS NEEDED FOR THEIR APPLIANCES AND EQUIPMENT. G.C. TO PROVIDE ALL REQUIRED ELECTRICAL & PLUMBING.
18. ALL TELE/DATA, TELEPHONE AND DATA OUTLETS ARE TO BE 3/4" CONDUIT IN A SINGLE RUN TO BE STUBBED OUT AT 6" ABOVE THE FINISHED CEILING. NO LOOPING. WHEN A TELE/DATA OR DATA OUTLET IS INDICATED NEXT TO AN ELECTRICAL OUTLET, THE ENGINEER MUST NOT PROVIDE MORE THAN 4 OUTLETS PER BREAKER. NO OUTLETS FOR ANY OTHER USE ARE TO BE PROVIDED ON THE SAME BREAKERS WITH DATA/CRT ELECTRICAL OUTLETS. TWO SPARE BREAKERS ARE TO REMAIN FOR THE BUILDING ENGINEER'S USE. ALL SPECIFICATIONS FOR EQUIPMENT THAT IS DIFFERENT FROM THE ARCHITECTURAL DRAWINGS ARE TO BE INDICATED ON THE ENGINEERING DRAWINGS. SEE ENGINEERED DRAWINGS FOR CONDUIT SIZE AND CONNECTION.
19. TELEPHONE AND DATA CABLING:
ALL EXISTING TELEPHONE/DATA CABLING IS TO BE REMOVED. U.O.N.
20. TENANT AND TENANT'S SUBCONTRACTOR ARE RESPONSIBLE FOR INSTALLATION OF TELE/DATA CABLING. CABLING TO BE PLENUM RATED AND SUSPENDED FROM THE STRUCTURE ABOVE. CABLING MAY NOT REST ON THE CEILING GRID OR BE ATTACHED TO ANY OTHER ELEMENTS ABOVE THE CEILING GRID EXCEPT THE STRUCTURE ABOVE.
21. FURNITURE IS A SCHEMATIC LAYOUT AND FOR REFERENCE ONLY. TENANT TO PROVIDE. TENANT & TENANT'S VENDOR TO PROVIDE EXACT LOCATIONS & SIZES OF FURNITURE SYSTEMS AND LOCATIONS FOR & TYPES OF OUTLETS & FURNITURE WHIPS. EXACT CRITICAL DIMENSIONED LOCATIONS OF ALL ELECTRICAL & TELE/DATA PANEL FEEDS TO BE PROVIDED TO SPACES/G.C. PRIOR TO INSTALLATION. G.C. RESPONSIBLE FOR HARDWIRE CONNECTIONS TO BUILDING POWER.

BUILDING STANDARD NOTES:

- GENERAL:**
1. VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
 2. ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
 3. ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED ON AUTOCADD. PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS. NO DXF FILES.
 4. ALL SUITES TO RECEIVE TELEPHONE BACKBOARD (IF NOT EXISTING OR U.O.N.) PROVIDE 1 (ONE) SEPARATE CIRCUIT & 1 (ONE) 2" CONDUIT TO BASE BUILDING TELEPHONE, SAND AND PAINT BACKBOARD.
 5. ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID. G.C. TO VERIFY EXISTING FIRE EXTINGUISHERS, AND PROVIDE NEW AS NEEDED PER CODES (IN NUMBER, TYPE, & LOCATION).
 6. G.C. TO VERIFY CAPACITY OF EXISTING ELECTRICAL PANEL/ TRANSFORMERS IS ADEQUATE FOR PROPOSED WORK. IF ANY ADDITIONS TO ELECTRICAL CAPACITY OF BUILDING IS REQUIRED IT SHALL BE INCLUDED IN SCOPE AND BID FOR PROPOSED WORK.
 7. ALL OFFICES TO HAVE A MINIMUM OF TWO DUPLEX OUTLETS, ONE TELEPHONE OUTLET AND ONE DATA OUTLET, U.O.N.
 8. REPAIR AND/OR REPLACE EXISTING CONDITIONS/FINISHES WITH BUILDING STANDARD FINISHES AND MATCH THROUGHOUT AREA OF PERMIT.
 9. ALL EXISTING HANDICAPPED FACILITIES (INCLUDING HEIGHT OF OUTLETS) SHALL MEET OR COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS.
 10. COMBINE ALL MECHANICAL, HVAC, ELECTRICAL, AND FIRE LIFE SAFETY WITHIN SUITE, IF NOT ALREADY EXISTING. SEPARATE THESE SYSTEMS FROM ADJACENT SUITES.
- ELECTRICAL:**
11. ALL ELECTRICAL/TELEDATA OUTLETS ARE EXISTING TO REMAIN. U.O.N.
 12. ALL OUTLETS TO HAVE COVER PLATES. IF DAMAGED OR MISSING, G.C. TO PROVIDE NEW COVER PLATES TO MATCH EXISTING. ALL ELECTRICAL OUTLETS ARE TO MATCH EXISTING IN COLOR & ORIENTATION. G.C. TO REPLACE ALL OUTLETS & PLATES THAT ARE NON-CONSISTENT. REPLACE MISSING SCREWS.

A-3 KEY NOTES:

- (K1) PANEL WORK STATIONS BY THE TENANT. - CIRCUIT, - WIRE, FURNITURE VENDOR TO PROVIDE WHIP CONNECTIONS & G.C. TO HOT WIRE. EXACT LOCATION OF CONNECTIONS TO BE DETERMINED DURING CONSTRUCTION. WORK STATION LAYOUT TO BE DETERMINED.
- (K2) PROVIDE J-BOX CONNECTIONS AND POWER (ABOVE CEILING) FOR TENANT'S VENDOR PROVIDED EQUIPMENT IN STUDIO ROOM. ALL EQUIPMENT AND PLACEMENT TO BE DETERMINED.
- (K3) PROVIDE CONDUIT CONNECTION FROM TELE/DATA ROOM TO SUITE 150 (BELOW) FOR TENANT DATA AND TELEPHONE CABLING BETWEEN THE TWO SUITES. CONDUIT SIZE TO BE DETERMINED PER TENANT'S CABLING NEEDS.
- (K4) PROVIDE & INSTALL A TEMPERATURE CONTROLLED EXHAUST FAN WITH DOOR VENT IN THE TELE/DATA ROOM.
- (K5) PROVIDE BACKING SUPPORT WITH POWER, CONDUIT FOR DATA AND CABLE CONNECTIONS FOR WALL MOUNTED T.V. HEIGHT TO BE VERIFIED WITH TENANT DURING CONSTRUCTION.
- (K6) PROVIDE FLUSH FLOOR OUTLET WITH POWER AND TELE AND DATA CONNECTIONS. EXACT SPEC AND LOCATION TO BE DETERMINED DURING CONSTRUCTION.
- (K7) PROVIDE CONDUIT AND DOOR OPEN FOR TENANT'S VENDOR TO INSTALL CARD READERS. SPEC'S AND PLACEMENT MUST BE CODE COMPLIANT. OMIT HEIGHT OF CARD READERS TO BE BETWEEN 36"-44" A.F.F. PER G.C.C. SECTION 1008.1.4.4.
- (K8) PROVIDE AND INSTALL NEW ELECTRIC 12" PROJECTION SCREEN. SPEC-OR-LITE OR SIMILAR (TENANT TO SELECT PER THEIR NEEDS)
- (K9) PROVIDE J-BOX CONNECTION FOR TENANT PROVIDE PROJECTOR.

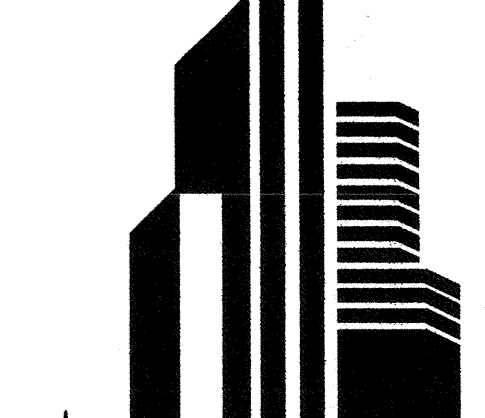
LEGEND:

- ⊖ DUPLEX WALL OUTLET
 - ⊖ SC DUPLEX WALL OUTLET - SEPARATE CIRCUIT
 - ⊖ QD QUADRAPLEX WALL OUTLET
 - ⊖ BB TELE/DATA WALL OUTLET 3/4" CONDUIT SEE SPEC. #3
 - ⊖ BB TELEPHONE BACKBOARD SEE SPEC. #1
 - ⊖ J-BOX WALL OUTLET PANEL FEED - PANEL SYSTEM BY TENANT G.C. TO HOT-WIRE. SEE ENGINEERING FOR CONDUIT SIZE
 - ⊖ J-BOX FLOOR OUTLET PANEL FEED - PANEL SYSTEM BY TENANT G.C. TO HOT-WIRE. SEE ENGINEERING FOR CONDUIT SIZE
 - ⊖ FM FLUSH MOUNTED FLOOR TELEPHONE/DATA OUTLET AND FLUSH MOUNTED FLOOR ELECTRICAL OUTLET
 - FE FIRE EXTINGUISHERS, PROVIDE AS NEEDED SEE SPEC. #2
 - COPPER WATER LINE
 - ⊖ S SWITCH FOR GARBAGE DISPOSAL
 - ⊖ CA CABLE CONNECTION SEE KEYNOTE K2
 - ER EXISTING TO BE RELOCATED
 - R RELOCATED
 - D DEMOLISH
 - N NEW
- ALL ITEMS TO REMAIN UNLESS OTHERWISE NOTED

SPECIFICATIONS

1. TELEPHONE BACKBOARD: (DEMO/NEW) 4' x 4' x 3/4" FIRE TREATED PLYWOOD TELEPHONE BACKBOARD. SAND AND PAINT TO MATCH WALL. PROVIDE ONE (1) 2" CONDUIT RUN TO BASE BUILDING TELEPHONE ROOM WITH ONE (1) SEPARATE CIRCUIT DUPLEX OUTLET. MOUNT AT FINISHED CEILING.
2. FIRE EXTINGUISHER: (NEW) TO MATCH BUILDING STANDARD. PROVIDE AS NEEDED IF NOT EXISTING.
3. TELEPHONE WALL OUTLETS: STANDARD GANG BOX WITH 3/4" CONDUIT TO TERMINATE 6" ABOVE CEILING LINE WITH PULLSTRING. INSTALL BOX VERTICALLY 17" A.F.F. TO CENTER LINE OF OUTLET. NEW TO MATCH EXISTING.
4. SINGLE SINK & FAUCET: (NEW) ALL COMPONENTS TO BE TITLE 24 COMPLIANT AS NEEDED. "JUST" BRAND:
 - SINK: #SL-ADA-1921-A-GR SINGLE ADA BOWL WITH CENTER DRAIN, 8 1/2" DEEP.
 - FAUCET: #UTR-51-WA OR SIMILAR
 - DRAIN SYSTEM: #J-ADA-35 WITH OVERFLOW SYSTEM IF REQUIRED, AND
 - DRAIN INSULATOR KIT: #J-ADA-150 OR SIMILAR INSULATION IF/AS REQUIRED BY CODES. INCLUDE ALL NECESSARY PLUMBING AS NEEDED. MODIFY STANDARD CONSTRUCTION IF/AS NEEDED TO ALLOW FOR INSTALLATION OF GARBAGE DISPOSAL, IF SPECIFIED.
5. GARBAGE DISPOSAL: (NEW) IN-SINK-ERATOR, MODEL: "EVOLUTION" SERIES, "EVOLUTION COMPACT". BLACK ENAMEL FINISH, 8" DIAMETER, 12-1/8" DEEP. SINGLE PHASE, 3/4 H.P., 120V, 60HZ, 8.1 AMPS, PROVIDE SEPARATE CIRCUIT OUTLET AND WALL SWITCH.
6. INSTANTHOT: (NEW) CHROMIUM INSTANTANEOUS HOT WATER HEATER, UNDER CABINET MOUNT, MODEL #SR-30, B320W, 277 VOLTS, 30 BREAKER. INSTALL WITH 1/4" COPPER WATER LINE & PROVIDE SEPARATE CIRCUIT OUTLET AS NEEDED.
7. PANEL FURNITURE: (NEW) TO BE PROVIDED BY TENANT. G.C. TO PROVIDE POWER AND TO HARDWIRE SYSTEM. TENANT TO PROVIDE "WHIPS". SEE A-3 FOR LOC.
8. REFRIGERATOR W/ ICE MAKER: (NEW) TO BE PROVIDED BY G.C. AND G.C. TO PROVIDE COPPER WATER LINE.
9. COFFEE MAKER: (NEW) TO BE PROVIDED BY TENANT. G.C. TO PROVIDE COPPER WATER LINE.
10. DISHWASHER: (NEW) G.C. TO PROVIDE & INSTALL NEW ADA ASKO SELF HEATING: D5122ADA. COLOR: T.B.D.
11. MICROWAVE: (NEW) TENANT TO PROVIDE AND MILL WORK TO HAVE A BUILT-IN CUBBIE SIZE AND TYPE: TBD
12. COPIER: (NEW) BY TENANT.

PROJECT



ARDEN REALTY, INC.
HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS
SUITE 225

AGREED:
ACCEPTED THIS ___ DAY OF ___, 2012

TENANT: _____
BY: _____

TITLE: _____

COMMENT:
UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

NO.	DESCRIPTION	DATE
▲	TENANT REVISIONS RSP	03.07.12
▲	TENANT REVISIONS MS/A-1, 3	02.28.12
▲	PLAN CHECK CORRECTIONS MS/A-1...K9 & K15	02.13.12
▲	PLAN CHECK CORRECT./MS K9&14/A-1, CRDRDR/A-3	01.31.12
▲	TENANT REVISION	01.25.12
▲	PLAN CHECK SUBMITTAL	01.25.12
▲	RELEASED FOR ENGINEERING	01.13.12

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▲	TENANT REVISIONS RSP	03.07.12
▲	TENANT REVISIONS MS/A-1, 3	02.28.12
▲	PLAN CHECK CORRECTIONS MS/A-1...K9 & K15	02.13.12
▲	PLAN CHECK CORRECT./MS K9&14/A-1, CRDRDR/A-3	01.31.12
▲	TENANT REVISION	01.25.12
▲	PLAN CHECK SUBMITTAL	01.25.12
▲	RELEASED FOR ENGINEERING	01.13.12

ALL CALIFORNIA COUNCIL FOR REGISTERED PROFESSIONAL ARCHITECTS

CCID/C

RANDOLPH S. PATRICK
REGISTERED PROFESSIONAL ARCHITECT
NO. 118888 VIRADITUM

DRAWN: RP/MS
DATE: 10.06.11
CHECKED: RP
PRINT DATE: 01.20.12

INTERIOR PLANNING & DESIGN

SPACES
P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE
USABLE: 5,486 SF

SECOND FLOOR
TELEPHONE/ELECTRICAL PLAN

Sheet Title
Project Number 2778.15
Sheet Number A-3

LIVE LOADS...

* G.C. TO ENSURE COMPLIANCE WITH C.B.C. SECTION 1607.3.5.5: "LIVE LOADS POSTED. THE LIVE LOADS FOR WHICH EACH FLOOR OR PORTION THEREOF OF A COMMERCIAL OR INDUSTRIAL BUILDING IS OR HAS BEEN DESIGNED SHALL HAVE SUCH DESIGN LIVE LOADS CONSPICUOUSLY POSTED BY THE OWNER IN THAT PART OF EACH STORY IN WHICH THEY APPLY, USING DURABLE METAL SIGNS, AND IT SHALL BE UNLAWFUL TO REMOVE OR DEFACE SUCH NOTICES. THE OCCUPANT OF THE BUILDING SHALL BE RESPONSIBLE FOR KEEPING THE ACTUAL LOAD BELOW THE ALLOWABLE LIMITS."

TO THAT END...

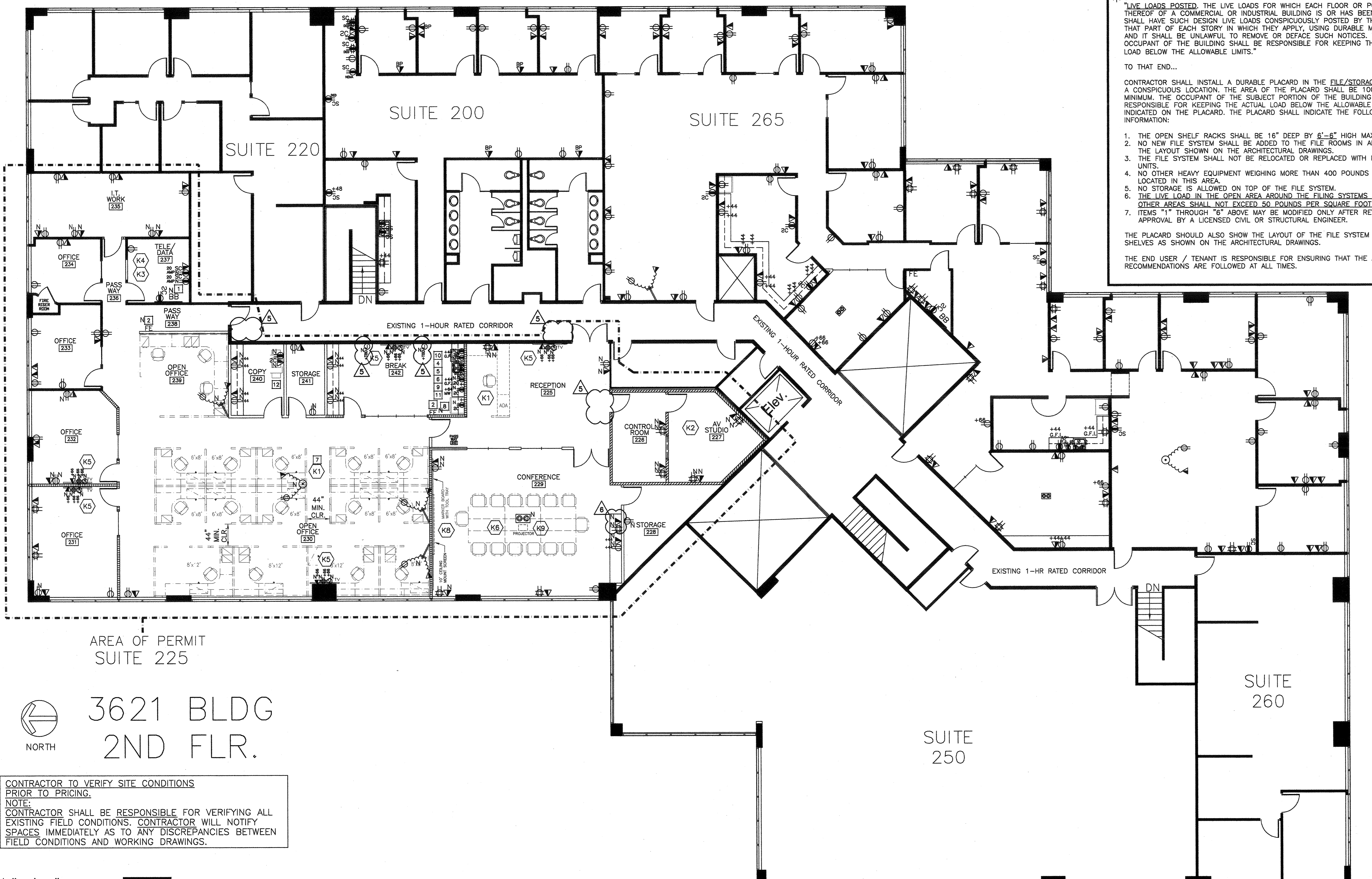
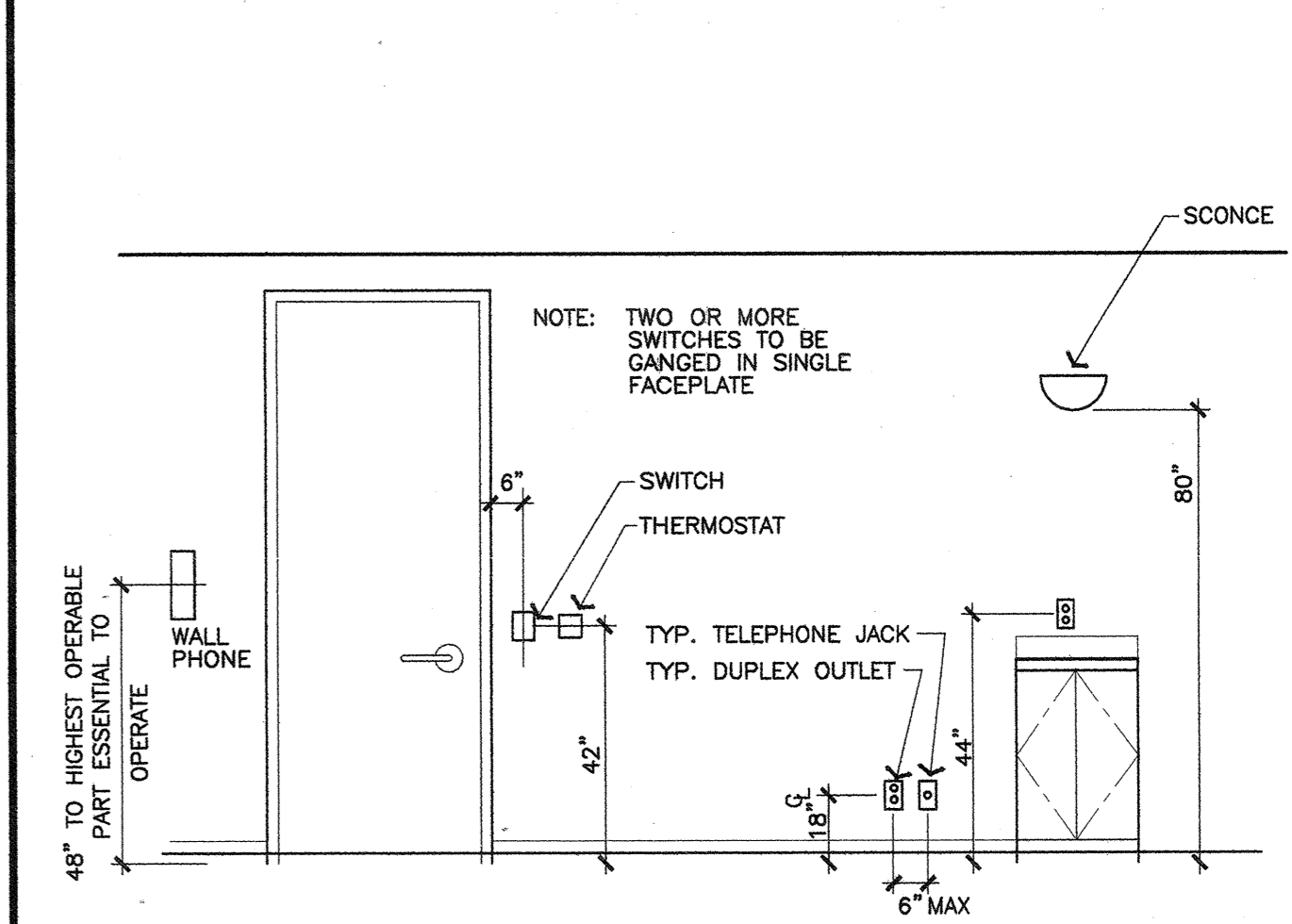
CONTRACTOR SHALL INSTALL A DURABLE PLACARD IN THE FILE/STORAGE ROOM AT A CONSPICUOUS LOCATION. THE AREA OF THE PLACARD SHALL BE 100 SQ. INCHES MINIMUM. THE OCCUPANT OF THE SUBJECT PORTION OF THE BUILDING SHALL BE RESPONSIBLE FOR KEEPING THE ACTUAL LOAD BELOW THE ALLOWABLE LIMITS INDICATED ON THE PLACARD. THE PLACARD SHALL INDICATE THE FOLLOWING INFORMATION:

1. THE OPEN SHELF RACKS SHALL BE 16" DEEP BY 6"-6" HIGH MAXIMUM.
2. NO NEW FILE SYSTEM SHALL BE ADDED TO THE FILE ROOMS IN ADDITION TO THE LAYOUT SHOWN ON THE ARCHITECTURAL DRAWINGS.
3. THE FILE SYSTEM SHALL NOT BE RELOCATED OR REPLACED WITH HEAVIER UNITS.
4. NO OTHER HEAVY EQUIPMENT WEIGHING MORE THAN 400 POUNDS SHALL BE LOCATED IN THIS AREA.
5. NO STORAGE IS ALLOWED ON TOP OF THE FILE SYSTEM.
6. THE LIVE LOAD IN THE OPEN AREA AROUND THE FILING SYSTEMS AND IN ALL OTHER AREAS SHALL NOT EXCEED 50 POUNDS PER SQUARE FOOT (PSF).
7. ITEMS "1" THROUGH "6" ABOVE MAY BE MODIFIED ONLY AFTER REVIEW AND APPROVAL BY A LICENSED CIVIL OR STRUCTURAL ENGINEER.

THE PLACARD SHOULD ALSO SHOW THE LAYOUT OF THE FILE SYSTEM AND BOOK SHELVES AS SHOWN ON THE ARCHITECTURAL DRAWINGS.

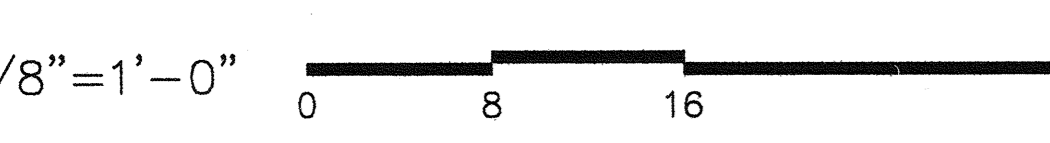
THE END USER / TENANT IS RESPONSIBLE FOR ENSURING THAT THE ABOVE RECOMMENDATIONS ARE FOLLOWED AT ALL TIMES.

TYPICAL OUTLET DIMENSIONS



3621 BLDG
2ND FLR.

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.
NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.



DOOR SCHEDULE

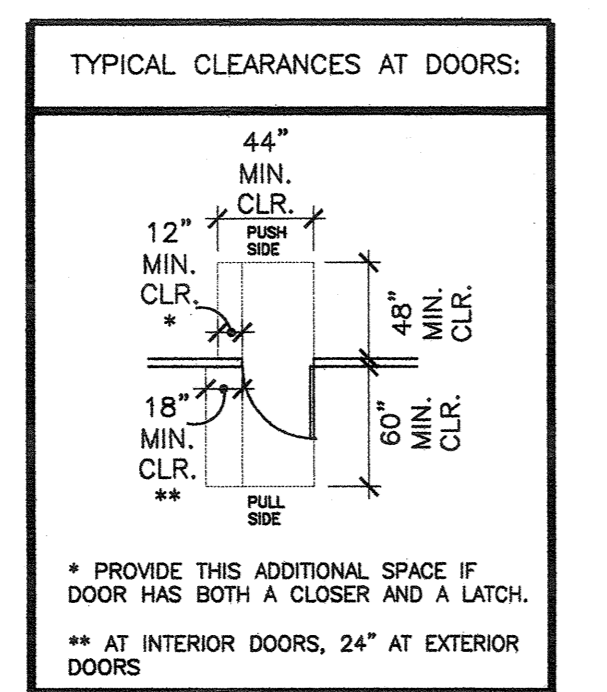
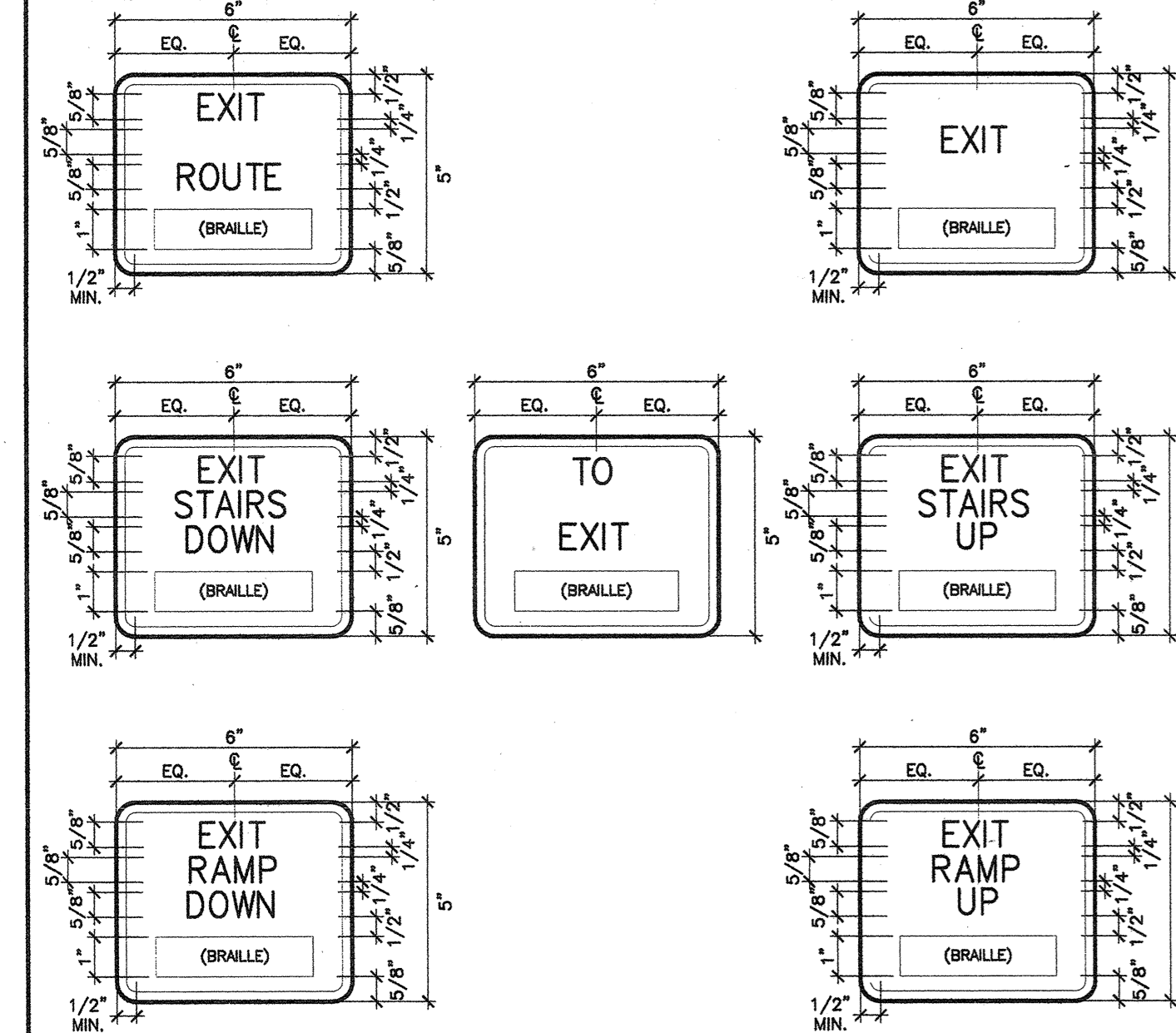
NUMBER	ROOM NAME	DOORS			FRAMES				HARDWARE	LABEL	REMARKS
		WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	HEAD	JAMB			
226	CONTROL ROOM	3'-0"	8'-0"	1/2"	H	GLS	-	-	NONE	6	N.R.
229	CONFERENCE	3'-0" PAIR	9'-0"	1/2"	F	GLS	-	-	NONE	6	N.R.
231	OFFICE	3'-0"	8'-0"	1 3/4"	C	WD	18	13	ALUM.	4	N.R.
232	OFFICE	3'-0"	8'-0"	1 3/4"	C	WD	18	13	ALUM.	4	N.R.
242	BREAK	3'-0"	8'-0"	1 3/4"	C	WD	18	13	ALUM.	3	N.R.
243	PASSWAY	3'-0"	8'-0"	1/2"	H	GLS	-	-	NONE	6	N.R.

- ALL OTHER DOORS ARE EXISTING TO REMAIN, U.O.N. RELOCATE OR REMOVE DOORS AS SHOWN ON PARTITION/DEMO PLANS ON A-1. VERIFY IF ANY OTHER COORS CAN BE REUSED BEFORE PURCHASING NEW.
- PROVIDE LOCKS, DOOR VENT, SOUND GASKET, SOUND SWEEP (AND PANIC BARS) AT EXISTING/RELOCATED DOORS WHERE SHOWN ON SHEET A-1. MODIFY EXISTING DOORS/HARDWARE AS REQUIRED. SEE DOOR KEYNOTES & PLAN ON SHEET A-1 FOR DOOR REQ.
- ALL NEW DOORS, FRAMES, WINDOWS, AND HARDWARE TO MATCH THE EXISTING BUILDING STANDARD, U.O.N. G.C. TO VERIFY SPECS.

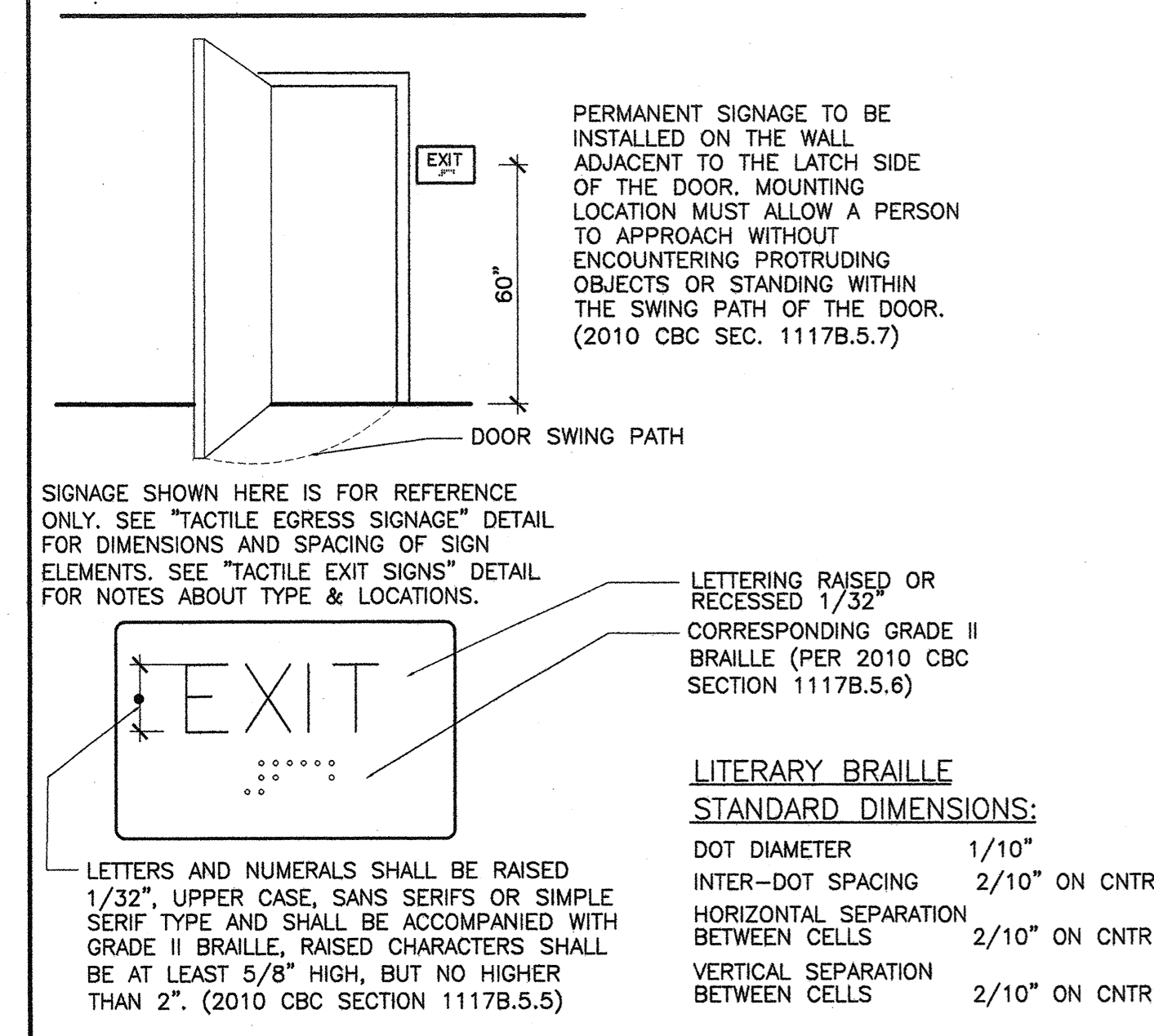
GENERAL DOOR NOTES

- RIGHT DOOR ACTIVE ON PAIRS OR DOORS UNLESS OTHERWISE NOTED.
- ALL HARDWARE IS LEVER TYPE, AND CONFORMS TO CALIFORNIA TITLE 24 HANDICAPPED REQUIREMENTS.
- PANIC HARDWARE SHALL BE OPERABLE BY: SINGLE EFFORT LEVER-TYPE DEVICE, PANIC BARS, OR PUSH-PULL ACTIVATING BARS (NOT REQUIRING GRASPING). PANIC HARDWARE TO BE MOUNTED AT 30"-44" A.F.F.
- ALL DOORS SHALL BE HANDICAPPED ACCESSIBLE. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS (FOR EXTERIOR & INTERIOR DOORS). SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS. CBC SECTION 1133B.2.5. DOORS SHALL COMPLY WITH SECTION 1004 OF THE 2010 CBC.
- 1/2" MAXIMUM TOTAL THRESHOLD HEIGHT WITH 1/4" MAX. VERTICAL CHANGE AT EDGE. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE LEVELED WITH SLOPE NO GREATER THAN 1:2 RATIO.
- PUBLIC CORRIDORS SHALL BE OF ONE-HOUR CONSTRUCTION WITH DOOR OPENINGS PROTECTED WITH 20-MINUTE SELF-CLOSING AND LATCHING ASSEMBLIES, AND SMOKE SEALS.
- THE FLOOR OR LANDING ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL: 60" DEEP LEVEL AREA IN THE DIRECTION OF DOOR SWING. 48" DEEP LEVEL AREA WHEN DOOR SWINGS AWAY FROM APPROACH. 24" LEVEL AREA EXTENSION TO STRIKE SIDE OF EXTERIOR DOOR. 18" LEVEL AREA EXTENSION TO STRIKE SIDE OF INTERIOR DOORS.
- IN A3, B, F, M, & S OCCUPANCIES, KEY LOCKING HARDWARE MAY BE USED AT THE MAIN ENTRY DOORS, PROVIDED A SIGN IN CONTRASTING LETTERS OF ONE (1) INCH OR MORE IS PROVIDED AT THE DOORS STATING: "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS."
- ENTRY DOORS: A SINGLE OR DOUBLE DOOR SHALL BE EQUIPPED WITH A DOUBLE CYLINDER DEADBOLT. THE BOLT SHALL HAVE A MINIMUM PROJECTION OF ONE (1) INCH AND BE CONSTRUCTED SO AS TO REPEL CUTTING TOOL ATTACK. THE DEADBOLT SHALL HAVE AN EMBEDMENT OF AT LEAST 3/4 INCH INTO THE STRIKE RECEIVING THE PROJECTED BOLT. THE CYLINDER SHALL HAVE A CYLINDER GUARD, A MINIMUM OF FIVE PIN TUMBLERS, AND SHALL BE CONNECTED TO THE INNER PORTION OF THE LOCK BY CONNECTING SCREWS OF AT LEAST 1/4 INCH IN DIAMETER.
- DOORS/FRAMES/HARDWARE TO BE REPAIRED AS REQUIRED. CONTRACTOR TO CHECK BUILDING STOCK IF NEW DOORS ARE REQUIRED. PAINT EXPOSED PARTS TO MATCH DOOR FRAMES, U.O.N.
- DUE TO ENVIRONMENTAL HAZARDS NO DOORS ARE TO BE FINISHED ON SITE. EXISTING DOORS WITHOUT HARDWARE ARE TO HAVE NEW HARDWARE.
- ALL UNUSED DOORS AND FRAMES ARE TO BE REMOVED WITH CARE AND ARE TO REMAIN THE PROPERTY OF THE BUILDING OWNER, U.O.N. EXISTING DOORS AND FRAMES ARE TO BE RE-USED IN EITHER THIS SUITE OR ANOTHER SUITE.

TACTILE EXIT SIGNS



TACTILE EGRESS SIGNAGE



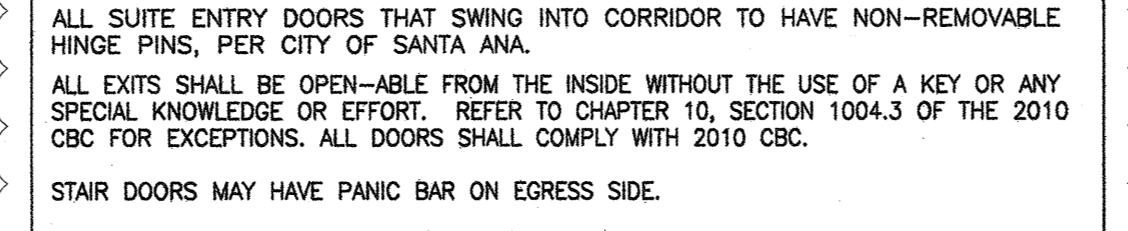
T.E. SIGN NOTES

- TACTILE EXIT SIGNS PER 2010 CBC SECTION 1117B.5.1 SHALL BE REQUIRED AT THE FOLLOWING LOCATIONS, (PER SECTION 1011.3)
- EACH GRADE-LEVEL EXTERIOR EXIT DOOR SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORD, "EXIT."
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF A STAIRWAY OR RAMP SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE FOLLOWING WORDS AS APPROPRIATE:
 - A. "EXIT STAIR DOWN"
 - B. "EXIT RAMP DOWN"
 - C. "EXIT STAIR UP"
 - D. "EXIT RAMP UP"
 - EACH EXIT DOOR THAT LEADS DIRECTLY TO A GRADE-LEVEL EXTERIOR EXIT BY MEANS OF AN EXIT ENCLOSURE THAT DOES NOT UTILIZE A STAIR OR RAMP, OR BY MEANS OF AN EXIT PASSAGEWAY, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
 - EACH EXIT ACCESS DOOR FROM AN INTERIOR ROOM OR AREA THAT IS REQUIRED TO HAVE A VISUAL EXIT SIGN, SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "EXIT ROUTE."
 - EACH EXIT DOOR THROUGH A HORIZONTAL EXIT SHALL BE IDENTIFIED BY A TACTILE EXIT SIGN WITH THE WORDS, "TO EXIT."
 - SEE OTHER DETAILS ON THIS SHEET FOR SIGNAGE DETAILS AND LOCATION.

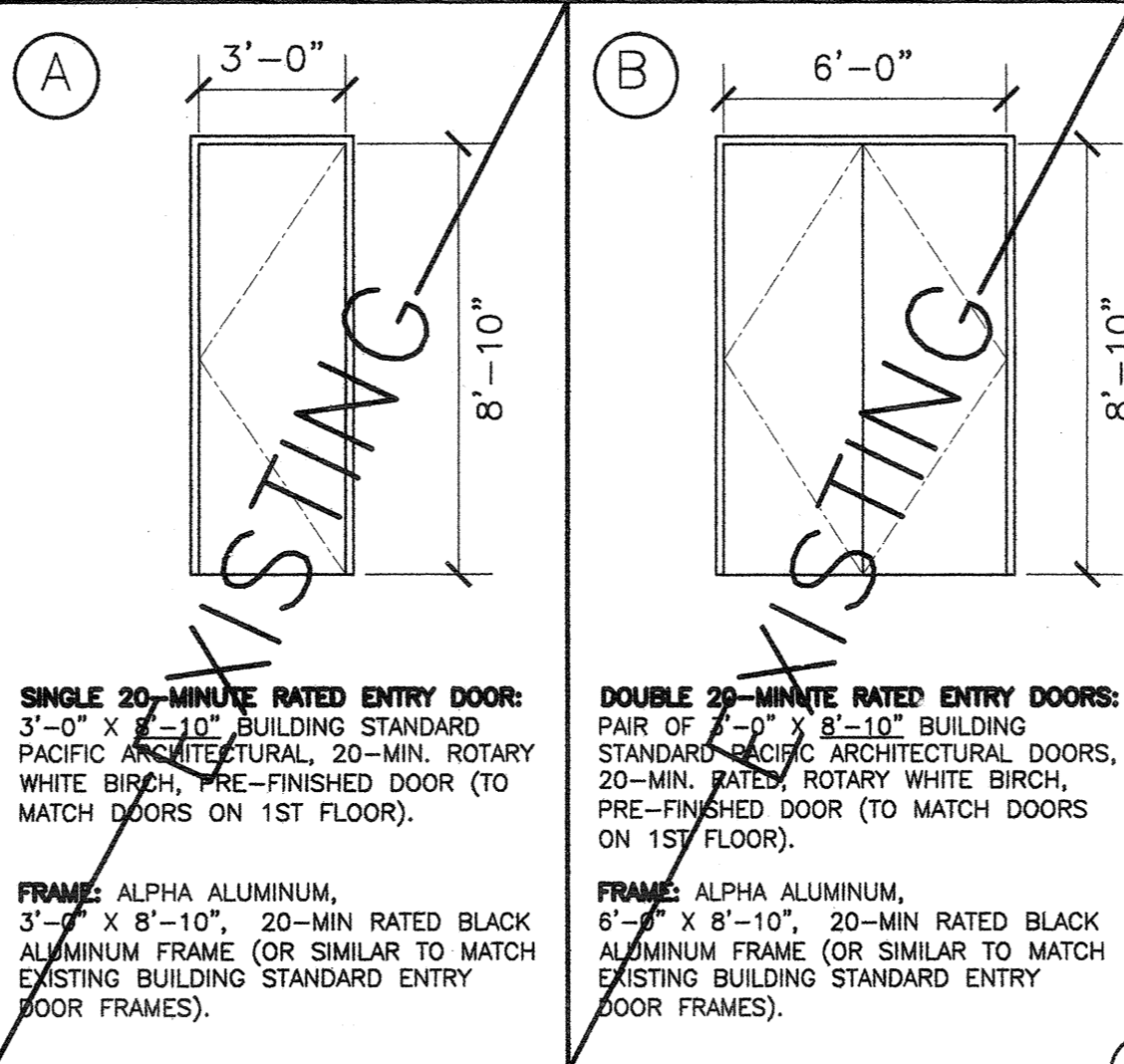
DOOR HARDWARE

ITEM	QTY.	LOCK / LEVER	TYPE	FINISH	BRAND
SET #1 (FOR REGULAR SINGLE 20-MIN ENTRY OR 45-MIN RATED STAIR DOORS)					
LOCKSET	1	L9453 / #06	ENTRANCE MORTISE LOCK	626	SCHLAGE
HINGE	4**	PBB1 4.5x4.5	-	US260	PBB
CLOSER	1	8501	-	689	NORTON
WALL STOP	1	236W	-	US260	HAGER
THRESHOLD	1	-	-	-	-
SET #2 (FOR DOUBLE 20-MIN RATED ENTRY DOORS)					
LOCKSET	1	L9453 / #06	ENTRANCE MORTISE LOCK	626	SCHLAGE
HINGE	8**	PBB1 4.5x4.5	-	US260	PBB
CLOSER	1	8501	-	689	NORTON
WALL STOP	2	236W	-	US260	HAGER
THRESHOLD	1	-	-	-	-
SET #3 (FOR SINGLE NON-LOCKING INTERIOR DOORS)					
LATCHSET	1	N010 / RHODES	PASSAGE (LATCH)	626	SCHLAGE
HINGE	4	PBB1 4.5x4.5	-	US260	PBB
WALL STOP	1	236W	-	US260	HAGER
SET #4 (FOR SINGLE LOCKING INTERIOR DOORS)					
LOCKSET	1	N050 / RHODES	OFFICE LOCK	626	SCHLAGE
HINGE	4	PBB1 4.5x4.5	-	US260	PBB
WALL STOP	1	236W	-	US260	HAGER
SET #5 (FOR SINGLE 20-MIN RATED ENTRY DOORS WITH CARD READERS)					
LOCKSET	1	L9453 / #06	ENTRANCE MORTISE LOCK	626	SCHLAGE
HINGE	4**	PBB1 4.5x4.5	-	US260	PBB
ELECT. HINGE	1	ELBB1 4.5x4.5	-	US260	PBB
CLOSER	1	8501	-	689	NORTON
WALL STOP	1	236W	-	US260	HAGER
THRESHOLD	1	-	-	-	-
SMOKESEAL	1	HSS2000	-	BLACK	PEMKO
CYLINDER GUARD	1	W/NON-REMOVABLE HINGE PINS	** MIDDLE HINGE MOUNTED @ 60" - 90". NOTE: SMOKE SEALS INTEGRATED INTO DOOR FRAMES.	-	-
SET #6 (FOR PAIR/SINGLE HERCULITE GLASS DOORS)					
LOCKSET	1	N010 / RHODES	PASSAGE (LATCH)	626	SCHLAGE
* ALL RATED DOORS (ALONG CORRIDOR, EXCEPT RESTROOM DOORS) TO HAVE MORTISE LOCK WITH 1" DEADBOLT, PER THE SANTA ANA POLICE DEPARTMENT. USE LOCK SET L9453 (OR SIMILAR IF/AS SPECIFIED).					
ALL SUITE ENTRY DOORS THAT SWING INTO CORRIDOR TO HAVE NON-REMOVABLE HINGE PINS, PER CITY OF SANTA ANA.					
ALL EXITS SHALL BE OPEN-ABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. REFER TO CHAPTER 10, SECTION 1004.3 OF THE 2010 CBC FOR EXCEPTIONS. ALL DOORS SHALL COMPLY WITH 2010 CBC.					
STAR DOORS MAY HAVE PANIC BAR ON EGRESS SIDE.					

DOOR TYPES



ACCENT PAINT PLAN



FINISH NOTES

- SUBCONTRACTORS TO PROVIDE SPECIFICATIONS ON ALL EXISTING FINISHES TO GENERAL CONTRACTOR IN WRITING.
- ALL FINISHES SHALL COMPLY WITH CHAPTER 8, OF THE 2010 CBC. ALL FINISHES SHALL HAVE A MINIMUM CLASS III RATING WITH A FLAME SPREAD OF 75 TO 200 MAXIMUM.
- IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, THEN IT SHALL BE SECURELY ATTACHED; HAVE A FIRM CUSHION, PAD OR BACKING OR NO CUSHION OR PAD; AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL-CUT PILE, OR LEVEL-CUT/UNCUT PILE TEXTURE. THE MAXIMUM PILE HEIGHT SHALL BE 1/2 INCH. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES AND HAVE TRIM ALONG ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH THE REQUIREMENTS FOR CHANGES IN LEVEL. CBC SECTION 1124B.3.

MILLWORK NOTES

- MILLWORK CONSTRUCTION:**
ALL DOORS AND DRAWER FRONTS AND ALL EXPOSED EDGES TO BE LAMINATE CLAD 3/4" HIGH DENSITY PARTICLE CORE. INTERIOR AND SHELVES OF ALL CABINETS TO BE WHITE MELAMINE. WOOD BLOCKING IN WALL TO BE PROVIDED BY THE GENERAL CONTRACTOR.
- MILLWORK HARDWARE:**
HINGES: BLUM 125 DEGREE, SELF CLOSING
PULLS: STAINLEY, #4484, US26
STANDARDS: KV255, BRIGHT NICKLE
SINK & FAUCET: SEE SPEC ON SHEET A-1
DRAWER GLIDES: ACCURIDE 2", FULL EXTENSION
- SHOP DRAWINGS MUST BE SUBMITTED TO SPACES PRIOR TO FABRICATION.
- PROVIDE GROMMET HOLES ABOVE ALL ELECTRICAL/TELE. OUTLETS AT ALL COUNTERTOPS AS REQUIRED.

FINISH SCHEDULE

NUMBER	ROOM NAME	BASE	FLOOR	WALLS				CEILING		REMARKS
				NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT	
225	RECEPTION	8	5					GYPSON BOARD & 9'-4"	9'-0"	FLOORING LAYOUT, DIMENSIONS T.B.D. SEE SPEC #22 FOR CEILING PAINT
226	CONTROL ROOM	7	1					ACQUST. TILE VERIFY	9'-0"	
227	AV STUDIO	7	1					ACQUST. TILE VERIFY	9'-0"	
228	STORAGE	7	2					ACQUST. TILE VERIFY	9'-0"	
229	CONFERENCE	7	1					TILE & SOFFIT VERIFY	9'-0"	SEE SPEC #15 FOR CABINET FINISH SEE SPEC #22 FOR SOFFIT PAINT
230	OPEN OFFICE	7	1					ACQUST. TILE VERIFY	9'-0"	
231	OFFICE	7	1					ACQUST. TILE VERIFY	9'-0"	
232	OFFICE	7	1					ACQUST. TILE VERIFY	9'-0"	
234	OFFICE	7	1					ACQUST. TILE VERIFY	9'-0"	
235	I.T. WORK	7	1					ACQUST. TILE VERIFY	9'-0"	
236	PASSWAY	7	1					ACQUST. TILE VERIFY	9'-0"	
237	TELE/DATA	7	3					ACQUST. TILE VERIFY	9'-0"	
238	PASSWAY	7	1					ACQUST. TILE VERIFY	9'-0"	
239	OPEN OFFICE	7	1					ACQUST. TILE VERIFY	9'-0"	
240	COPY	7	2					ACQUST. TILE VERIFY	9'-0"	SEE SPEC #16 FOR CABINET FINISH
241	STORAGE	7	2					ACQUST. TILE VERIFY	9'-0"	
242	BREAK	7	4					ACQUST. TILE VERIFY	9'-0"	SEE SPECS 13, 14, 19, & 20 FOR MILLWORK CABINETS
243	PASSWAY	8	5					GYPSON BOARD	9'-0"	FLOOR LAYOUT AT THIS AREA T.B.D SEE SPEC #22 FOR CEILING PAINT

- VERIFY ALL FINAL SPECS AND LOCATIONS.
- PAINT INTERIOR DOOR & WINDOW FRAMES THROUGHOUT SUITE, SEE SPEC. #17.
- SUBMIT SAMPLES TO CLIENT FOR APPROVAL AS REQUIRED (SPECS 5, 6, 13)
- SEE SHEET A-1 FOR ADDITIONAL FINISH NOTES/KEYNOTES, AND SHEET A-6 FOR MILLWORK.

FINISH SPECS

- FLOORING** (PROVIDE TRANSITION STRIPS AS NEEDED BETWEEN CHANGES IN FLOORING MATERIALS)
- CARPET: (GENERAL-ALL AREAS EXCEPT RECEPTION, STORAGE AREAS, COPY ROOM, BREAK ROOM, PASSWAY 243 AND TELE/DATA) MANUFACTURER: PATCHCRAFT STYLE & COLOR: 10129 NIGHT MOVES INSTALLATION: DIRECT GLUE DOWN
 - VCT: (STORAGE AREAS, COPY ROOM, CONFERENCE ROOM) MANUFACTURER: ARMSTRONG STYLE: IMPERIAL TEXTURE, STANDARD EXCELON COLOR: 51803 PEARL WHITE SIZE: 12" X 12" *JULIE KAESER (949) 246.8919 / JJKAESER@ARMSTRONG.COM
 - VCT: (TELE/DATA ROOM, SAME AS SPEC ABOVE) MANUFACTURER: ARMSTRONG STYLE: IMPERIAL TEXTURE, STANDARD EXCELON TYPE-51803 PEARL WHITE SIZE: 12" X 12" *JULIE KAESER (949) 246.8919 / JJKAESER@ARMSTRONG.COM
 - VCT: (BREAK ROOM) MANUFACTURER: CENTIVA STYLE: VICTORY / CORAL REEF COLOR: CR 0001-V ARCTIC SIZE: 12" X 12" *PAUL SHIA (949) 262.1478 / PAULSHIA@LIVE.COM
 - STONE-(RECEPTION FLOORING, EXACT LAYOUT T.B.D.) MANUFACTURER: ARIZONA TILE STYLE: JUVA BEIGE / HONED LESTONE SIZE: 18" X 18" X 1/2" *SUBMIT SAMPLE TO CLIENT FOR APPROVAL PROVIDE TOPICAL COAT "SLIP-GRIP" FOR ADA COMPLIANCY PROVIDE SCHLUTER JOINTS AT EDGE
 - SPARE
 - RUBBER BASE: (GENERAL-THROUGHOUT, U.O.N.) MANUFACTURER: BURKE FLOORING STYLE: BURKE BASE - 1/8" COVE SIZE: 4" HIGH COLOR: BROWN BLACK 523 CLAY GILBERT (951) 204.4297
 - STONE BASE: (RECEPTION, U.O.N.) STONE & GROUT TO MATCH STONE FLOORING, U.O.N. SIZE TBD
- WALLS** (ALSO SEE CEILING FINISHES & SPEC #17 BELOW)
- FIELD PAINT: (GENERAL AREA) MANUFACTURER: DUNN EDWARDS COLOR: DEW342 BABYS BREATH LRV 79 FINISH: EGGSHELL (SEMI-GLOSS IF USED IN WET LOCATION) SCOTT FERGUSON (310) 780.6680
 - ACCENT PAINT: (WHERE INDICATED) MANUFACTURER: DUNN EDWARDS COLOR: DE6205 STUCCO TAN LRV 68 FINISH: EGGSHELL (SEMI-GLOSS IF USED IN WET LOCATION) SCOTT FERGUSON (310) 780.6682
 - ACCENT PAINT: (WHERE INDICATED) MANUFACTURER: DUNN EDWARDS COLOR: DE6206 DESERT SUEDE LRV 55 FINISH: EGGSHELL (SEMI-GLOSS IF USED IN WET LOCATION) SCOTT FERGUSON (310) 780.6683
 - ACCENT PAINT: (WHERE INDICATED) MANUFACTURER: DUNN EDWARDS COLOR: DE6206 DESERT SUEDE LRV 55 FINISH: EGGSHELL (SEMI-GLOSS IF USED IN WET LOCATION) SCOTT FERGUSON (310) 780.6683
 - P-LAM: (BREAK-FACES & EDGES) MANUFACTURER: FORMICA COLOR: NEUTRAL WHITE SCULPTED COLLECTION 918-SP DEBRA MORIMOTO (562) 897.2086
 - P-LAM: (COPY ROOM-TOP, FACES & EDGES) MANUFACTURER: FORMICA COLOR FRONTS: NEUTRAL WHITE SCULPTED COLLECTION 918-SP COLOR TOP: NEUTRAL WHITE 918-58 DEBRA MORIMOTO (562) 897.2086
 - DOOR & WINDOW FRAMES: PAINT ALL NEW & EXISTING INT. WINDOW & DOOR FRAMES IN SUITE. BRAND/COLOR/FINISH: T.B.D.
 - SPARE
 - SPARE
 - ALTERNATE PRICE COUNTERTOP (BREAKROOM, @ BOTH COUNTER) GRANITE FROM BEDROSJANS IN ANAHEIM COLOR-DELICATUS LIGHT-FASED EDGE IF SELECTED, VERIFY IF COUNTER IS STILL TO HAVE GLASS TILE (AS SPECIFIED), OR MATCHING GRANITE SURFACE BACK SPLASH. TENANT TO SELECT SLAB PRIOR TO FABRICATION. COUNTER TO HAVE AN ARCHITECTURAL DETAIL EDGE: TBD COUNTER TO BE SEALED AFTER INSTALLATION
 - ACOUSTICAL CEILING TILE: (GENERAL AREAS-SEE REFLECTED CEILING PLAN) SANDRA STAUFFER (877) 276.7876 X6279
 - CEILING PAINT: (GYPSON BOARD CEILING AREAS-SEE REFLECTED CEILING PLAN) MANUFACTURER: DUNN EDWARDS TYPE-DEV311 FRENCH WHITE FINISH: EGGSHELL SCOTT FERGUSON (310) 780.6680

PROJECT

ARDEN REALTY, INC.
HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TRAINING CONSULTANTS
SUITE 225

AGREED:
ACCEPTED THIS DAY OF _____, 2012
BY: _____
TITLE: _____
COMMENT: _____

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

THESE CHANGES INCLUDE THE NECESSARY OPERATIONS AS INSTRUMENTS OF SERVICE. USE THE EXCLUSIVE PROPERTY OF SPACES AND THEIR USE AND MODIFICATION SHALL BE RESTRICTED TO THE ORIGINAL SCOPE OF THIS PLAN FOR WHICH THESE PREPARED. NO-USE, REPRODUCTION OR PUBLICATION BY ANY OTHER PARTY OR IN ANY MANNER WITHOUT EXPRESS WRITTEN PERMISSION FROM SPACES. TITLE TO THESE PLANS AND/OR SPECIFICATIONS SHALL REMAIN SPACES. WITHOUT PREJUDICE, AND WITH CONSENT WITH THEIR OWNAL CONSTITUTE FROM EACH OTHER'S ACCEPTANCE OF THESE RESTRICTIONS.

NO.	DESCRIPTION	DATE
REVISIONS		
1	TENANT REVISIONS/RSP	03.07.12
2	TENANT REVISIONS / DR. MS/DR. DR. SCHED. & DR. HR/DWR	02.29.12
3	DRAWING CLARIFICATIONS/MS/REV. HARDWARE FOR SAPD	02.01.12
4	TENANT REVISIONS/RP	01.25.12
5	PLAN CHECK SUBMITTAL	01.25.12
6	RELEASED FOR ENGINEERING	01.13.12

CCIDC
RANDALL S. PATRICK
10.06.11
CHECKED
RP
PRINT DATE
01.20.12

INTERIOR PLANNING & DESIGN
SPACES
P & D INC.
17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE

USABLE: 5,486 SF

SECOND FLOOR DOOR & FINISH SCHEDULE

Sheet Title
Project Number 2778.15
Sheet Number A-4

NO.	DESCRIPTION	DATE
1	PLAN CHECK CORRECTIONS MS/DETAILS #1-5,13,18	02.13.12
2	TENANT REVISIONS	01.25.12
3	PLAN CHECK SUBMITTAL	01.25.12
4	RELEASED FOR ENGINEERING	01.13.12
NO. DESCRIPTION DATE		
REVISIONS		

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REVISIONS		

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3	PLAN CHECK SUBMITTAL	01.25.12
4	RELEASED FOR ENGINEERING	01.13.12
NO. DESCRIPTION DATE		
REVISIONS		

CALIFORNIA COUNCIL FOR
CCIDC
 RANDALL S. PATRICK
 REGISTERED ARCHITECT
 #001 150885-10-13

DRAWN MS/RP
 DATE 10.06.11
 CHECKED RP
 PRINT DATE 01.20.12

INTERIOR PLANNING & DESIGN
SPACES
 P & I N C.
 17780 FITCH, SUITE 150 / IRVINE, CA 92614
 949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE
 USABLE: 5,486 SF

SECOND FLOOR

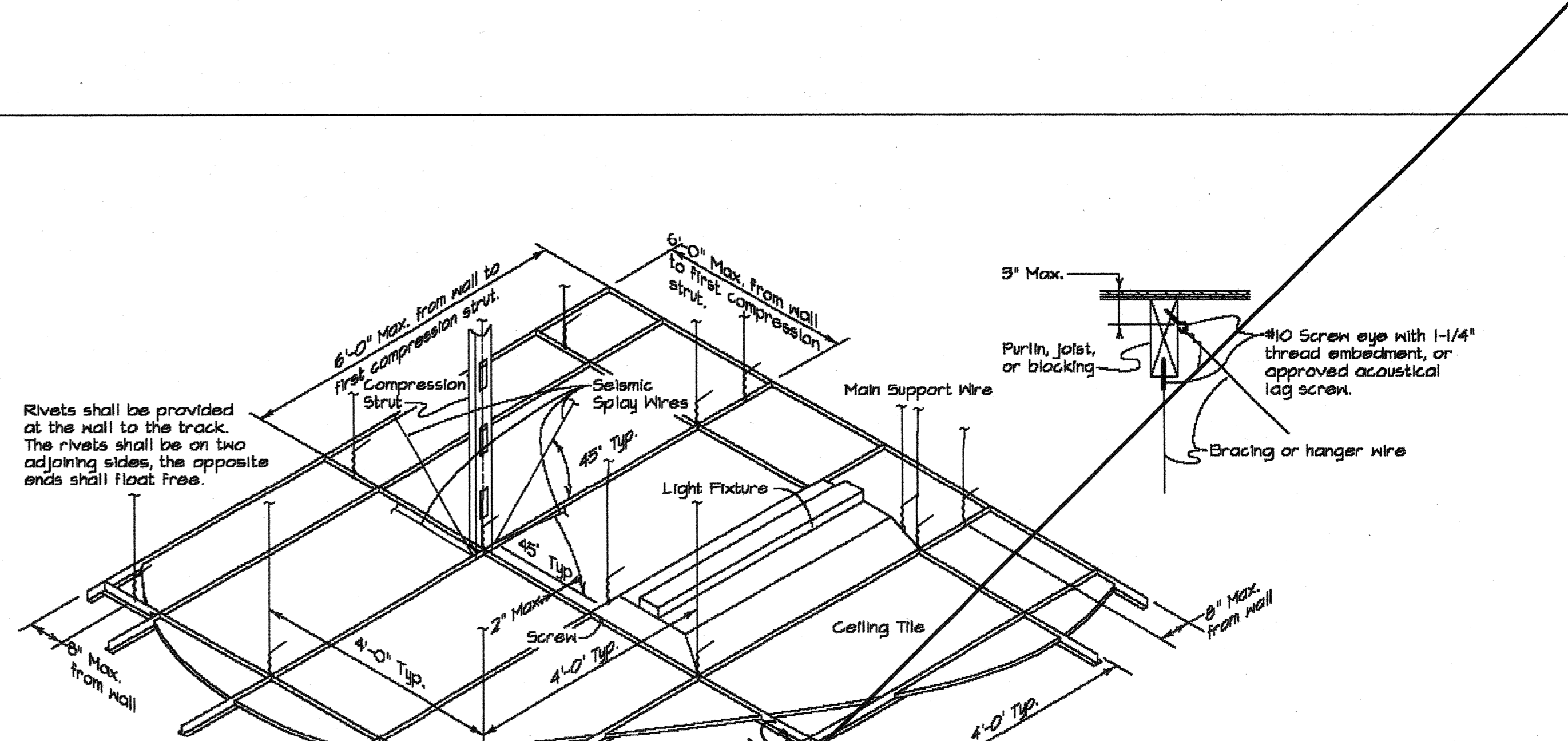
DETAIL SHEET

Sheet Title

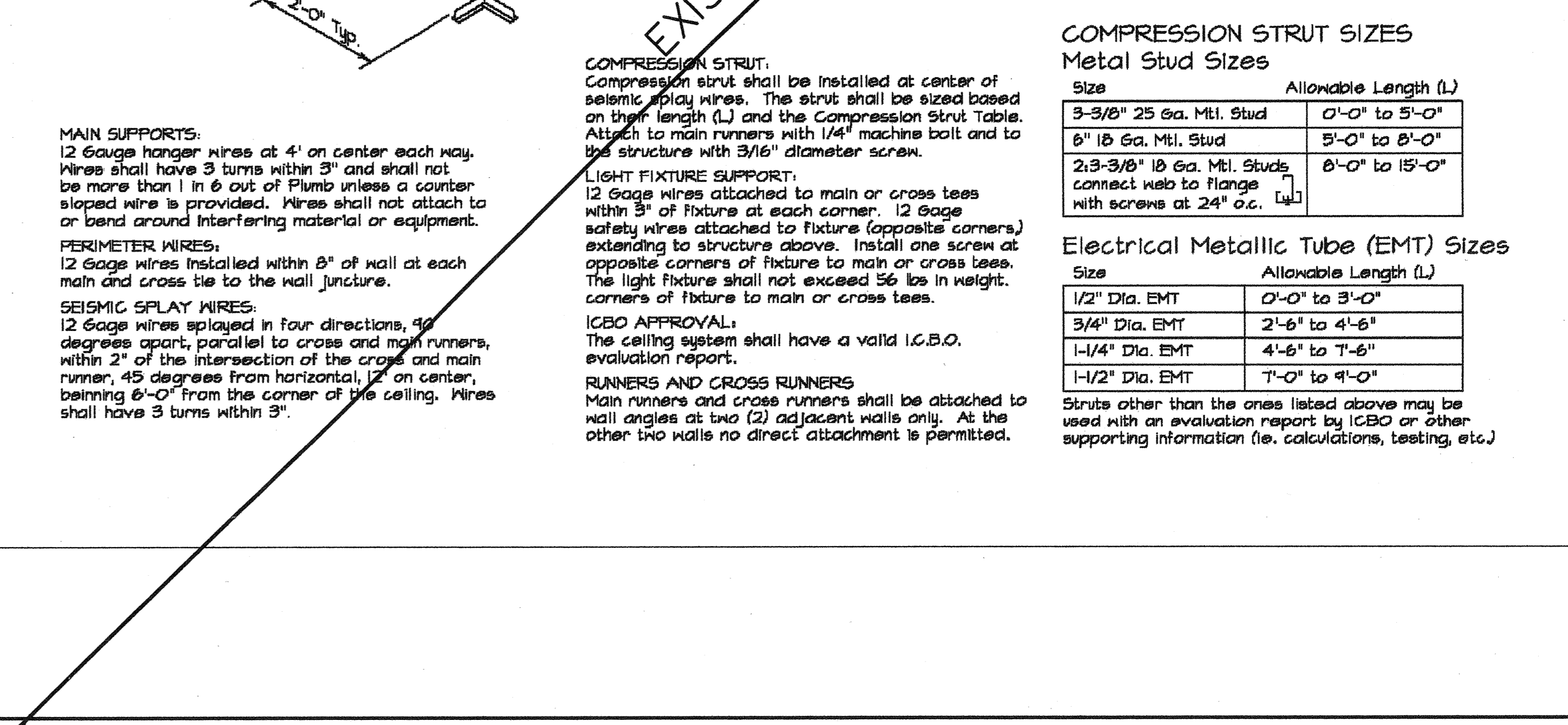
Project Number 2778.15

Sheet Number A-5

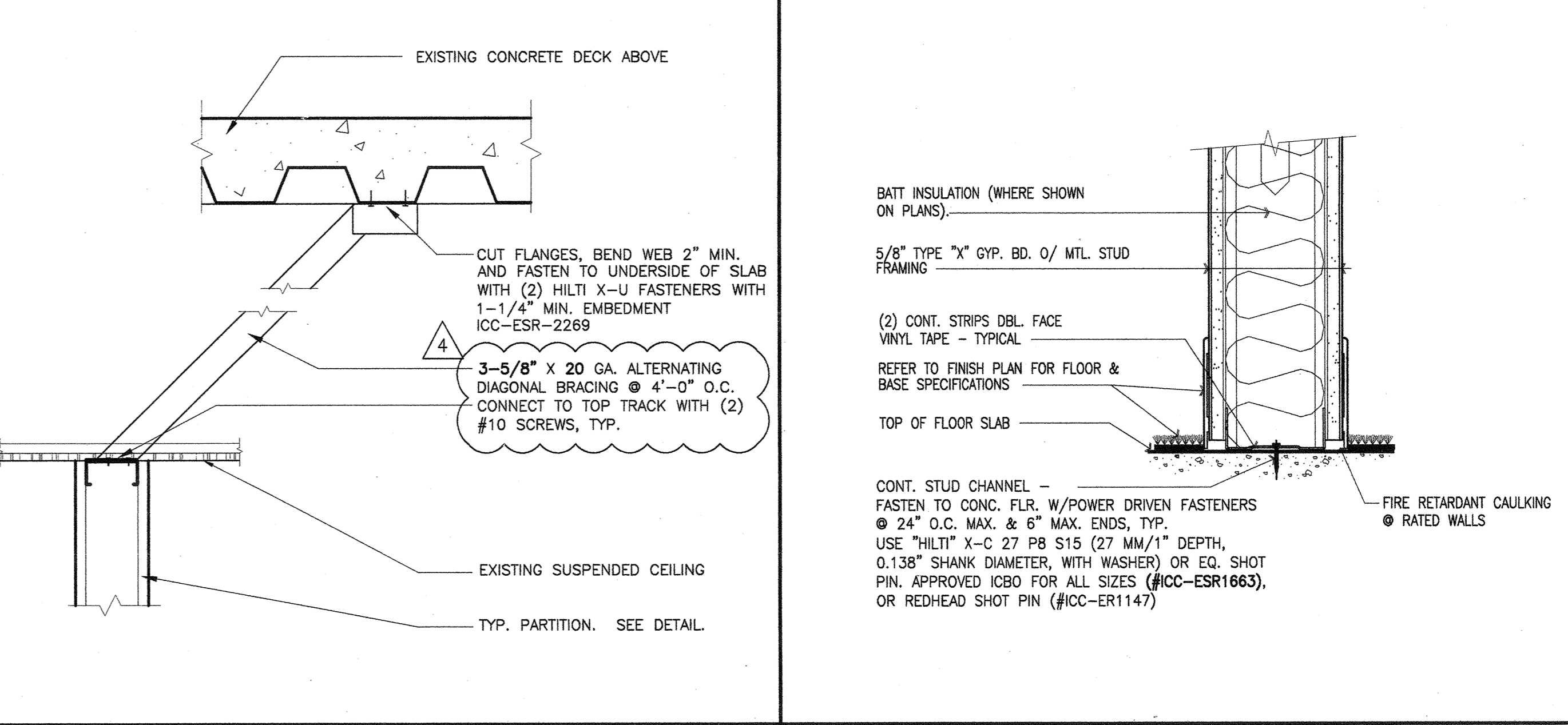
MAR 12 2012



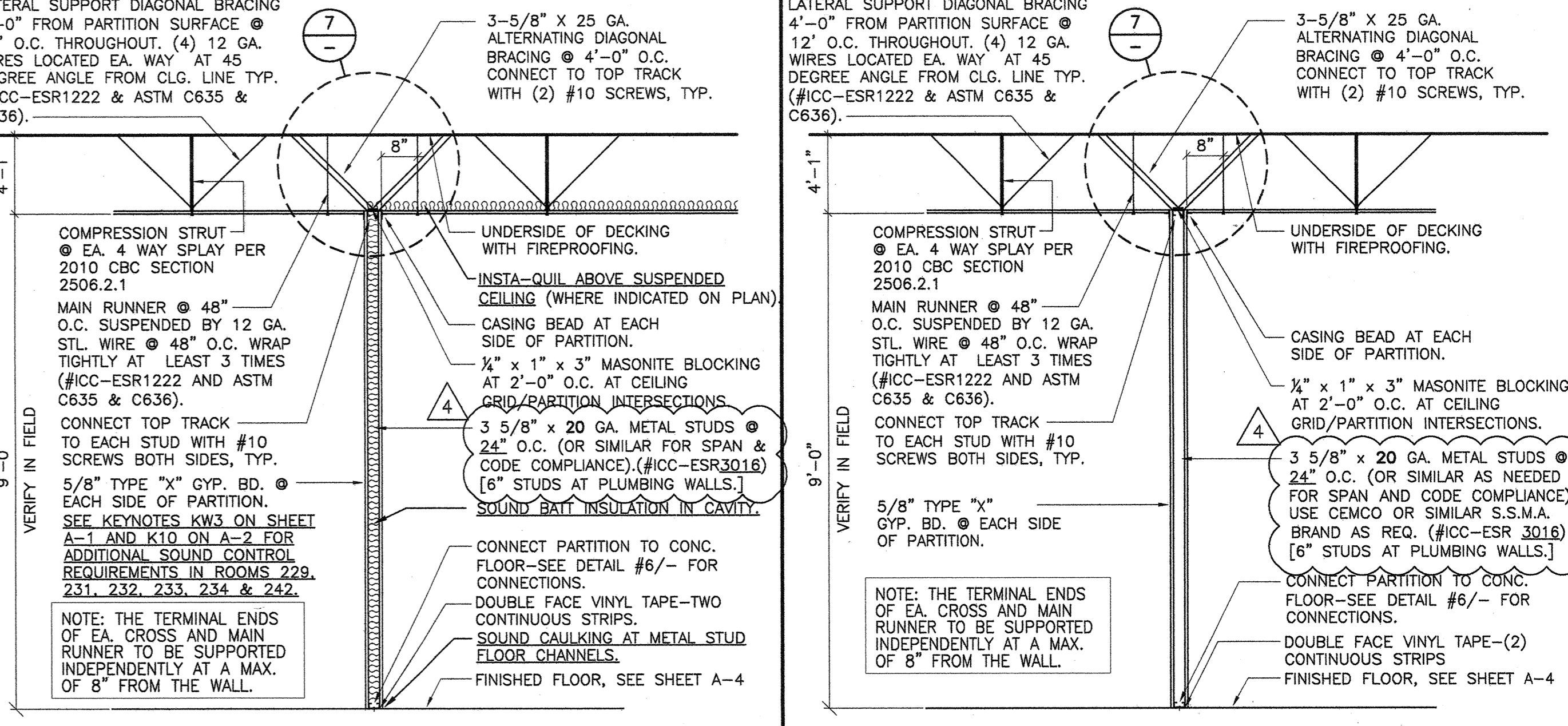
18 INTERIOR DOOR HEAD DETAIL
 SCALE: 6" = 1'-0"



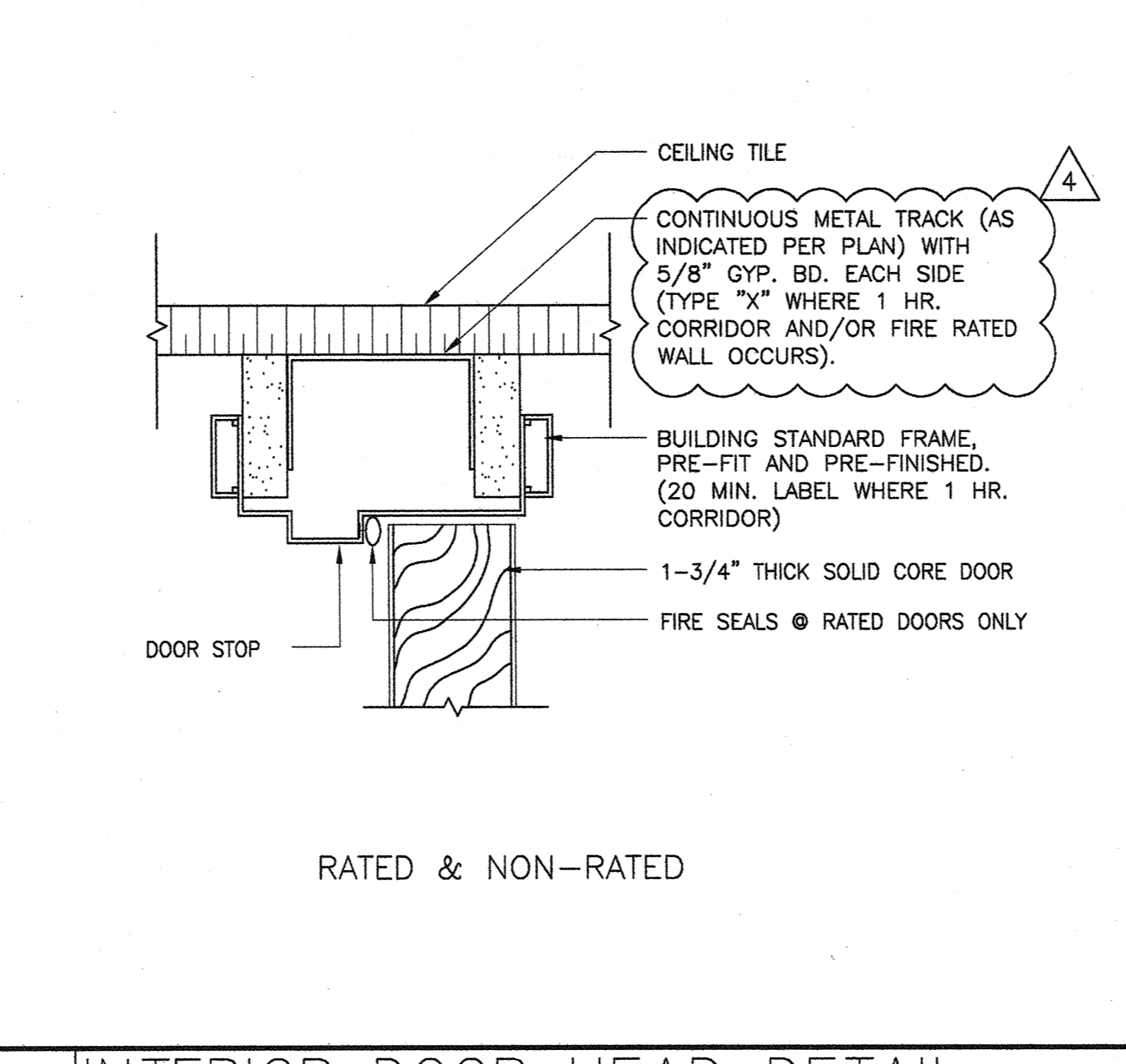
19 SUSPENDED CEILING DIAGRAM
 SCALE: 12" = 1'-0"



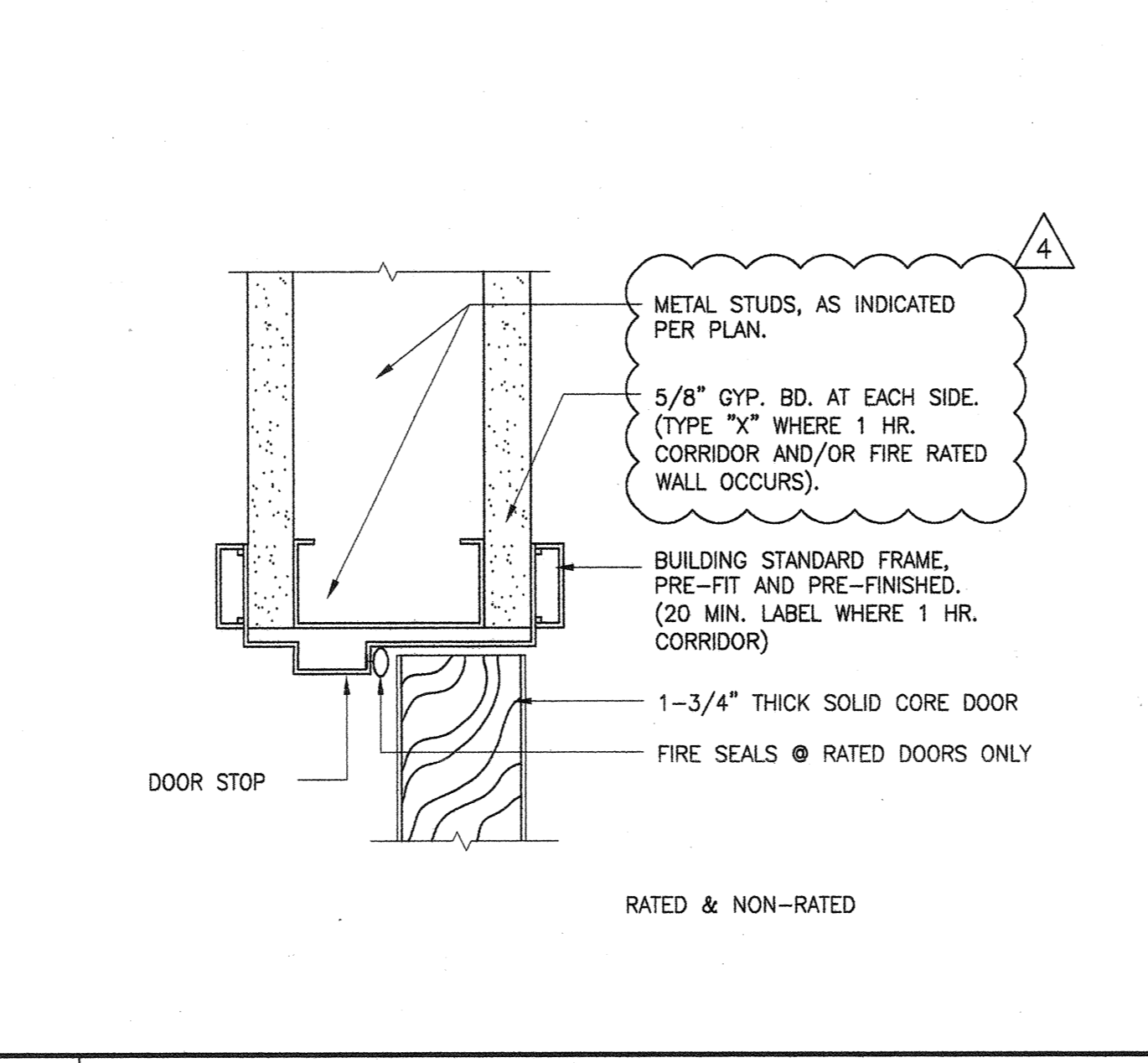
20 STD. PARTITION @ MULLION
 SCALE: 3" = 1'-0"



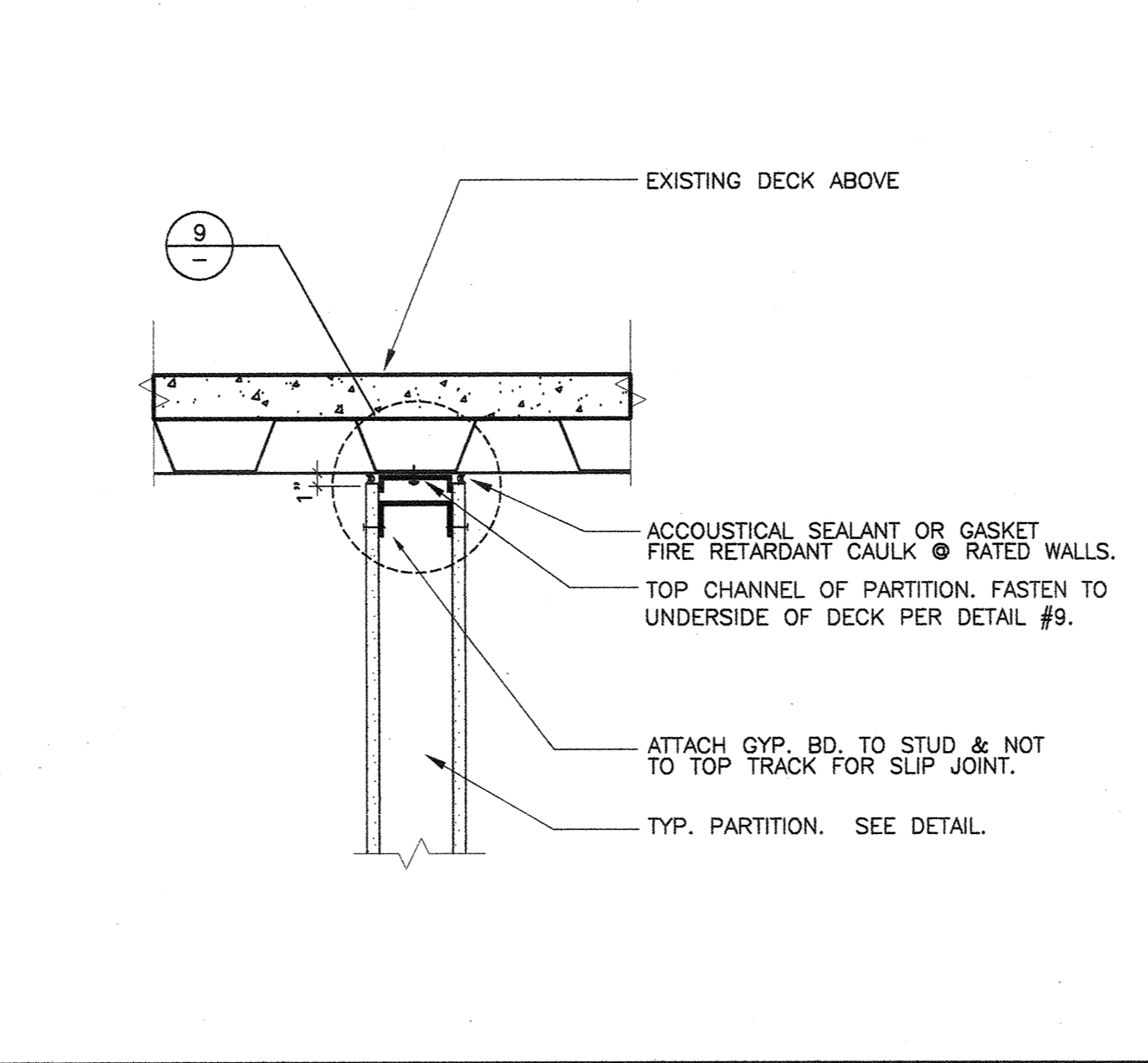
21 TYPICAL INTERIOR PARTITION
 SCALE: 1/2" = 1'-0"



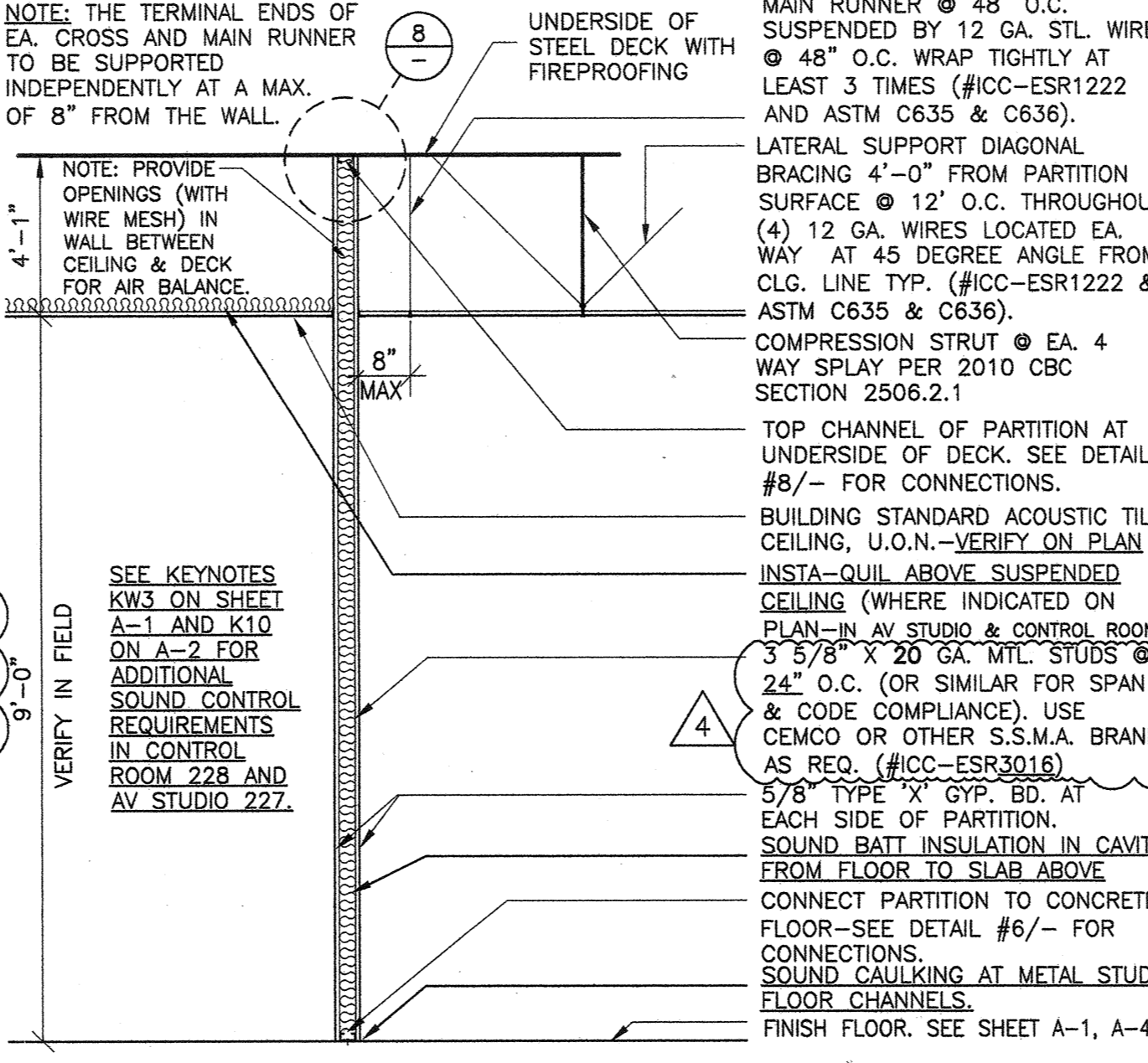
17 DOOR JAMB DETAIL
 SCALE: 6" = 1'-0"



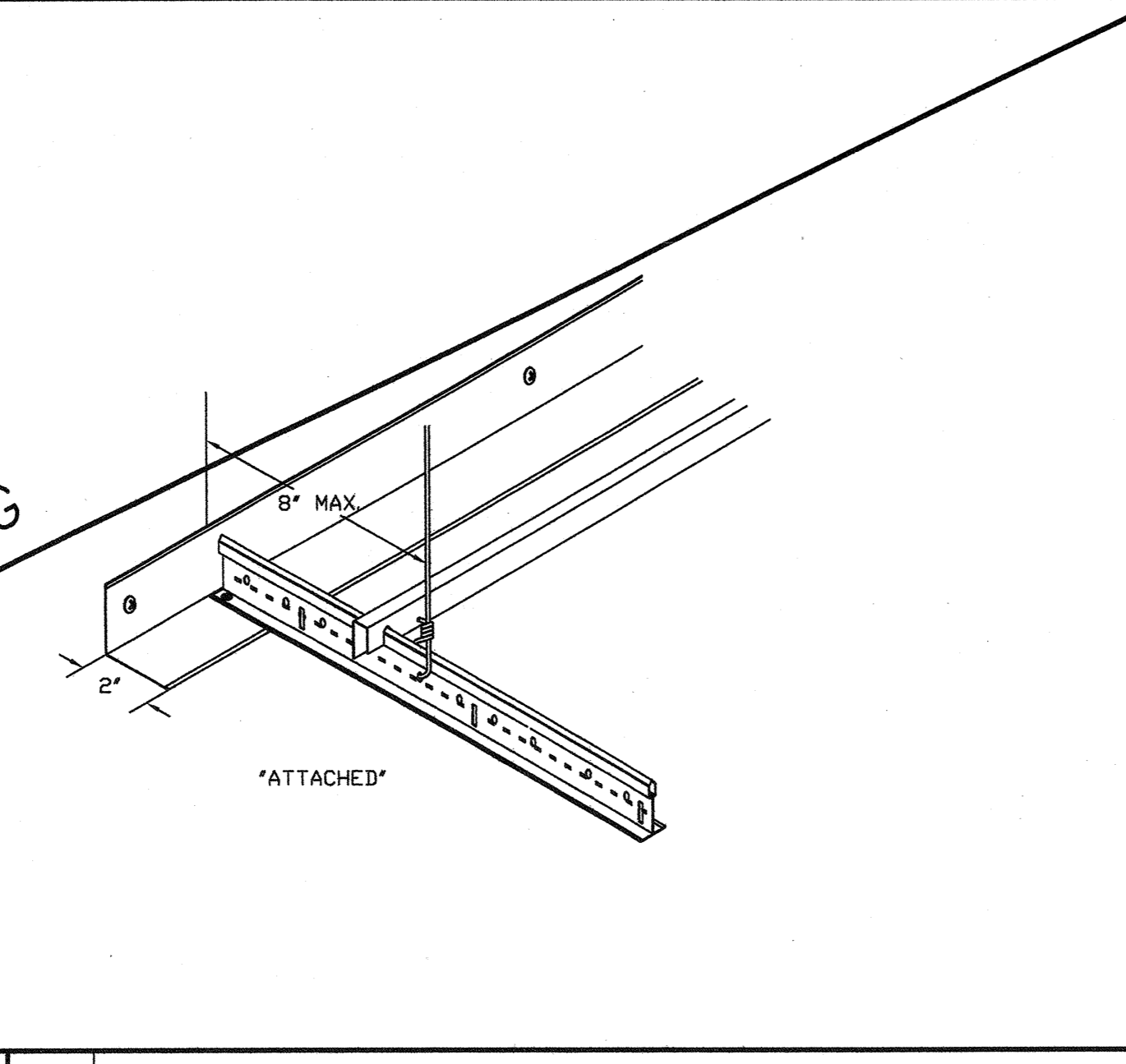
18 INTERIOR DOOR HEAD DETAIL
 SCALE: 6" = 1'-0"



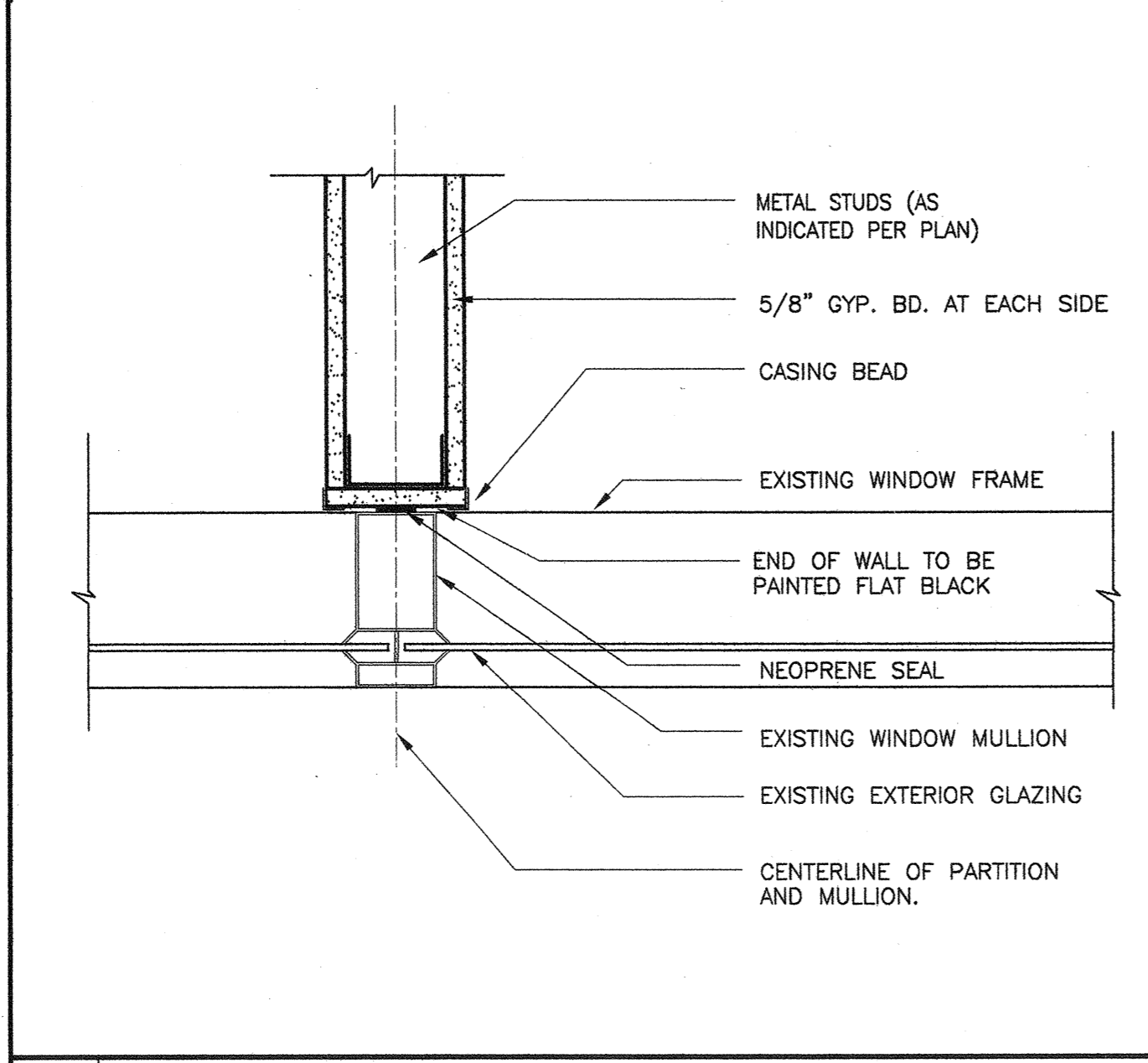
19 SUSPENDED CEILING DIAGRAM
 SCALE: 12" = 1'-0"



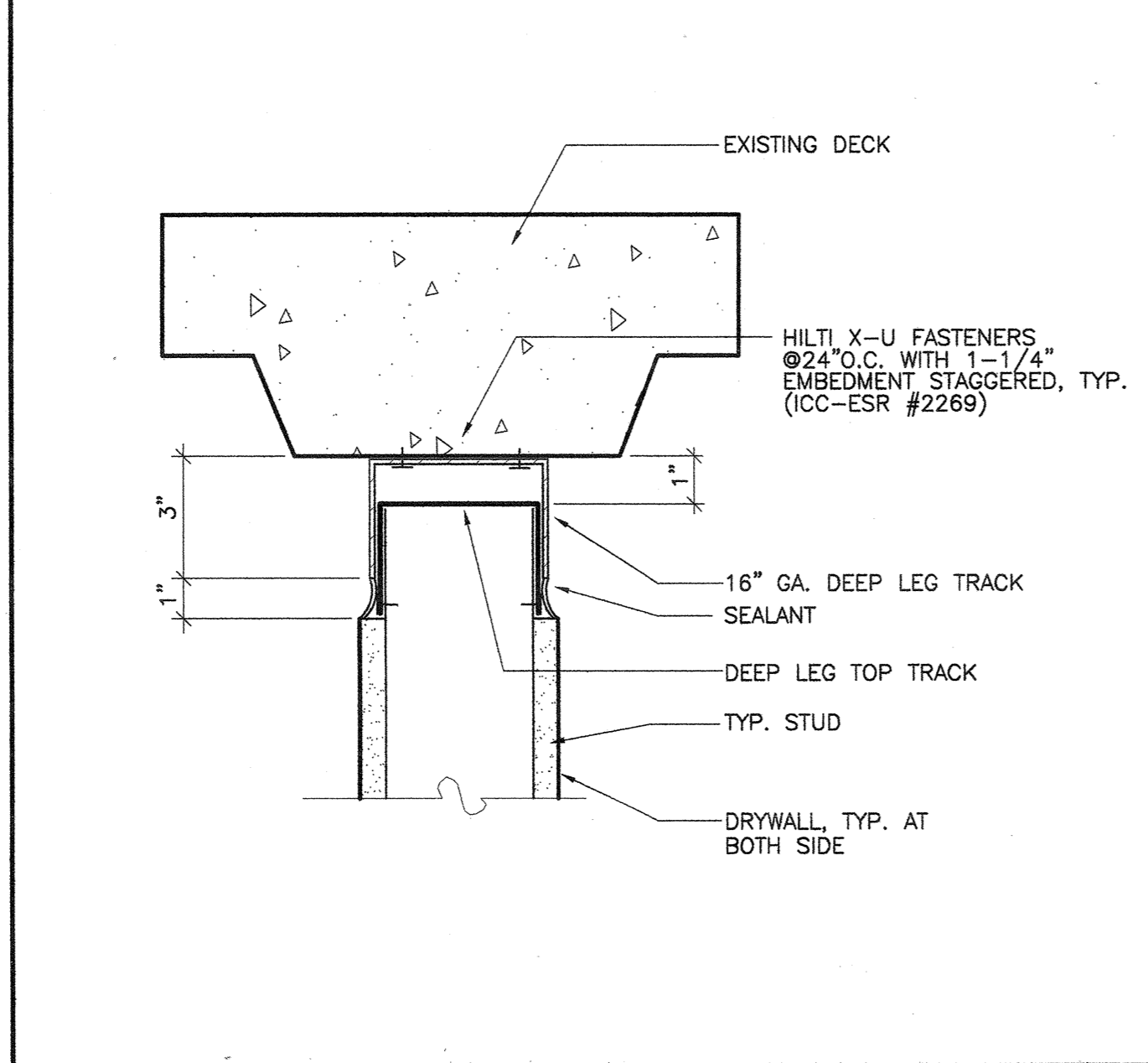
20 STD. PARTITION @ MULLION
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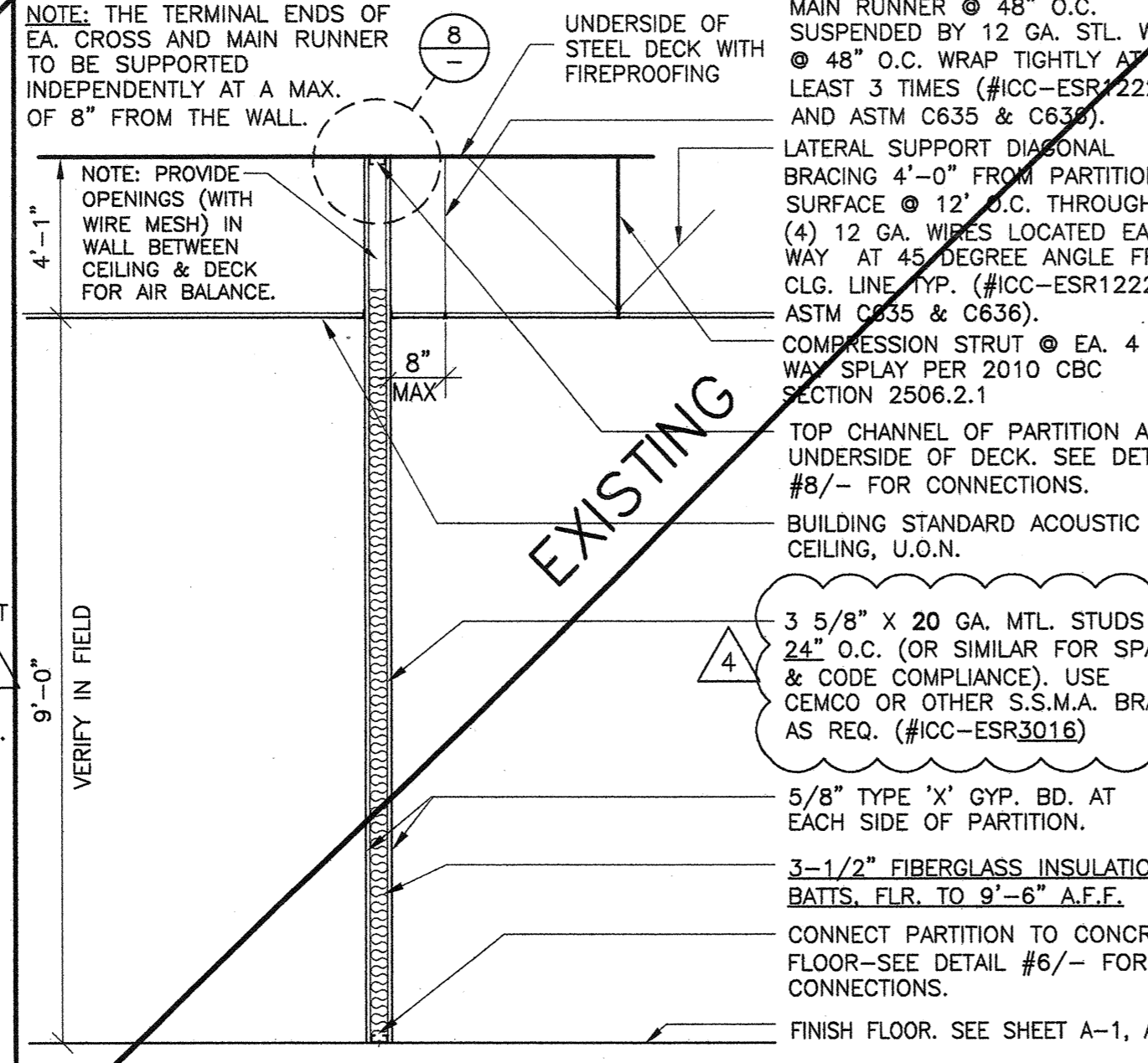
16 DOOR JAMB DETAIL
 SCALE: 6" = 1'-0"



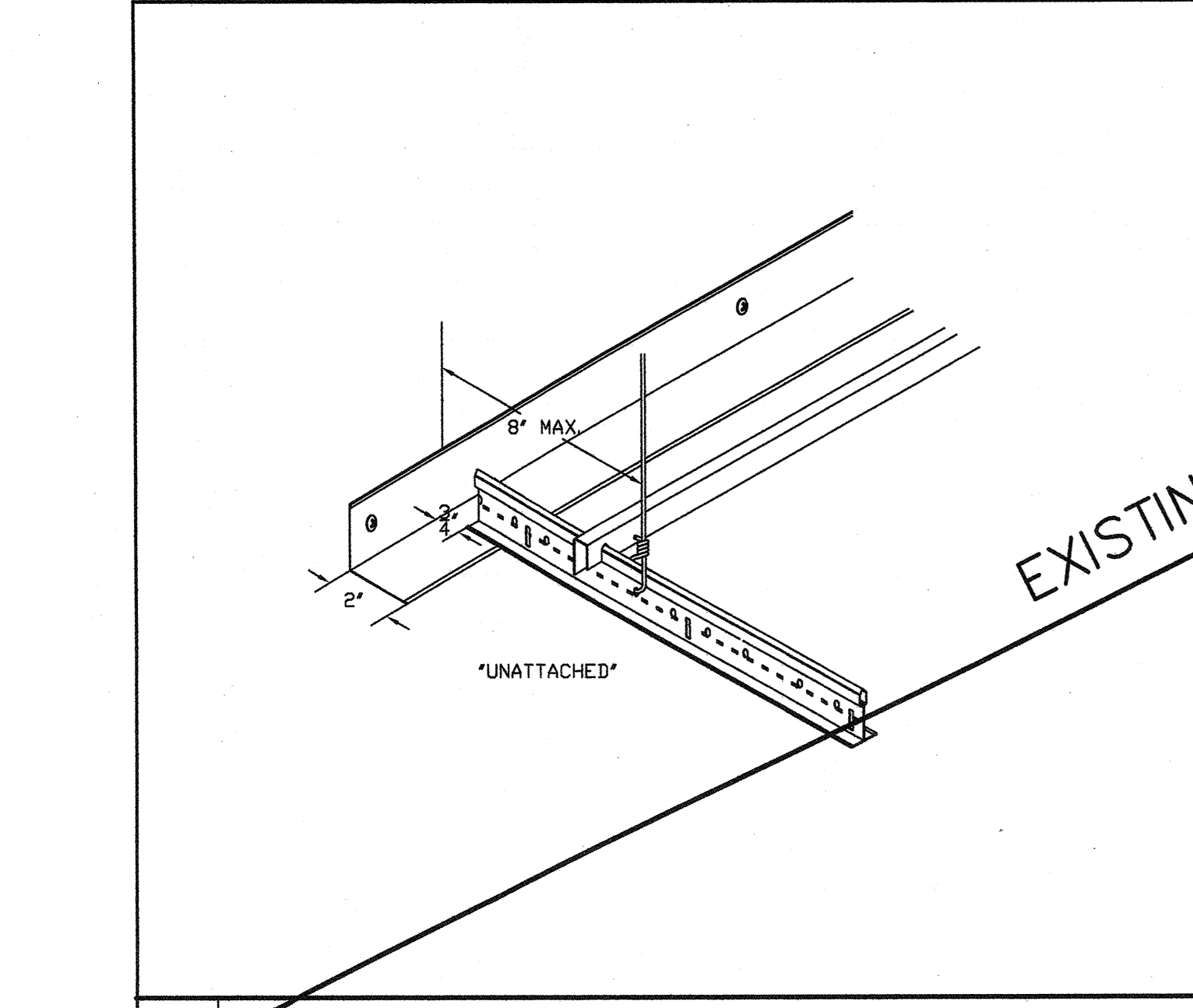
17 DOOR JAMB DETAIL
 SCALE: 6" = 1'-0"



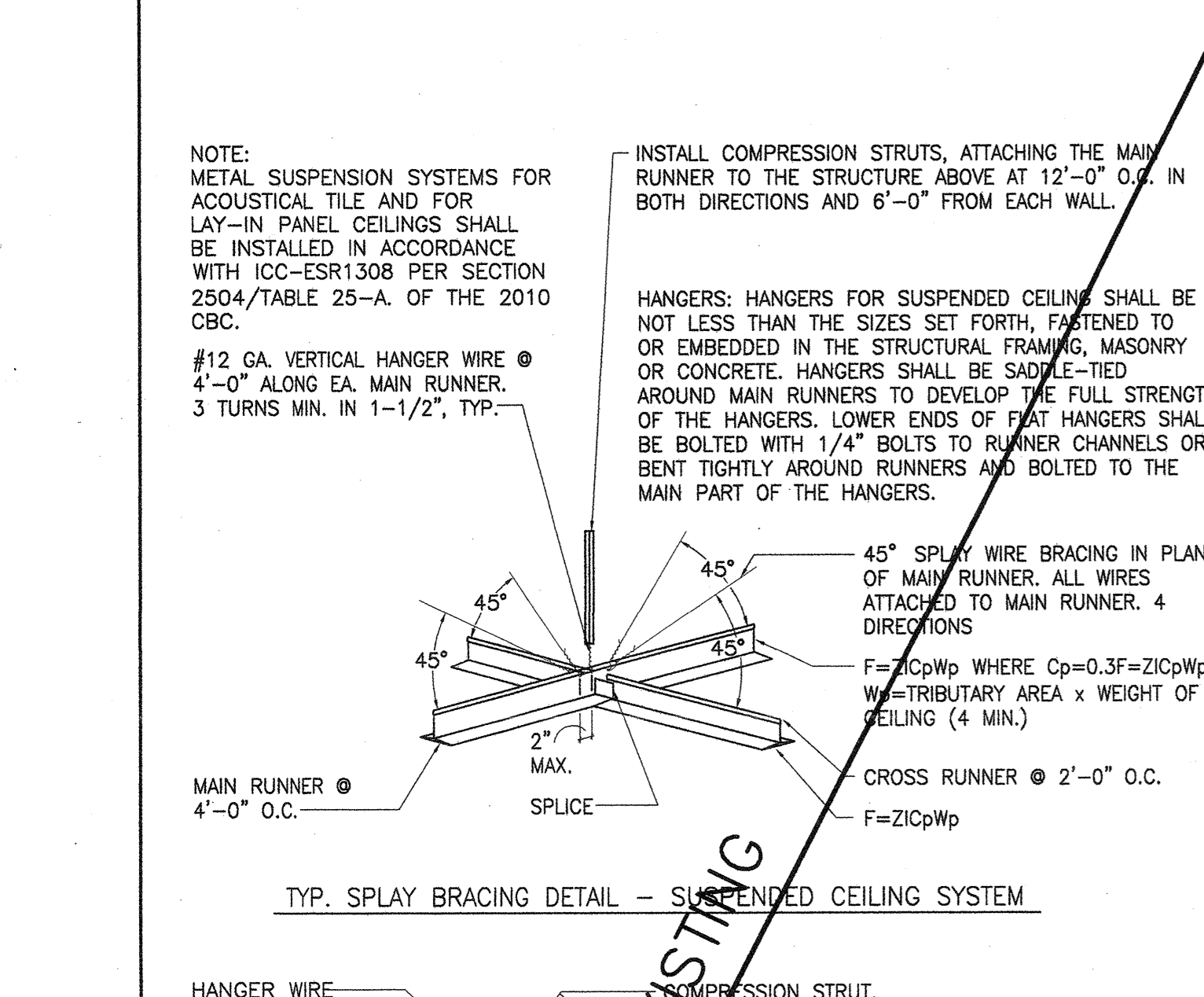
18 INTERIOR DOOR HEAD DETAIL
 SCALE: 6" = 1'-0"



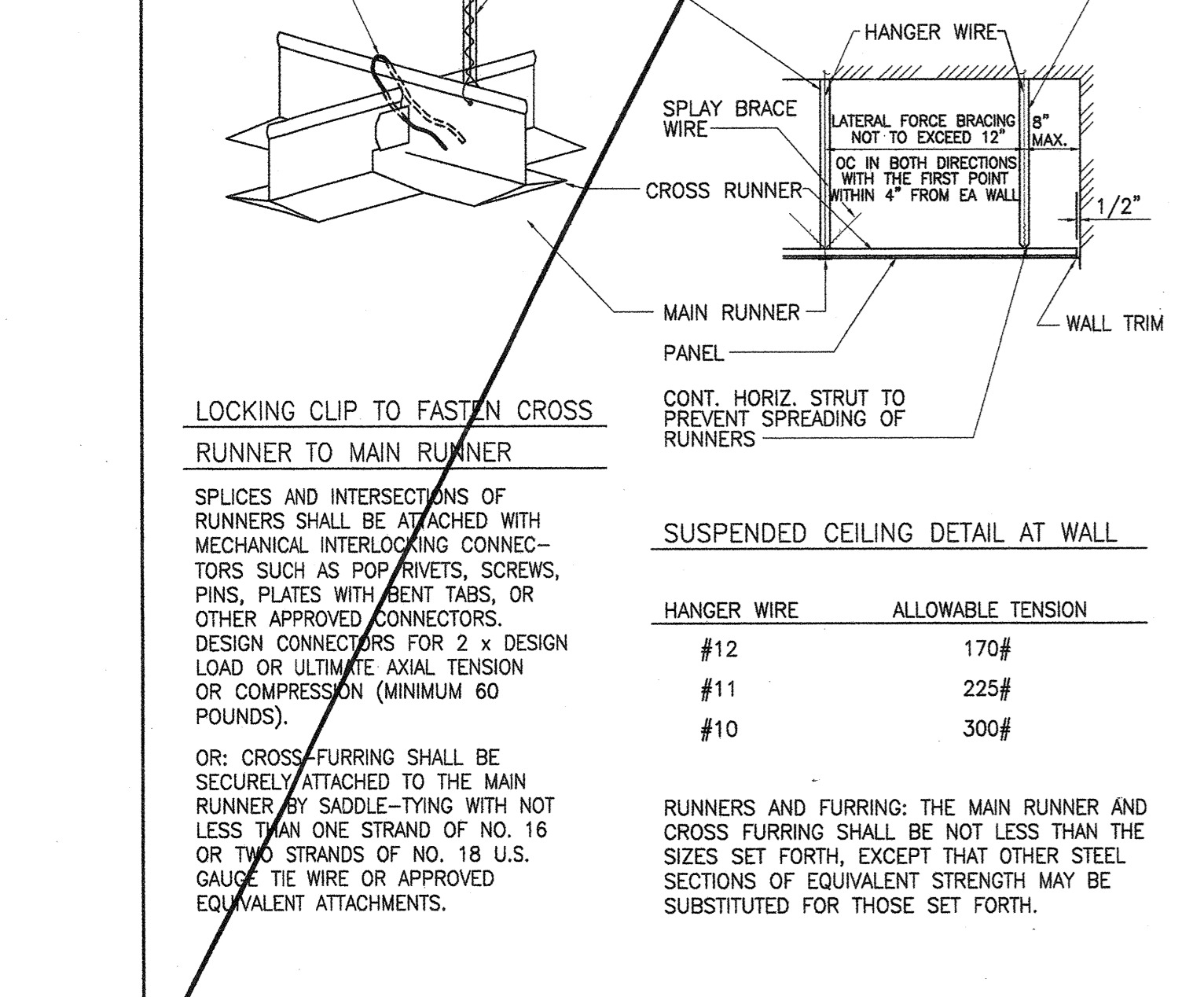
19 SUSPENDED CEILING DIAGRAM
 SCALE: 12" = 1'-0"



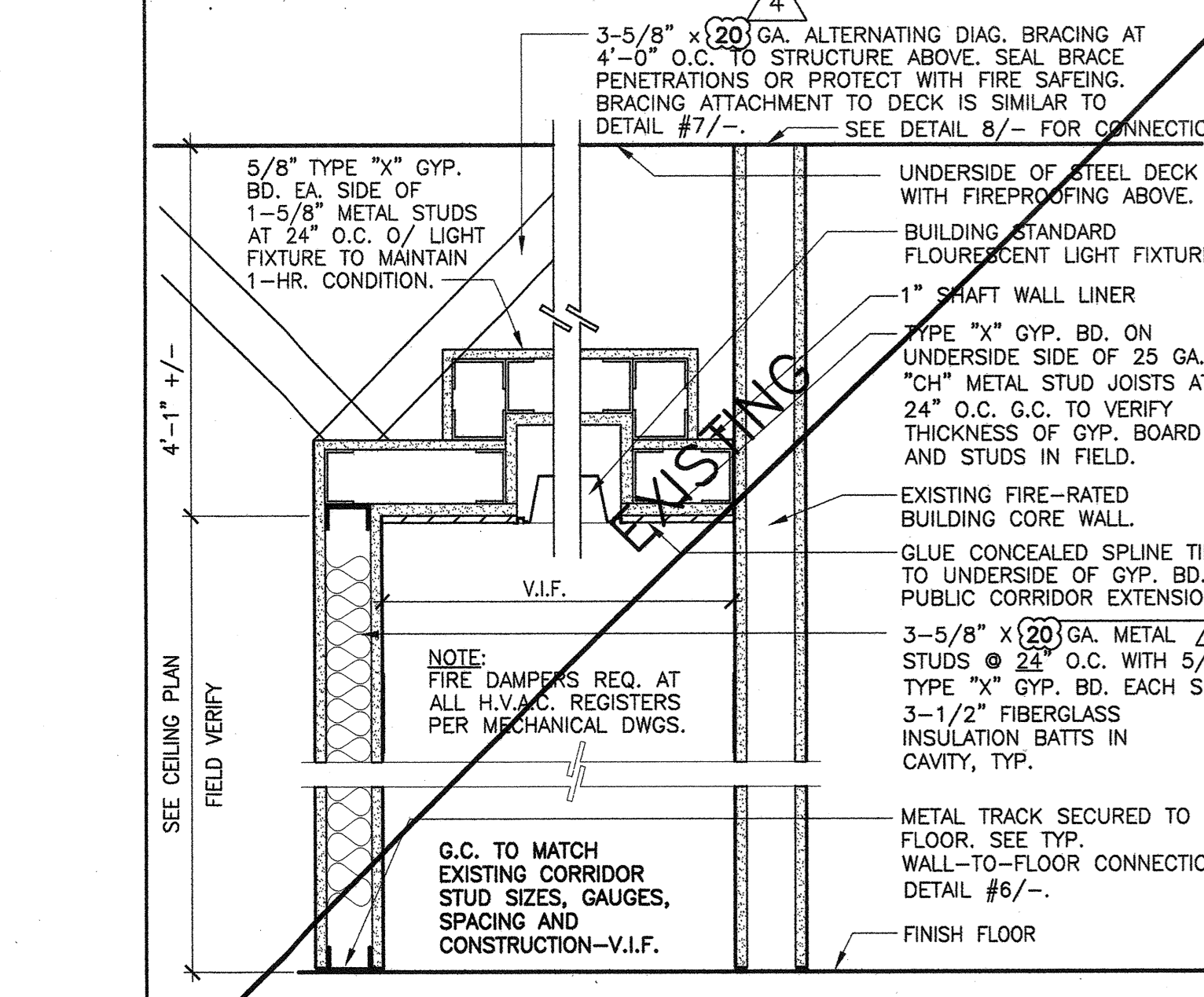
15 BLD. STD. FULL HT DEMISING WALL
 SCALE: 1/2" = 1'-0"



16 DOOR JAMB DETAIL
 SCALE: 6" = 1'-0"



17 DOOR JAMB DETAIL
 SCALE: 6" = 1'-0"



18 INTERIOR DOOR HEAD DETAIL
 SCALE: 6" = 1'-0"

1 ONE HOUR RATED WALL
 1HR RTD WL
 SCALE: 1/2" = 1'-0"

2 INSULATED WALL
 INS WL
 SCALE: 1/2" = 1'-0"

3 FULL HEIGHT INSULATED WALL
 FH INS WALL
 SCALE: 1/2" = 1'-0"

4 BLD. STD. FULL HT DEMISING WALL
 BLD STD WALL
 SCALE: 1/2" = 1'-0"

5 SUSPENDED CEILING DIAGRAM
 11 DETAILS
 SCALE: 12" = 1'-0"

6 PARTITION TO SLAB CONNECTION
 SLABCONN
 SCALE: 1" = 1'-0"

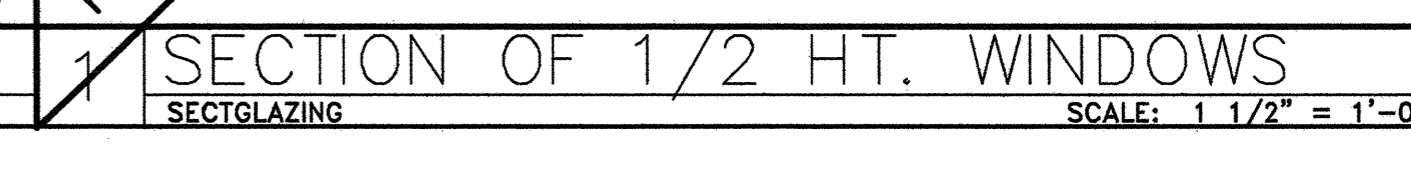
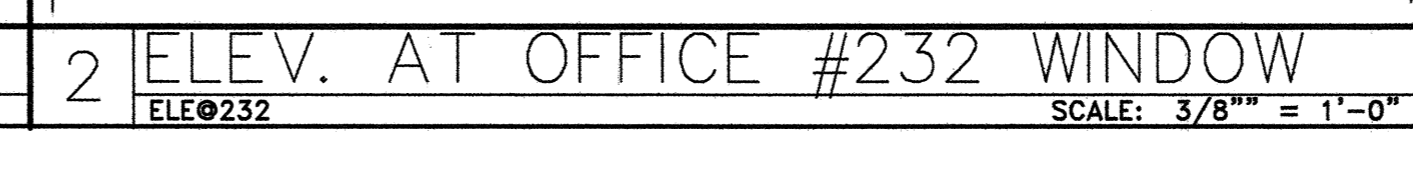
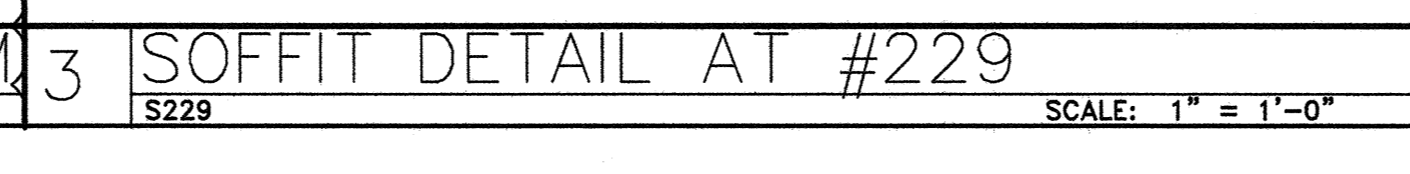
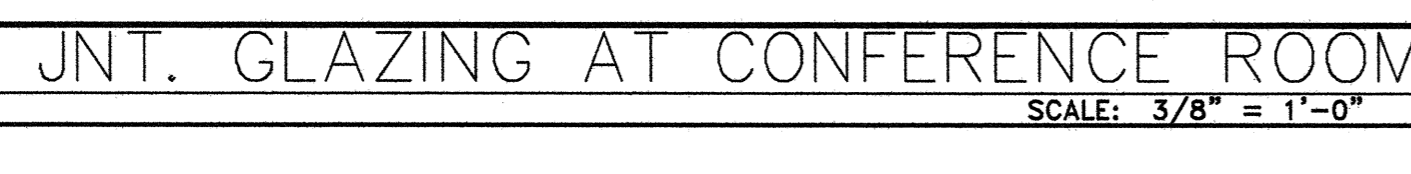
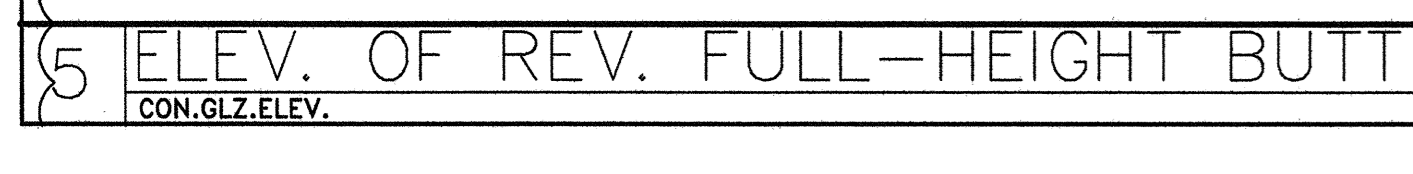
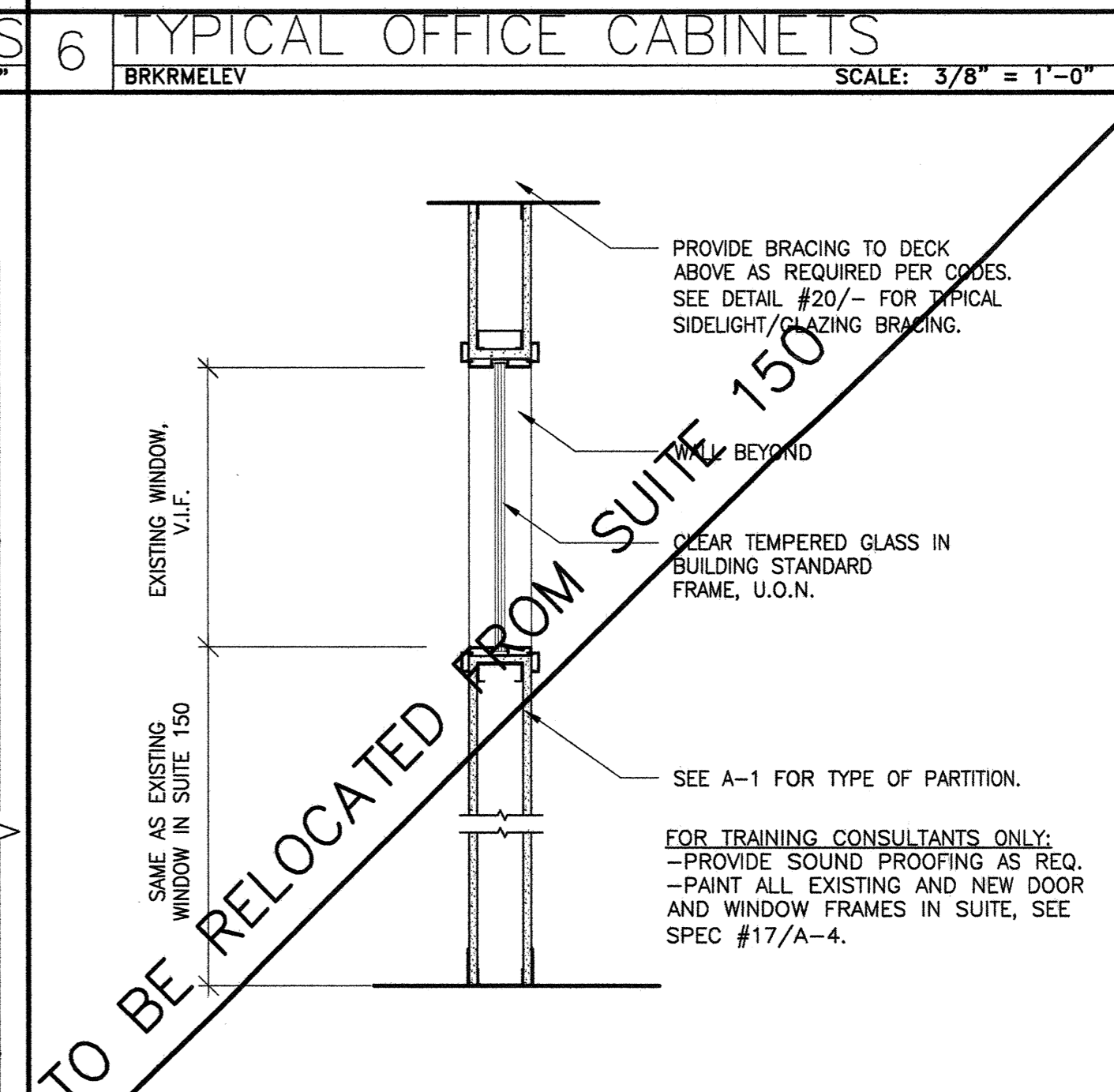
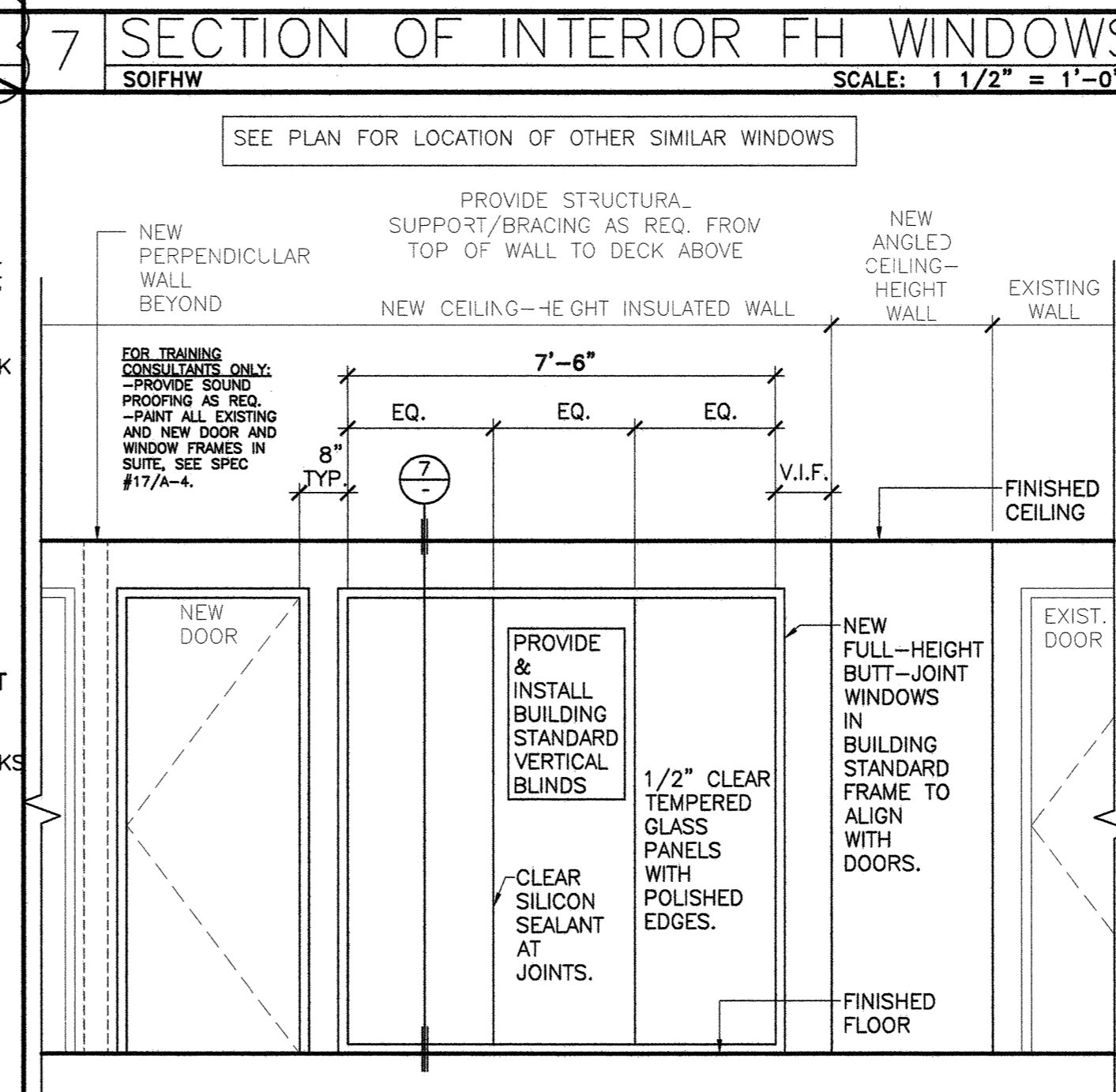
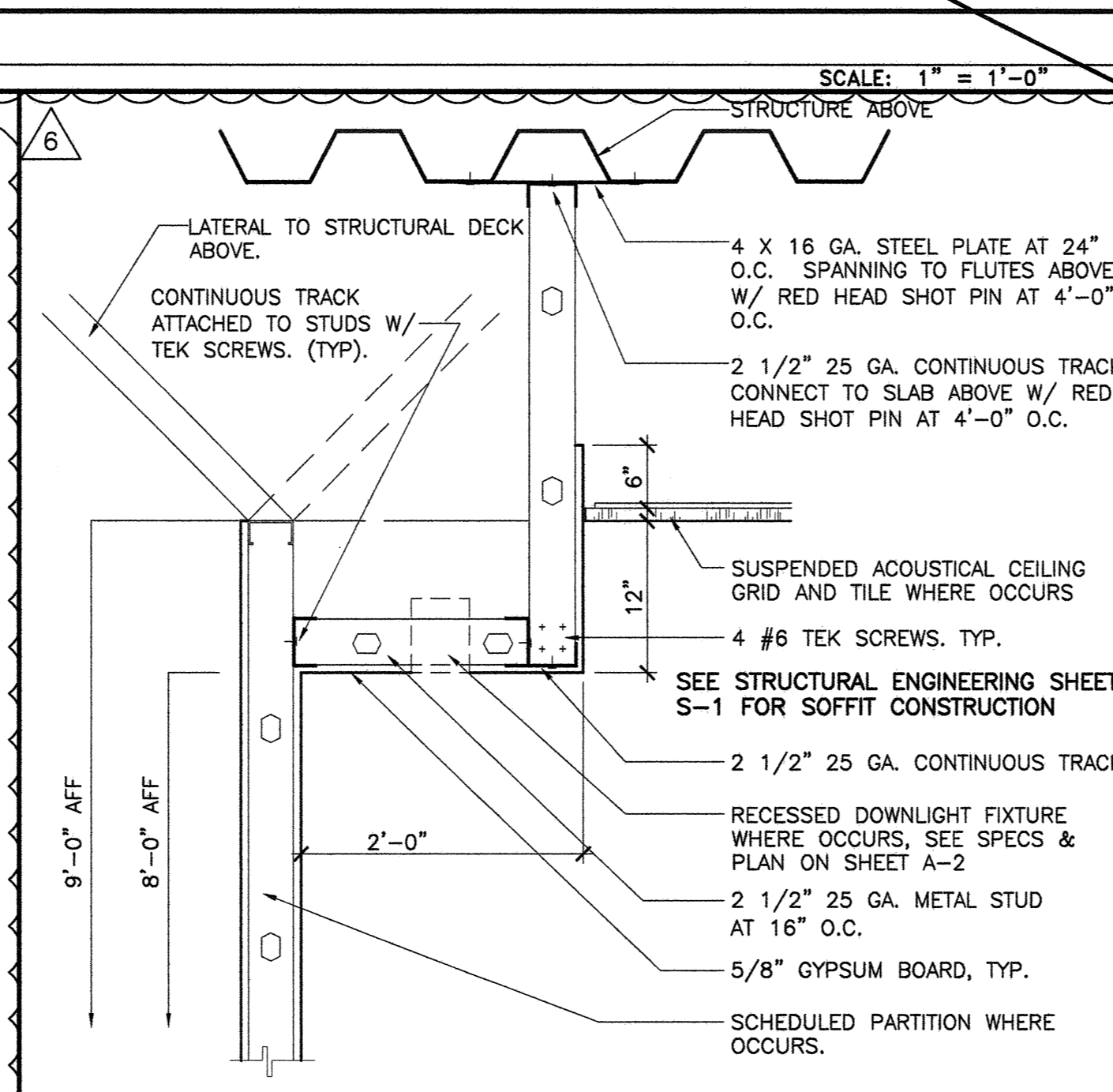
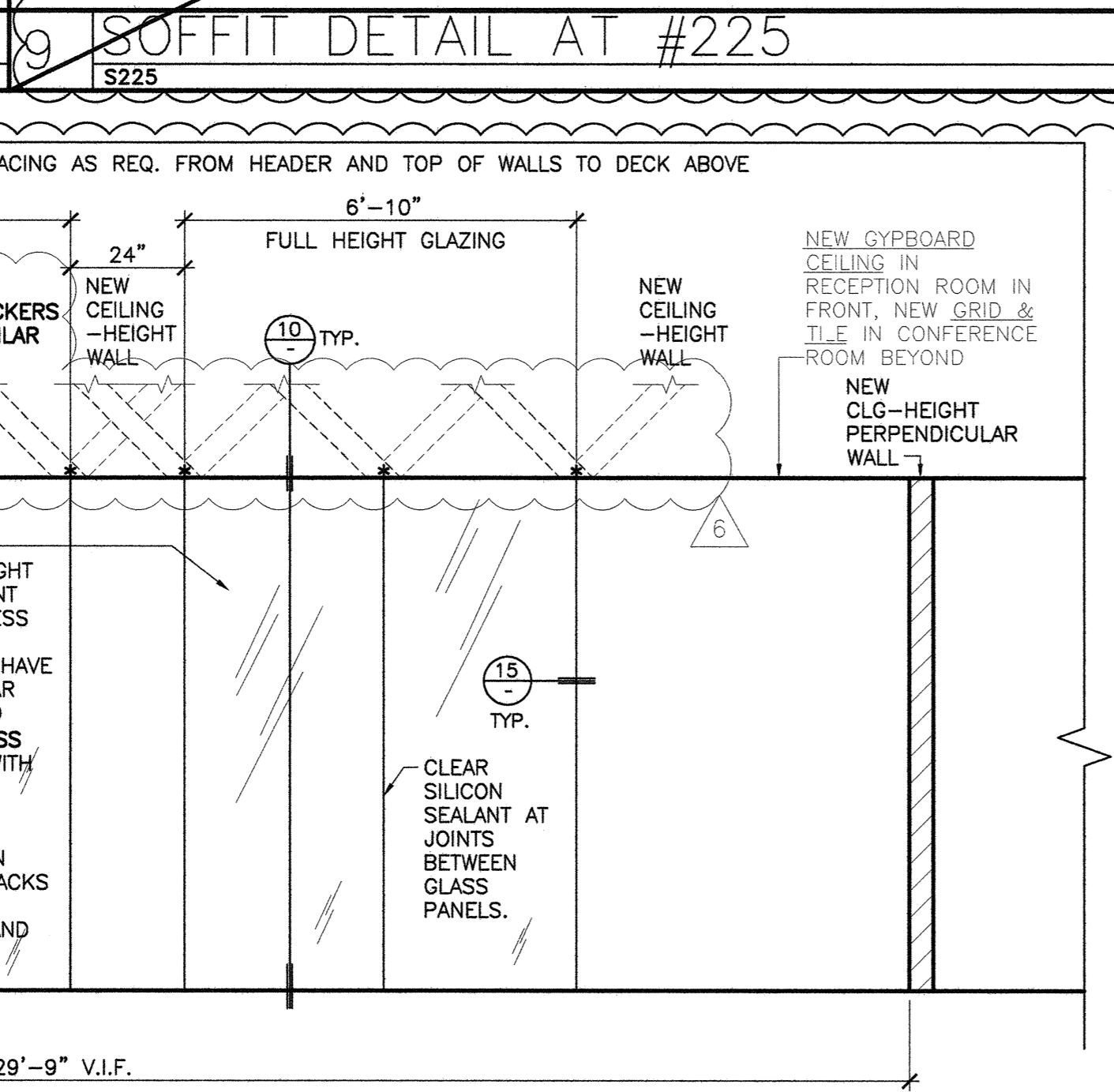
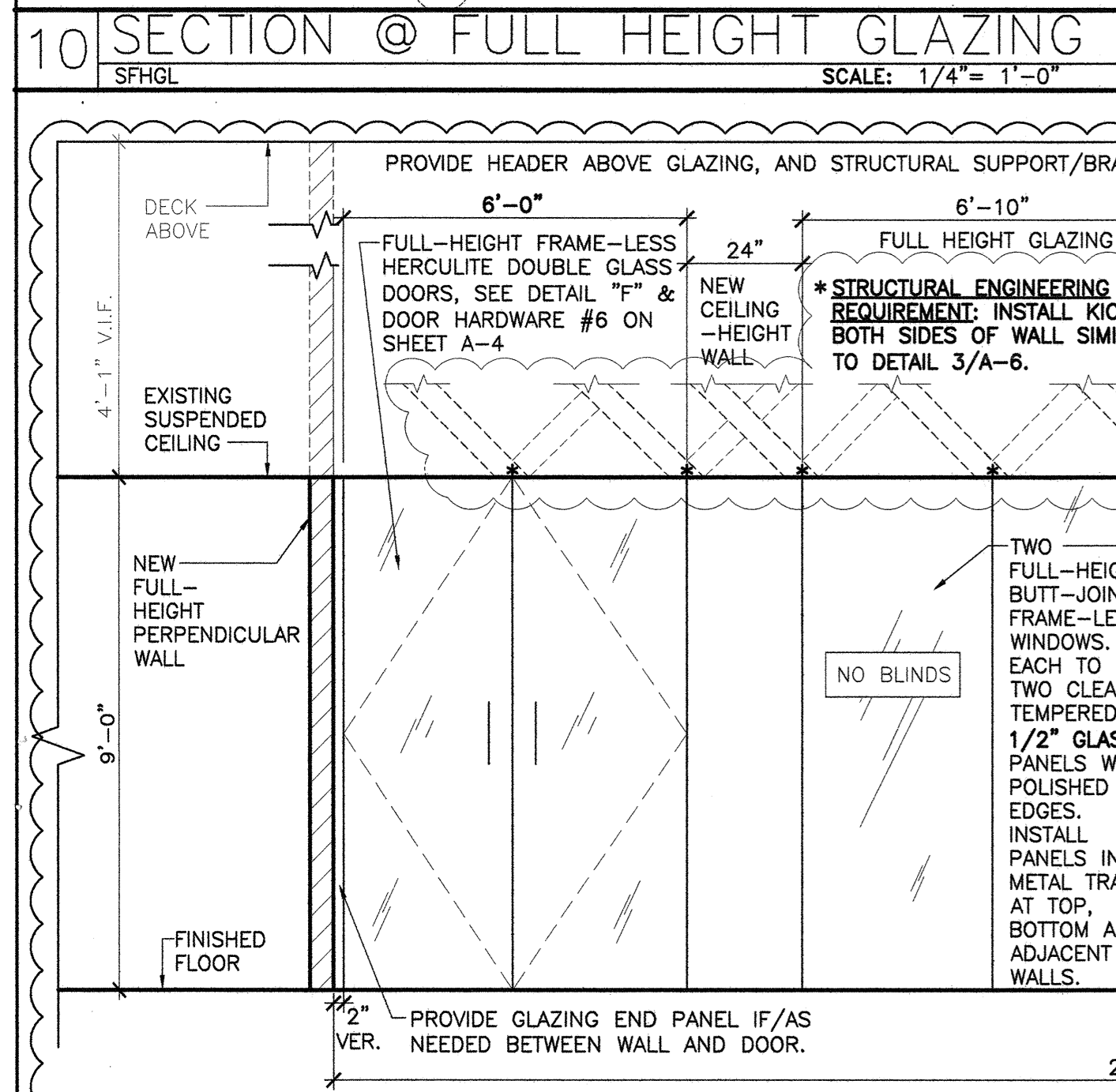
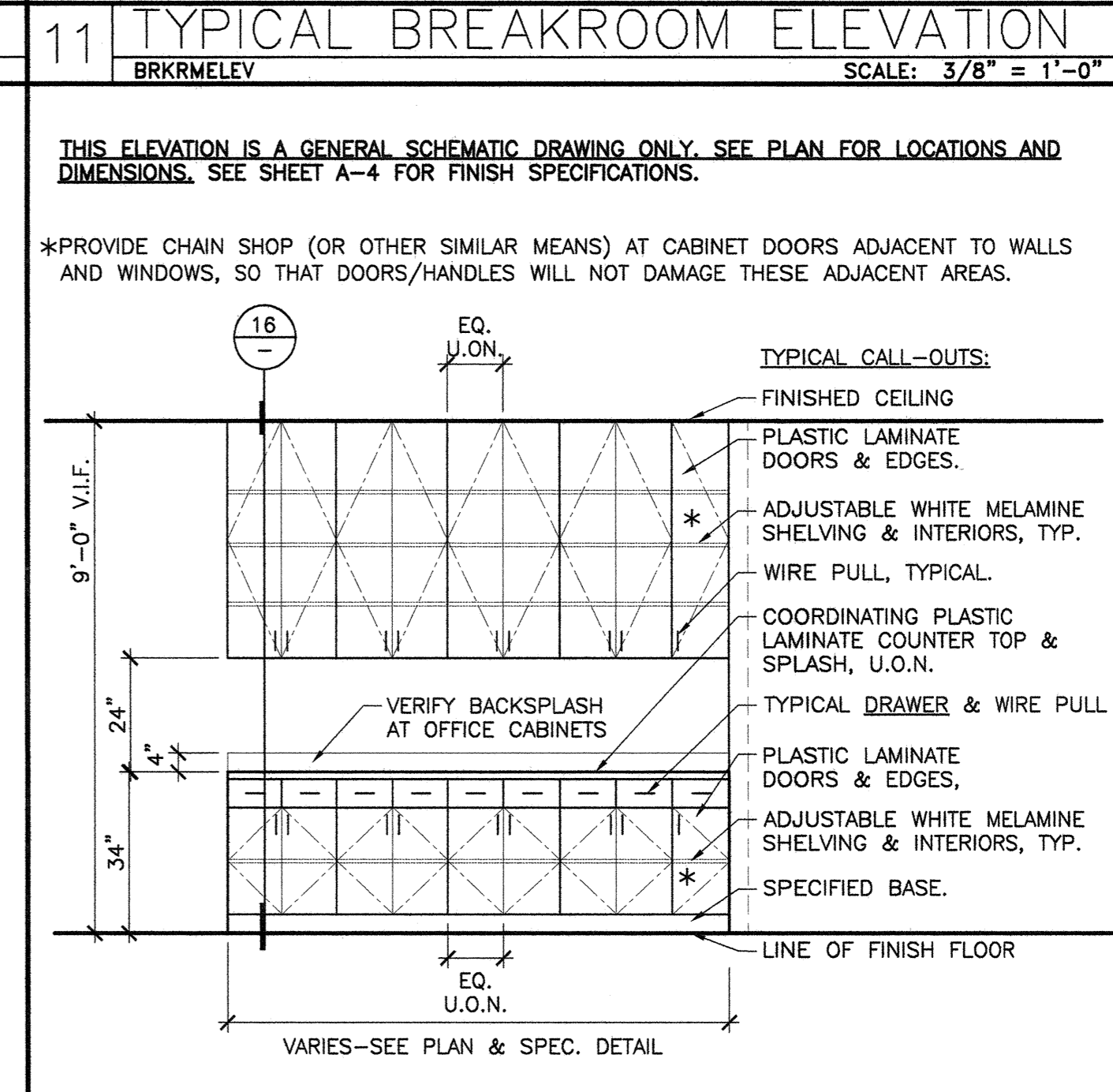
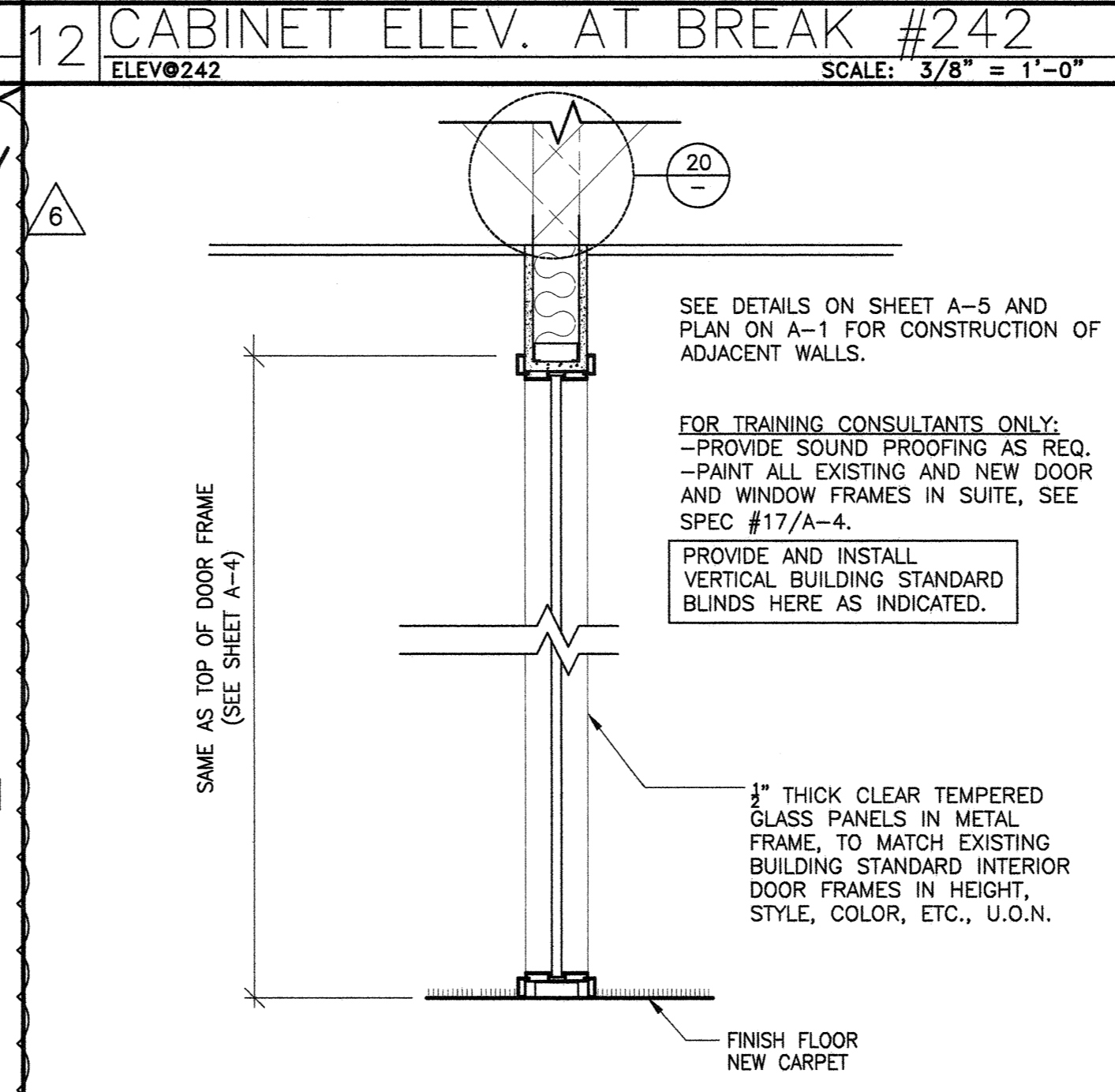
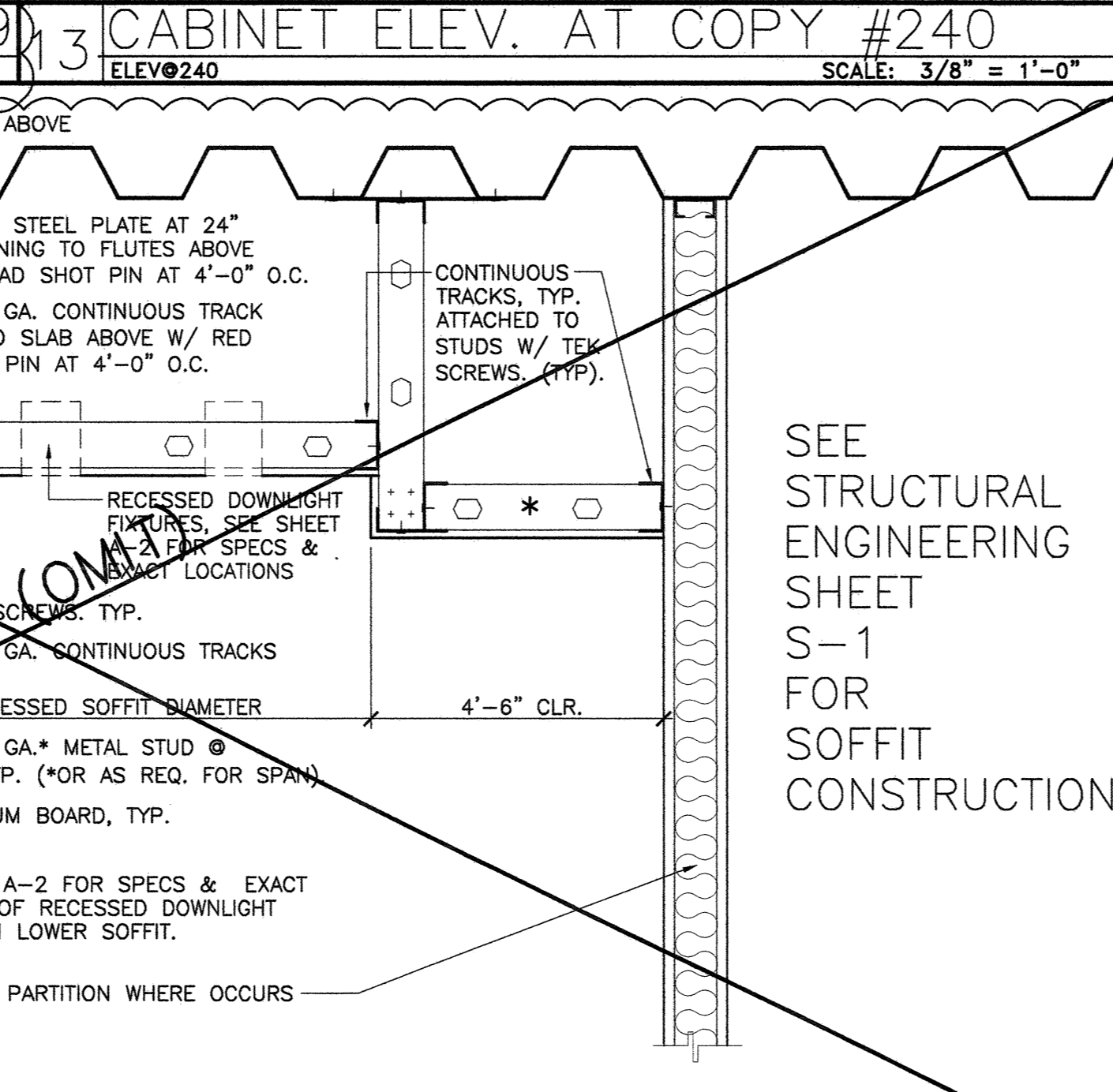
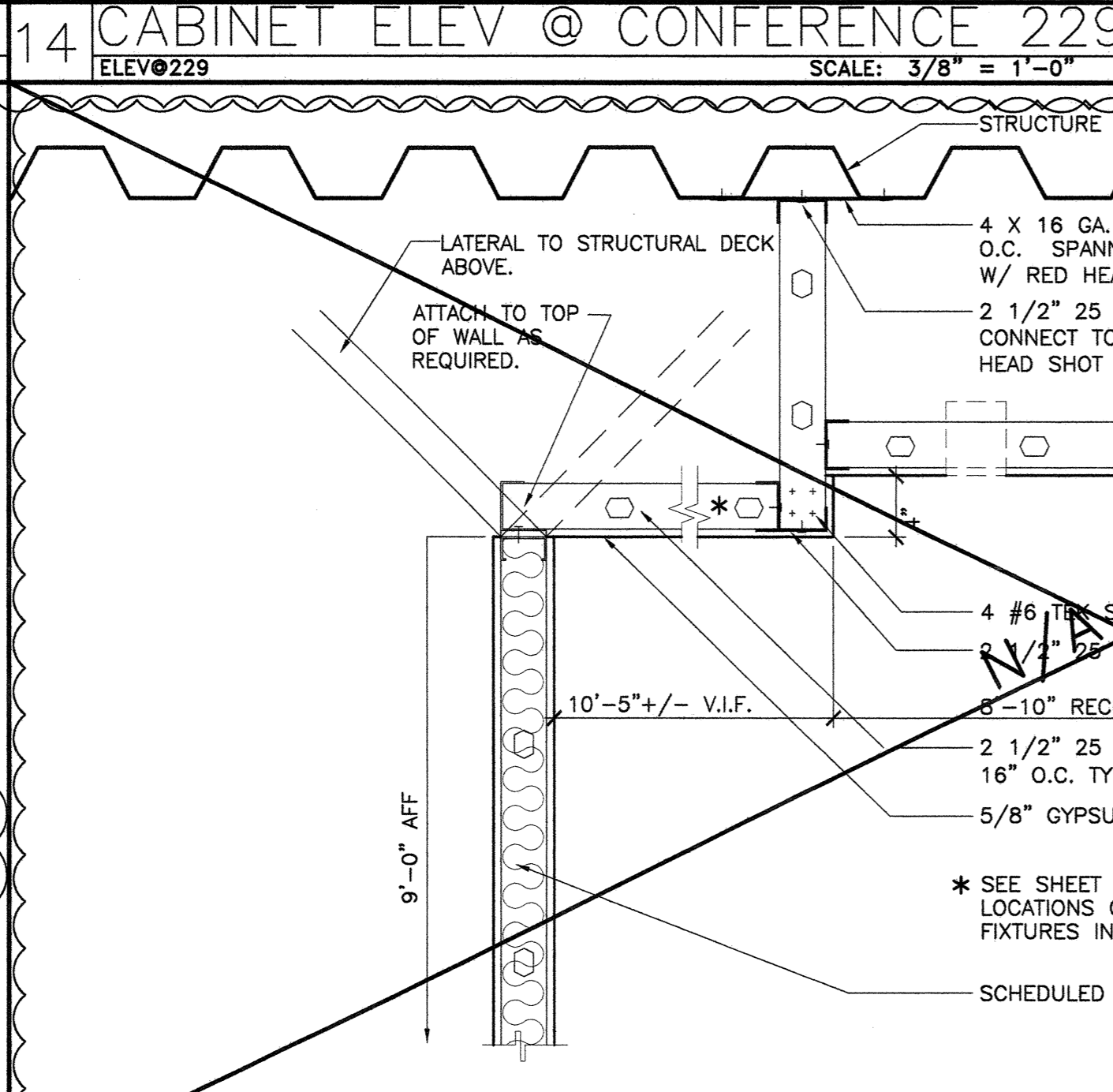
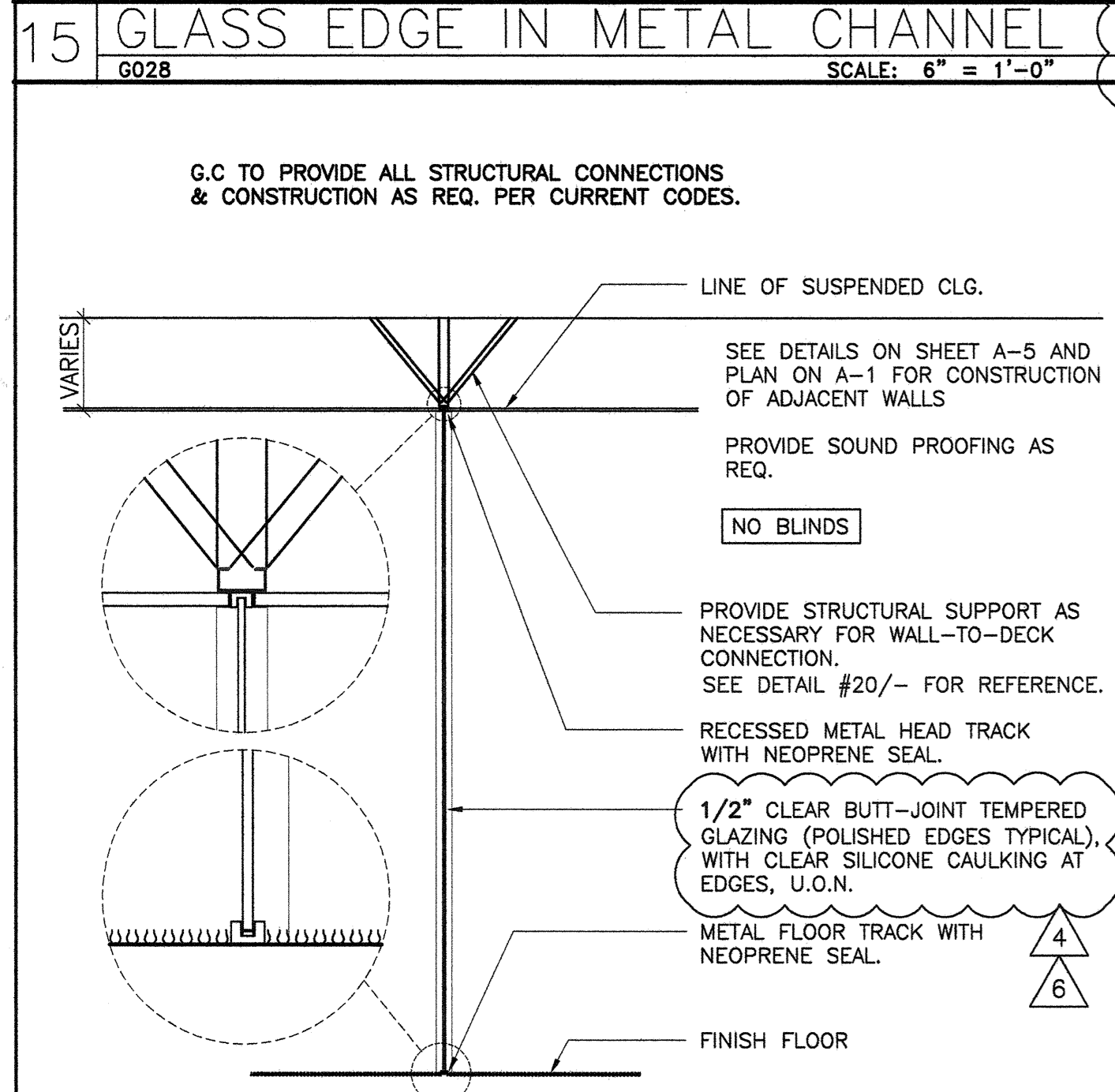
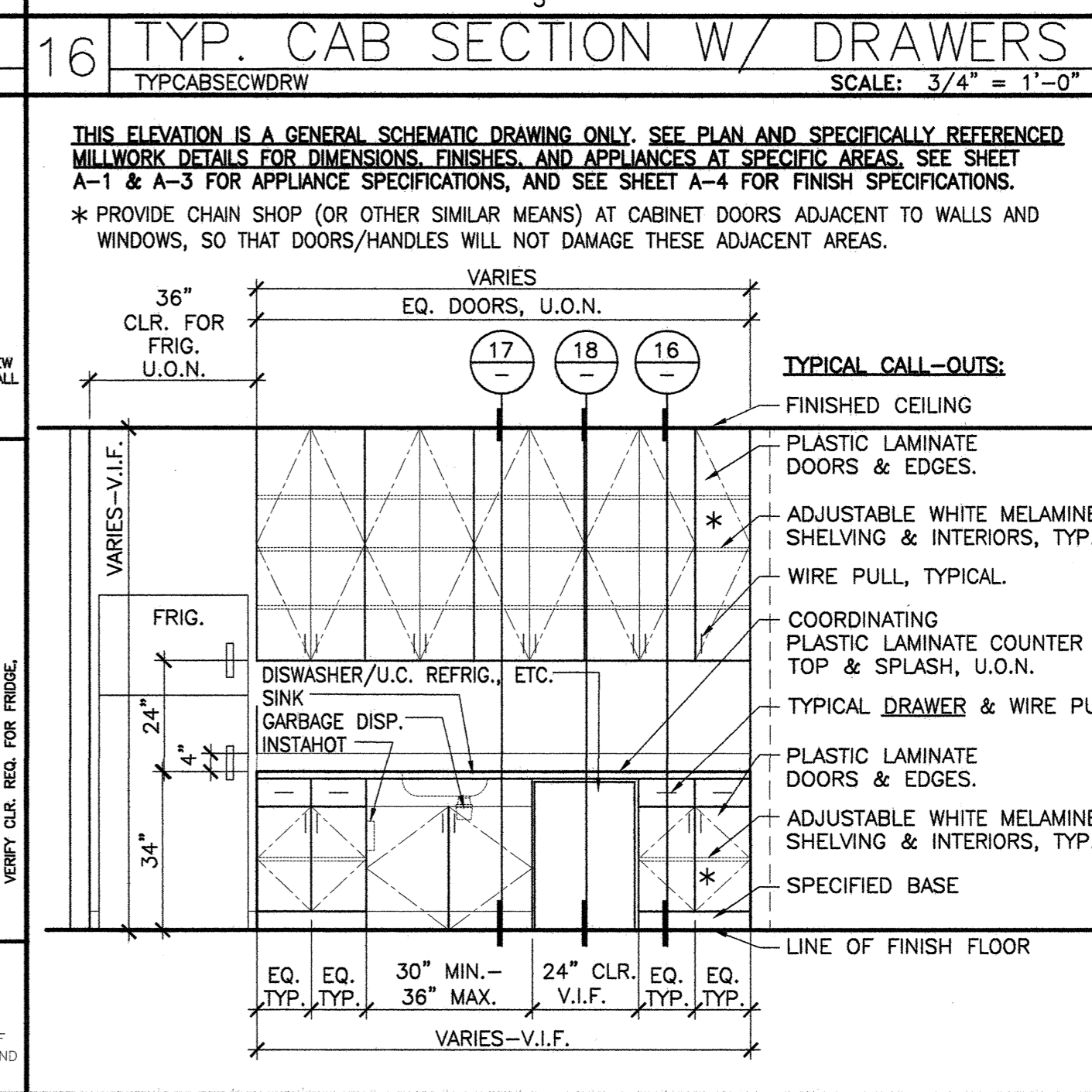
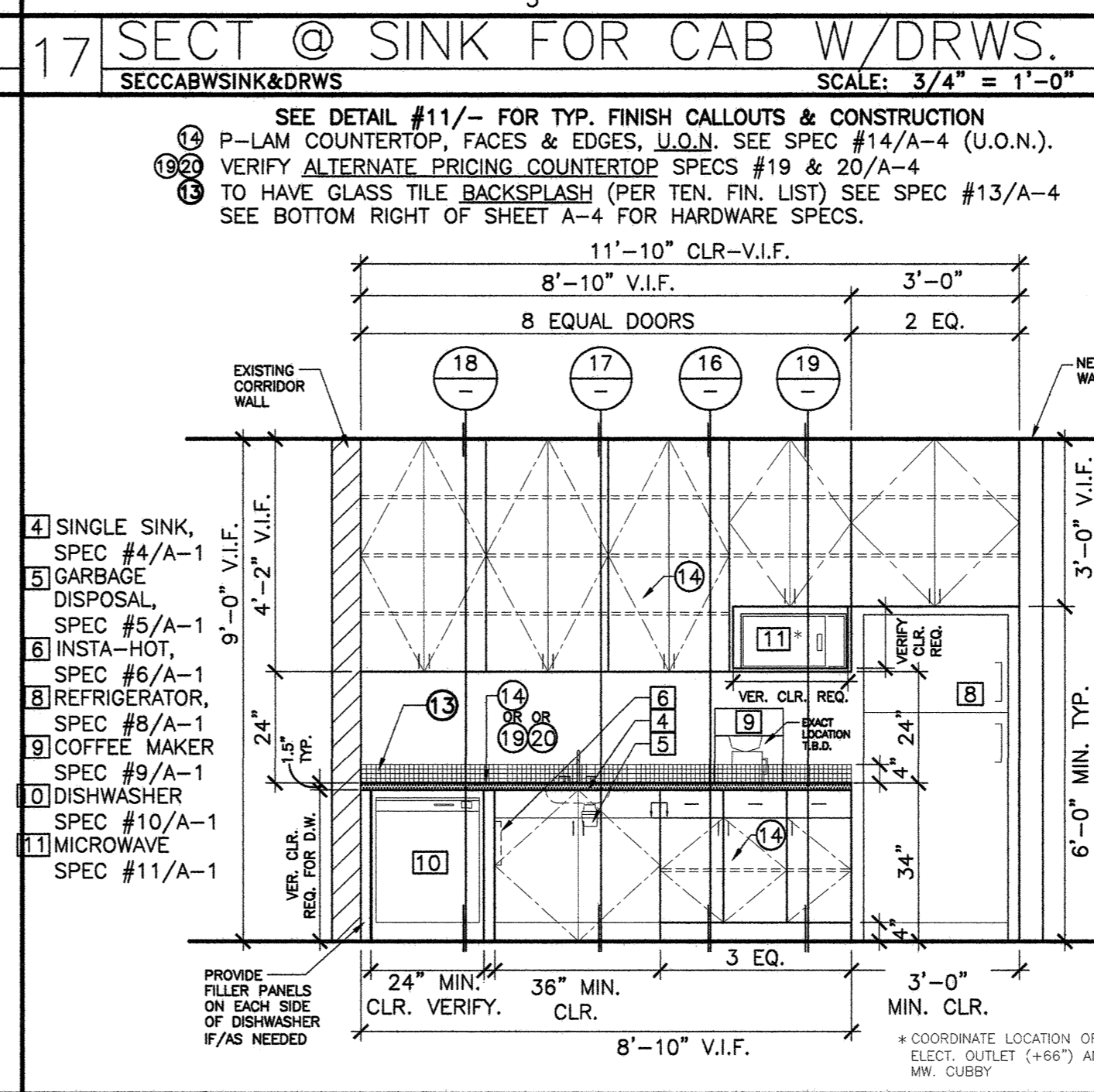
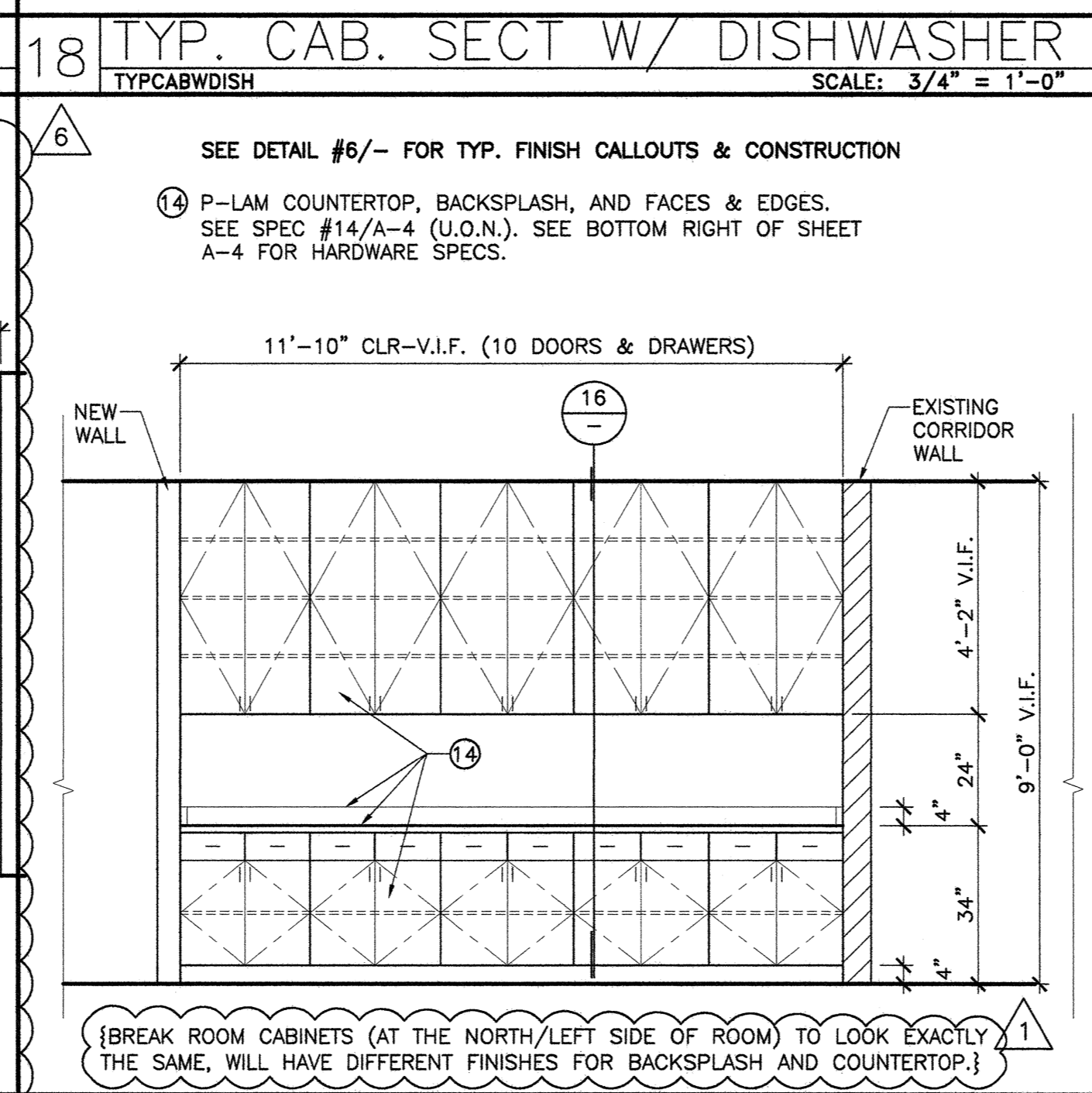
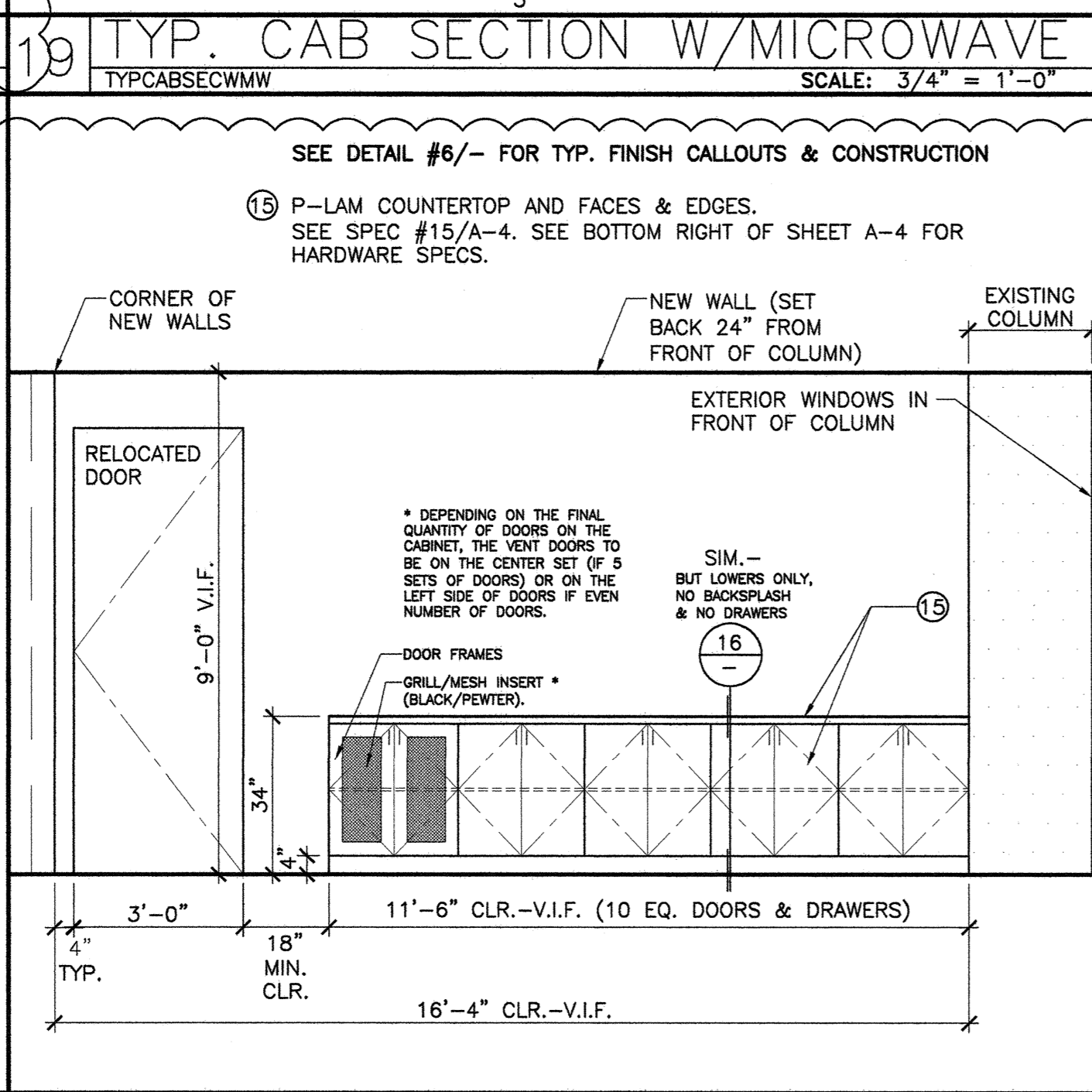
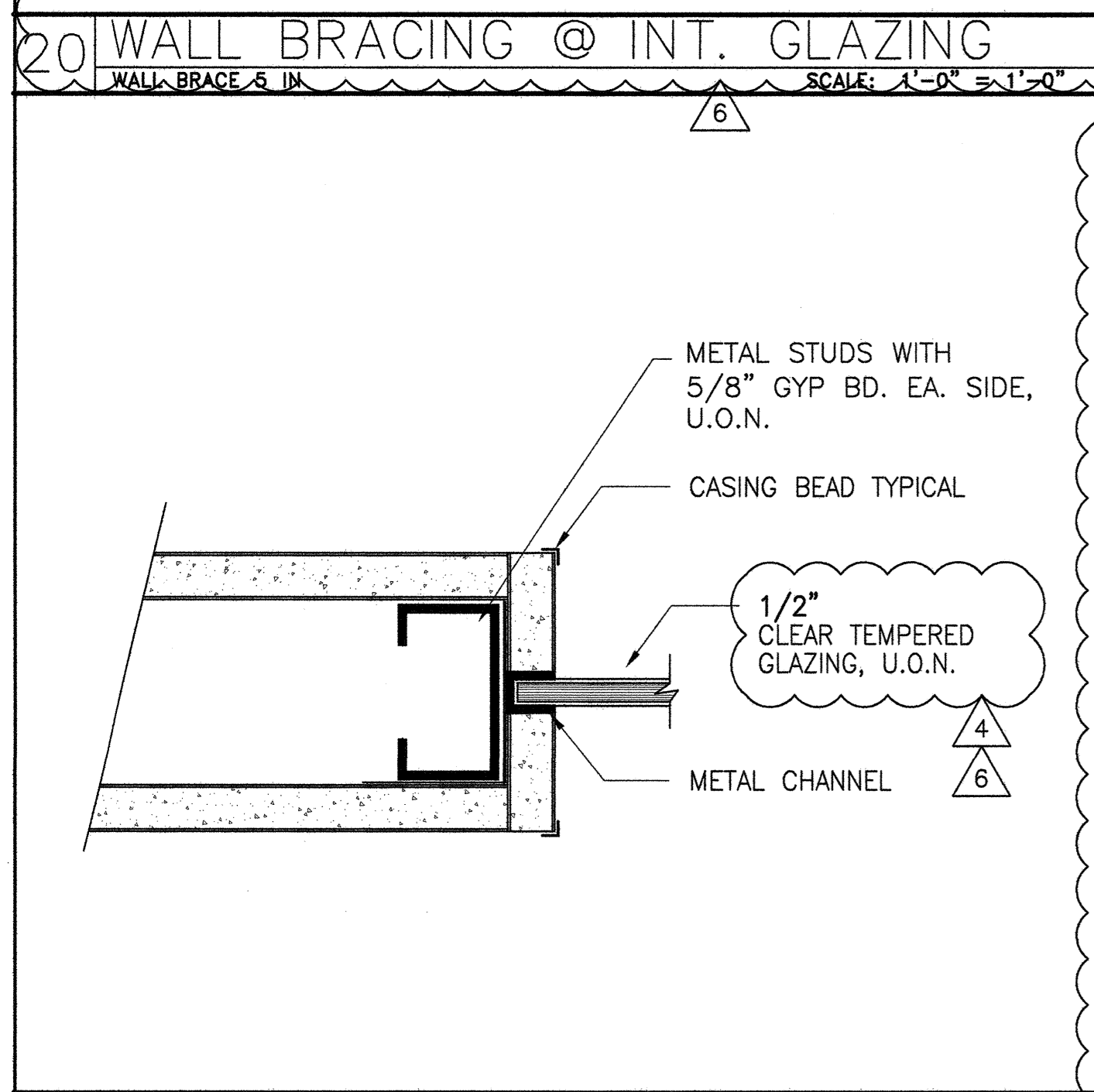
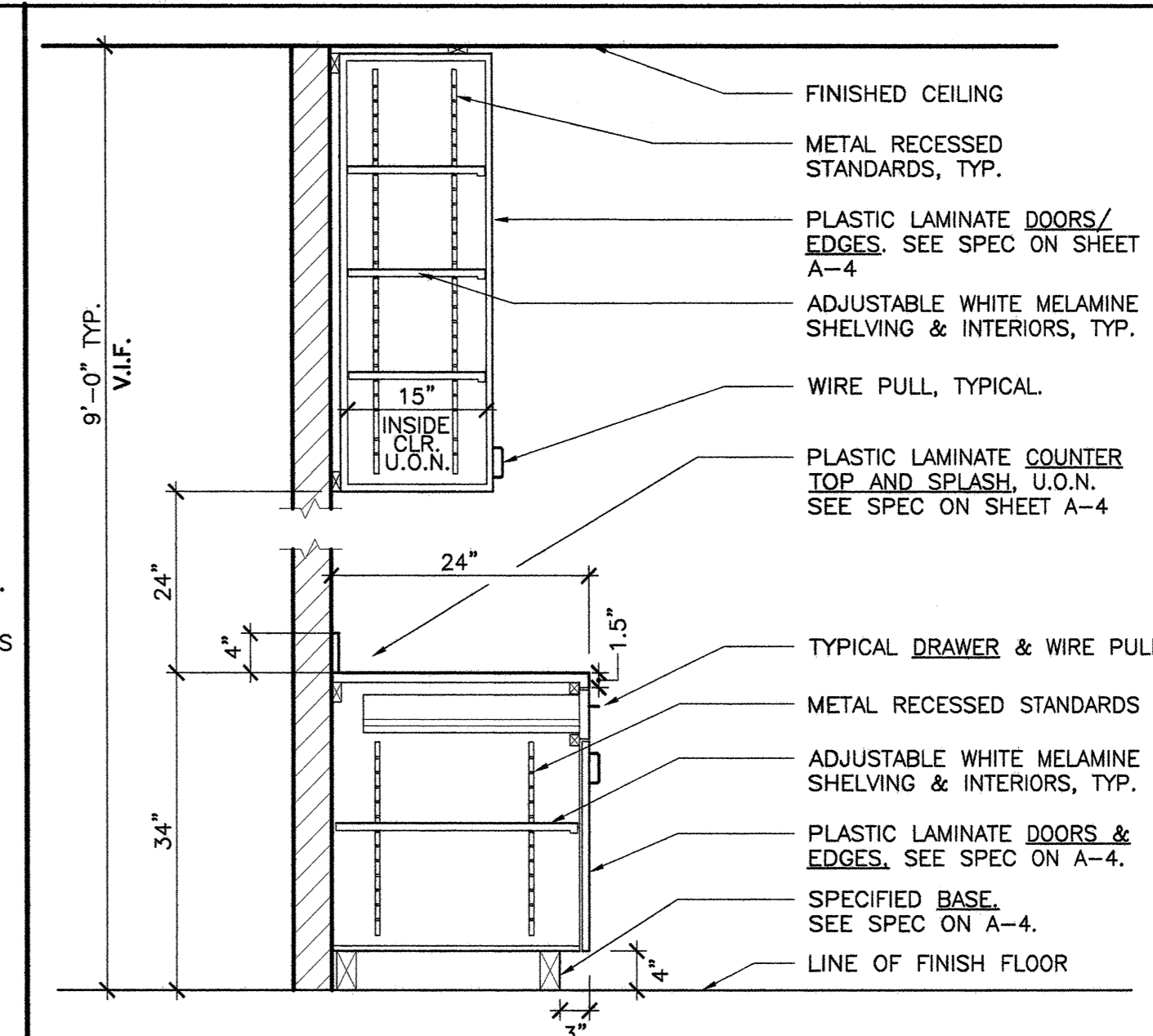
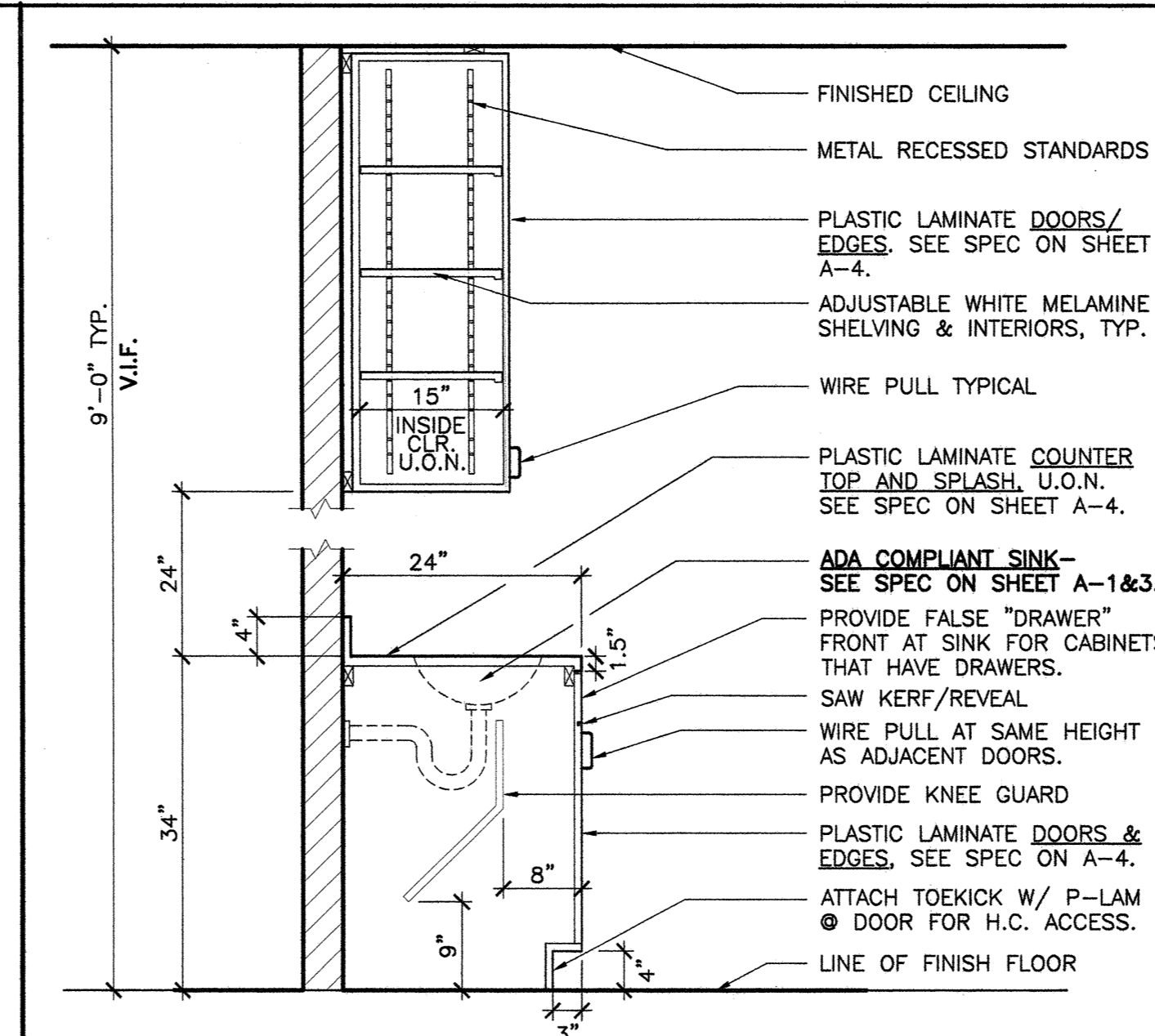
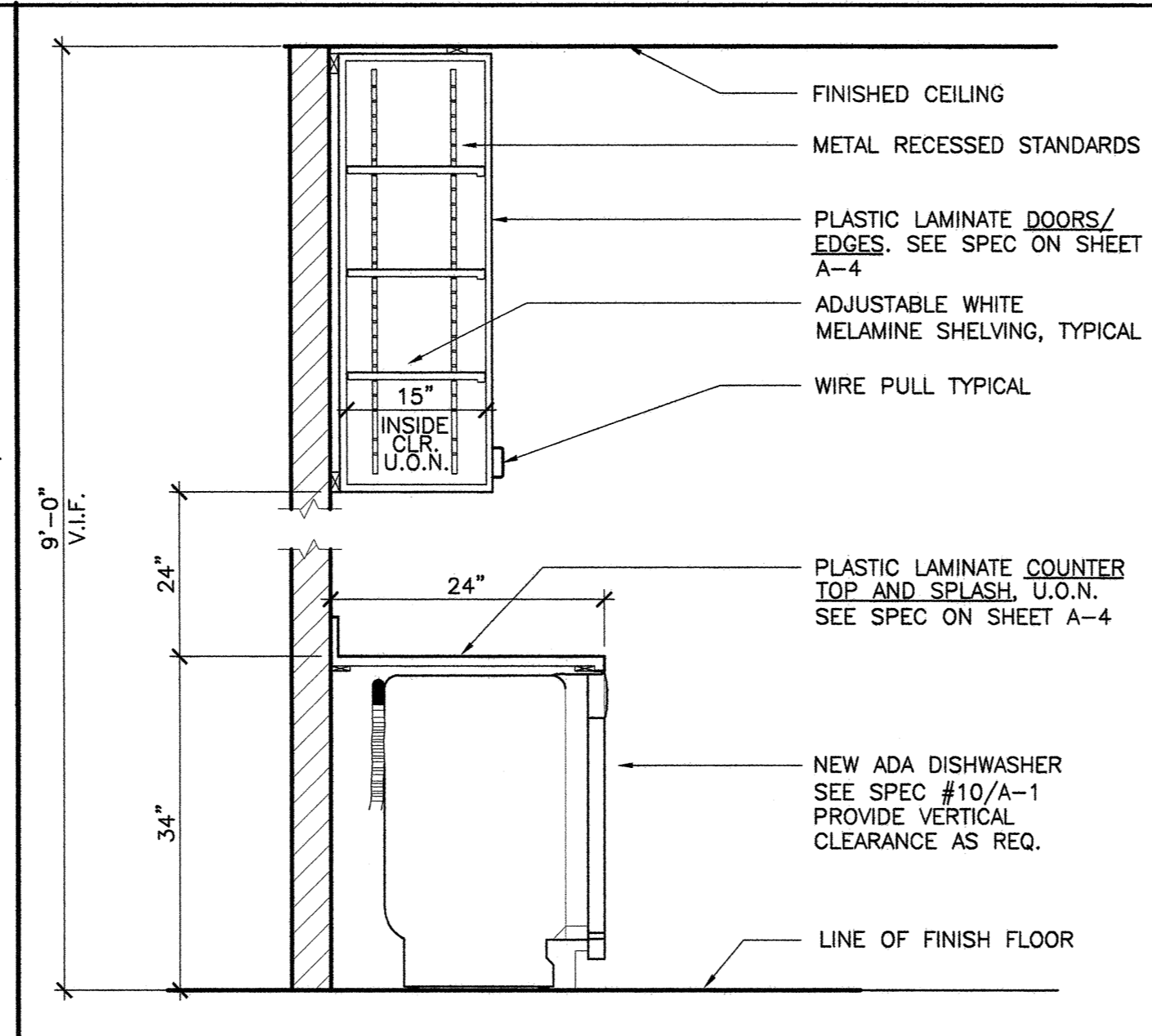
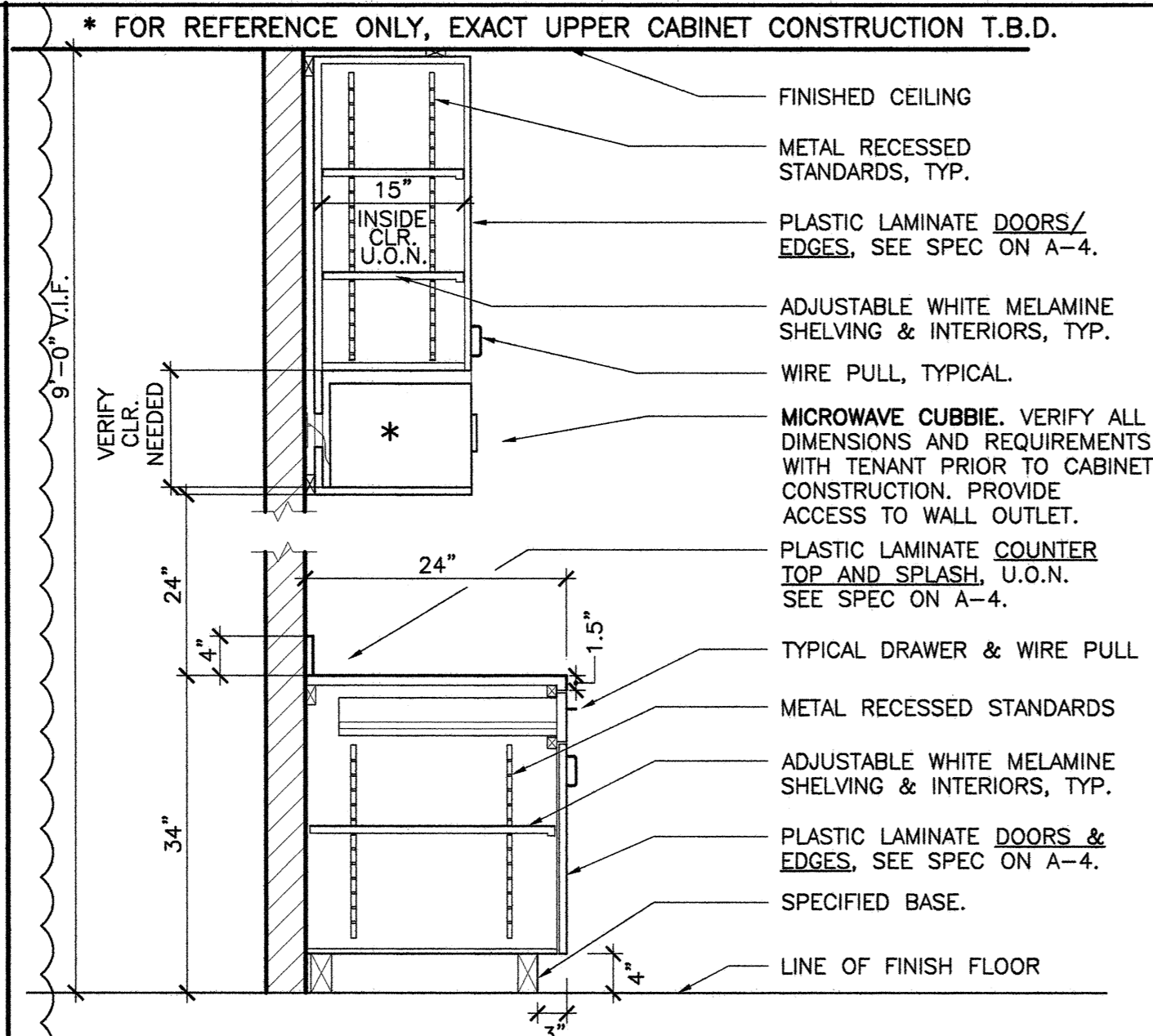
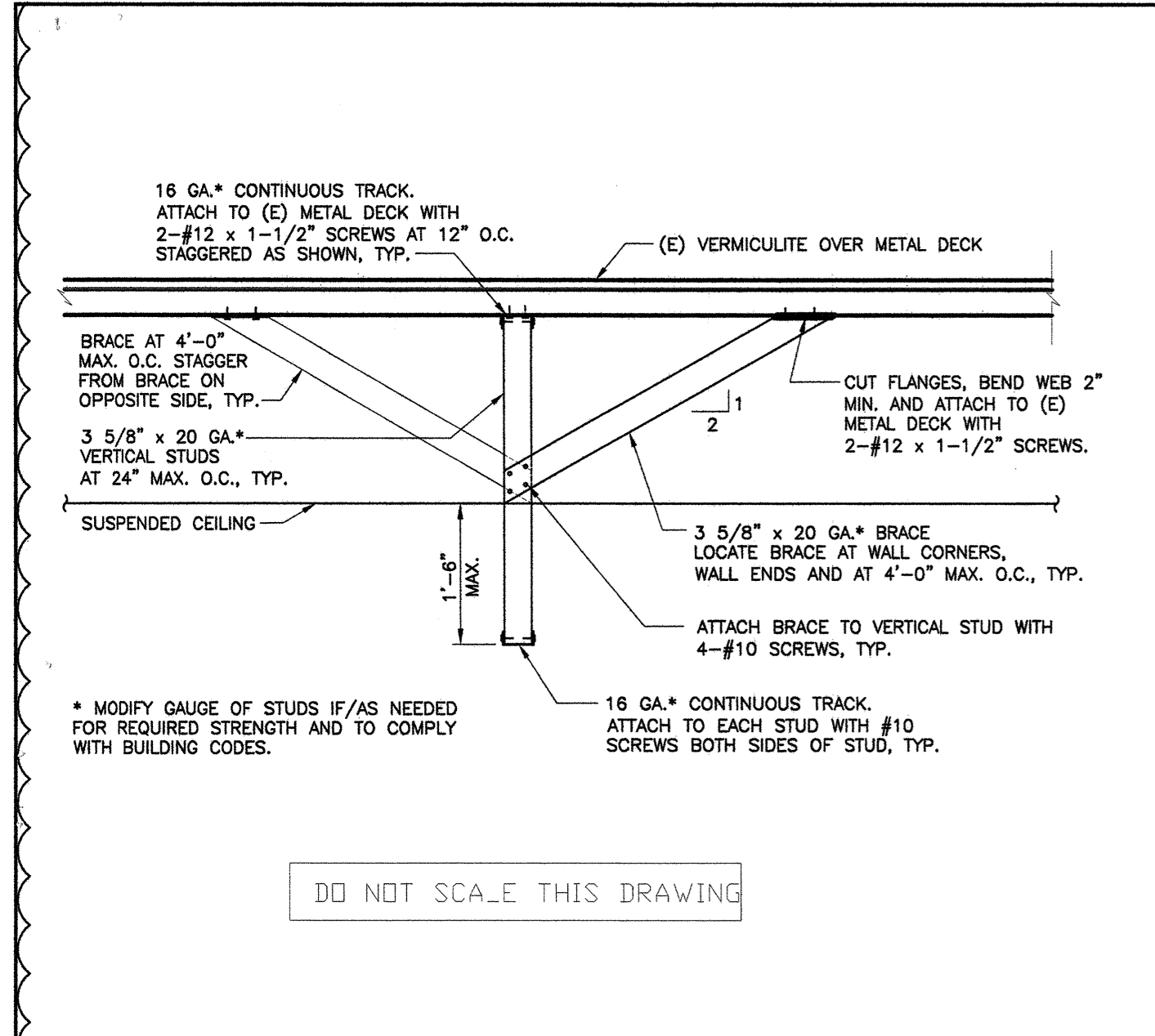
7 PARTITION BRACE DETAIL
 BRACE
 SCALE: 1-1/2" = 1'-0"

8 PARTITION TO DECK DETAIL
 C015
 SCALE: 1-1/2" = 1'-0"

9 SLIP TRACK DETAIL
 C014
 SCALE: 3" = 1'-0"

10 CLOSURE ANGLE
 CLOSURE ANGLE
 SCALE: 3" = 1'-0"

11 ONE HOUR RATED WALL
 1HR RTD WL
 SCALE: 1/2" = 1'-0"



PROJECT

AR DEN REALTY, INC.

HARBOR CORPORATE PARK
3621 SOUTH HARBOR BOULEVARD
SANTA ANA, CA 92705

TENANT

TENANT

TRAINING CONSULTANTS

SUITE 225

AGREED: ACCEPTED THIS DAY OF 2012

TENANT: BY: TITLE: COMMENT: UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

REVISIONS

NO.	DESCRIPTION	DATE
1	TENANT REVISIONS MS/DET. #5,9,10,14,15,20	03.07.12
2	PLAN CHECK CORRECTIONS MS/DETAILS #5, 10, 15	02.13.12
3	TENANT REVISIONS (DET. #13)	01.25.12
4	PLAN CHECK SUBMITTAL	01.25.12
5	RELEASED FOR ENGINEERING	01.13.12

REVISIONS

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NO. DESCRIPTION DATE

INTERIOR PLANNING & DESIGN

SPACES P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE
USABLE: 5,486 SF

SECOND FLOOR
MILLWORK, GLAZING, & SOFFIT DETAILS

Sheet Title
Project Number 2778.15
Sheet Number A-6