

CITY OF SANTA ANA

BUILDING PERMIT WORKSHEET

10174287

PLEASE PRINT

1/14/09 forms/Bldg App Worksheet

PROJECT ADDRESS: 1851 E. FIRST ST. <small>SANTA ANA CA 92705</small>		SUITE: 100	SAPIN #
USE OF BUILDING: RESIDENTIAL <input type="radio"/> COMMERCIAL <input checked="" type="radio"/> INDUSTRIAL <input type="radio"/> OTHER <input type="radio"/>	MASTER ID#		
NATURE OF WORK: NEW <input type="radio"/> ADD <input type="radio"/> ALTER/T.I. <input checked="" type="radio"/> DEMO <input type="radio"/> REROOF <input type="radio"/> REPAIR <input type="radio"/> SIGN <input type="radio"/> MISC <input type="radio"/>			
NEW/ADDITION/ALTERATION:			
1ST FL. _____ SF	BASEMENT: YES/NO _____ SF	NO. OF STORIES: _____	
2ND FL. _____ SF	PATIO/ENCL. PATIO: _____ SF	BLDG. HEIGHT: _____	
TOTAL OF OTHER FLS: _____ SF	RES. REMODEL: _____ SF	PROPOSED USE: _____	
GARAGE/CARPORT: _____ SF	ALTER/T.I.: 678 SF	(EXPANSION OF SUITE 100)	
JOB DESCRIPTION (non-residential projects see reverse side of this application): TENANT IMPROVEMENT COMPRISING: DEMO: DOUBLE EXIT DOOR, 3 INTERIOR WALLS, 2 INTERIOR DOORS, SECTION OF PAINT-UP CEILING, FINISHES. NEW: RATED CORRIDOR WALL WHERE DOUBLE DOORS ARE REMOVED; INTERIOR WALLS, DOORS, & SIDELIGHTS; SECTION OF SUSPENDED CEILING GRID & TILE; FINISHES.			
BUILDING OWNER'S NAME: PM REALTY GROUP <small>(CONTACT: ALISON SANSONE, PROPERTY MANAGER)</small>		PHONE NO: (714) 568-0317	
ADDRESS: 1851 E. FIRST ST., SUITE 175	CITY: SANTA ANA	STATE: CA	ZIP: 92705
TENANT'S NAME (Comm/Ind): ADELSON, TESTAN, BRUNDO & JIMENEZ		PHONE NO:	
CONTRACTOR'S NAME: T.B.D.		STATE CONTR. #: 790706	LICENSE CLASS: PHONE NO:
ADDRESS:		CITY:	STATE: ZIP:
WORKERS COMP. POLICY#:	EXP. DATE:	INSURANCE COMPANY:	SANTA ANA BUS. LIC. #:
ARCHITECT/ENGINEER: SPACES P&D <small>(CONTACT: RANDALL PATRICK) →</small>		STATE LICENSE #: CCDC #6141	PHONE NO: (949) 724-1499
ADDRESS: 17780 FITCH		CITY: IRVINE	STATE: CA ZIP: 92614
CONTACT NAME: RANDALL PATRICK		PHONE NO: (949) 724-1499	
E-MAIL ADDRESS: rand@spaces-oc.com		FAX NO: (949) 724-1490	

OFFICE USE ONLY: ACCORD SPC (CIRCLE ONE) **C** HRS PER **KA** BLDG. FEE \$ _____

ACC. GROUP: _____ RECEIPT #: **58723** P/C FEE PD \$ **20096**

TYPE OF CONSTR: _____ VALUATION: \$ **22,500** SUBMITTAL DATE: **1/31/12**

FIRE SPKR: YES/NO _____ A/C: YES/NO _____ FLOOD ZONE: _____ PROCESSED: **SP**

RES. DEV. FEE: YES/NO _____ PRIOR DWELLING UNIT: YES/NO _____ COMMENTS: _____

PLANNING OK TO CHECK & DATE: _____ BLDG. DEPT. APPROVAL & DATE: _____

PLNG CONDITIONS: _____

FEE CHECKLIST WORKSHEET

Received by: _____

[Signature]

SAPIN #: _____

10174287

FEE TYPE

REQUIRED

Yes No

Plan Check Fee

Disability Fee

SMIP Fee

Res. Dev. Fee

Fire Facility Fee

School Distr. Fee

Microfilm

FCWP Surcharge

CALCULATION AREA

COST/SQ FT

X

TOTAL SQ FT

=

VALUATION

$$35.90 (6284) =$$

Counter computations/valuation \$

22,545

Plan checker computation/final valuation \$ _____

CITY OF SANTA ANA
PLAN CHECK - CHECKLIST

1851 E 1st #100

JOB ADDRESS:

TRACKING #

DATE:

FOR PLANCHECK STATUS CALL (714) 647-5800

PLEASE INITIAL EACH ITEM BELOW

MPS

I agree to pay a plancheck fee established for this project with the understanding that this payment is not a guarantee that a permit will be issued and that this fee is not refundable once a plancheck has commenced.

MPS

I understand that I may request an "Accelerated Plancheck" at an additional cost to me. This plancheck will be performed by an in-house plan checker with the intention of reducing plancheck time for the Building & Safety Division.

MPS

I understand that the project valuation (from which plancheck and permit fees are calculated) will be reviewed during the plancheck process and that said valuation shall be adjusted up or down in accordance with established fee computation regulations.

MPS

I understand that I shall submit separate plans, applications and plancheck fees for the following when plan check is required:

- a. Electrical Plans - 2 complete sets
- b. Plumbing Plans - 3 complete sets
- c. Mechanical Plans - 2 complete sets
- d. Grading Plans - 3 complete sets

MPS

I understand that I shall visit the Public Works Department to verify whether a field inspection of the property is required. I understand that prior to the issuance of the Building permit I am required to obtain Public Works Agency approval if my project valuation exceeds \$30,000 or has added plumbing fixtures, or added bedrooms, or exceeds 500 sq.ft.

AGREED TO BY APPLICANT OR AGENT

Applicant's Signature

Margaret Sharpe

Print Name

MARGARET SHARPE

Address

17780 FITCH #150 IRVING, CA 92614

Telephone Number

(949) 724-1499

Fax

(949) 724-1490

FOR OFFICE USE ONLY: "Checklist of items discussed" APPROVALS & FEES REQUIRED: Y/N

- 1. Planning Department
- 2. Public Works Agency
- 3. Fire Department
- 4. Police Department
- 5. School District
- 6. Health Department

- 7. Title 24 (Energy)
- 8. Title 24 (Disabled Access)
- 9. Roof Mounted Equip.
- 10. List of Subcontr.
- 11. Bldg. Pmt. Info.
- 12. Summary of Appr. Req.
- 13. FY Information

- 14. Constr. Act. Req.
- 15. Res. Dev. Fees
- 16. SMIP
- 17. Microfilming
- 18. Const. Debris Recyc.
- 19. FCWP Surcharge
- 20. LOA/Owner-Builder Ver.

PERMIT TECHNICIAN

[Signature]

ICC-ES Evaluation Report**ESR-2996***

Issued December 1, 2009

This report is subject to re-examination in two years.www.icc-es.org | (800) 423-6587 | (562) 699-0543

A Subsidiary of the International Code Council®

DIVISION: 07—THERMAL AND MOISTURE PROTECTION
Section: 07 84 00—Firestopping**REPORT HOLDER:****PASSIVE FIRE PROTECTION PARTNERS**
1412 DERWENT WAY
DELTA, BRITISH COLUMBIA V3M 6H9
CANADA
(604) 515-1788
www.firestop.com**EVALUATION SUBJECT:****PASSIVE FIRE PROTECTION PARTNERS THROUGH-
PENETRATION FIRESTOP SYSTEMS AND FIRE-
RESISTIVE JOINT SYSTEMS****1.0 EVALUATION SCOPE**

Compliance with the following codes:

- 2006 *International Building Code*® (IBC)
- 2006 *International Residential Code*® (IRC)
- 1997 *Uniform Building Code*™ (UBC)

Property evaluated:

Fire-resistance-rated construction

2.0 USES

The Passive Fire Protection Partners Through-penetration Firestop Systems and Fire-resistive Joint Systems are for use in fire-resistance-rated wall assemblies or floor/ceiling assemblies when installed in accordance with this report and IBC Section 712 (for penetrations), IBC Section 713 (for fire-resistance joint systems), UBC Section 706 (for fire-resistive joint systems) and UBC Section 714 (for through-penetration firestops).

3.0 DESCRIPTION**3.1 General:**

The Passive Fire Protection Partners Through-penetration Firestop Systems are designed to seal through-penetrations in fire-resistant-rated wall assemblies or floor/ceiling assemblies described in Figures 1 through 5, 7, and 11. The Passive Fire Protection Partners Fire-resistive Joint Systems are designed to seal construction and expansion joints in the fire-resistant-rated assemblies described in Figures 6, 8, 9 and 10. The F-ratings, T-ratings and L-ratings are as indicated in

the figures. The systems are installed in steel or wood-framed gypsum board partitions, wood-framed floor/ceiling assemblies, concrete walls and concrete floors.

3.2 Material:

3.2.1 4100SL™ (Self-leveling) Fire and Smoke Stop Sealant: 4100SL™ is a self-leveling, modified latex, pourable elastomeric sealant designed to prevent the passage of fire and hot gases through fire-resistive separations. The sealant is packaged in 29-fluid-ounce (850 mL) cartridges, 35.2-fluid-ounce (1.0 L) bottles, 2.65-gallon (10.0 L) bottles, and 5-gallon (18.9 L) plastic pails. Unopened containers of the sealant should be stored in an area where the temperature is between 40°F and 90°F (4°C and 32°C), and must not be allowed to freeze. The sealant has a shelf life of one year when stored under protective cover in its original sealed container.

3.2.2 4800DW™ Fire and Smoke Stop Sealant: 4800DW™ is a high-solid, latex-based, elastomeric sealant designed to be a one-component firestop seal for penetrations in fire-resistive concrete, concrete block, and gypsum board/wood partition walls and floors and top-of-wall joints as noted in Figure 8. The sealant is packaged in 10.1-fluid-ounce (300 mL) cartridges, 20-fluid-ounce (600 mL) foil packs, 29-fluid-ounce (850 mL) cartridges, 3.17-gallon (12 L) plastic pails and 5-gallon (18.9 L) plastic pails. It should be stored in an area where the temperature is between 40°F and 90°F (4°C and 32°C), and must not be allowed to freeze. The sealant has a shelf life of one year when stored under protective cover in its original sealed container.

3.2.3 5100SP™ (Sprayable Mastic) Fire and Smoke Stop Sealant: 5100SP™ is a spray-, brush- or trowel-grade elastomeric sealant. It is a modified latex elastomer designed to prevent the passage of fire and hot gases through fire-resistive penetrations and top-of-wall and floor-to-wall joints described in Figures 6, 9 and 10. The sealant is packaged in 5-gallon (18.9 L) plastic pails and should be stored in an area where the temperature is between 40°F and 90°F (4°C and 32°C), and must not be allowed to freeze. The sealant has a shelf life of one year when stored under protective cover in its original sealed container.

4.0 INSTALLATION**4.1 General:**

The through-penetrating item, penetration opening, joint opening and related surfaces must be clean and free of

*Corrected October 2010

contaminants that may inhibit adhesion or curing, such as dirt, dust, oil, moisture, frost, grease and wax. The sealant must be installed in accordance with Figures 1 through 11. Installation of through-penetration firestops must comply with IBC Section 712, and installation of fire-resistant joint systems must comply with IBC Section 713 or UBC Section 714, as applicable.

4.2 4100SL™ (Self-leveling) Fire and Smoke Stop Sealant:

The 4100SL™ sealant must be installed in accordance with Figure 1, with a backing of mineral wool insulation having a 4 to 6 pcf (64 to 96 kg/m³) density, compressed at a minimum of 25 percent to a minimum depth of 3½ inches (87 mm). The 4100SL™ sealant is installed to a dry-film sealant depth of ¼ inch (6 mm). Installation temperature must be between 50°F and 90°F (10°C and 32°C).

4.3 4800DW™ Fire and Smoke Stop Sealant:

The 4800DW™ sealant must be installed to a depth and thickness outlined in Figures 1 through 8, and 11. Installation temperature must be between 45°F and 90°F (7°C and 32°C).

4.4 5100SP™ (Sprayable Mastic) Fire and Smoke Stop Sealant:

The 5100SP™ sealant must be installed in accordance with Figures 1, 6, 9 and 10, with a backing of mineral wool insulation having a 4 to 6 pcf (64 to 96 kg/m³) density, compressed at a minimum of 25 percent to a minimum depth of 3½ inches (87 mm). The 5100SP™ sealant is applied in layers, with each layer having a thickness of 1/16 to ½ inch (1.6 to 6 mm). Installation temperature must be between 43°F and 90°F (6°C and 32°C).

5.0 CONDITIONS OF USE

The Passive Fire Protection Partners Through-penetration Firestop Systems and Fire-resistant Joint Systems described in this report comply with, or are suitable alternatives to what is specified in, those codes listed in Section 1.0 of this report, subject to the following conditions:

- 5.1 Installation must comply with this report, the manufacturer's published installation instructions and the applicable code. In the case of a conflict between this report and the manufacturer's published installation instructions this report governs.
- 5.2 Fire-resistant-rated wall assemblies and floor/ceiling assemblies must comply with the applicable code.
- 5.3 Pipe insulation, when required, must have a flame-spread index not exceeding 25 and a smoke-density index not exceeding 50.

6.0 EVIDENCE SUBMITTED

Data and reports of testing in accordance with the ICC-ES Acceptance Criteria for Fire-resistant Joint Systems (AC30), dated June 2006; ASTM E 119 (UBC Standards 7-1); ASTM E 814 (UBC Standard 7-5); UL 1479; and UL 2079.

7.0 IDENTIFICATION

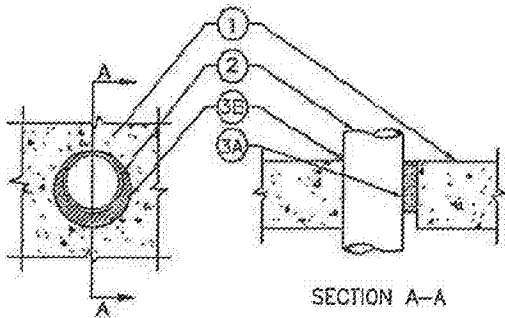
The containers of sealant used in the Passive Fire Protection Partners Through-penetration Firestop Systems and Fire-resistant Joint Systems are identified by a stamp or label bearing the manufacturer's name (Passive Fire Protection Partners), the product name, the batch number, the expiration date, the storage instructions, and the evaluation report number (ESR-2996).

General Notes on Figures

1. **Assemblies:** All fire-resistive assemblies must comply with Chapter 7 of the UBC or the IBC, as applicable. The minimum dimensions in figures must be observed.
2. **Concrete Assemblies:** The concrete assemblies are normal-weight concrete and must comply with Chapter 19 of the UBC or the IBC, as applicable.
3. **Gypsum Wallboard and Wall Assemblies:**
 - a. **Steel Studs:** Minimum No. 25 gage [0.021 inch (0.53 mm)], galvanized steel studs at least 2¹/₂ inches (64 mm) wide. Allowable spacing is up to 24 inches (610 mm) on center. Studs must comply with Chapter 22 of the UBC or the IBC, as applicable.
 - b. **Wood Studs:** Minimum nominal 2-by-4 wood studs must comply with Chapter 23 of the UBC or the IBC, as applicable. The maximum spacing is 16 inches (406 mm) on center.
 - c. **Gypsum Wallboard:** The gypsum wallboard thicknesses required on each side of the wall assembly are as indicated in the figures. The wallboard must be Type X complying with ASTM C 36, as referenced in Chapter 25 of the UBC or the IBC, as applicable.
4. **One-hour Fire-resistive Wood Floor/Chase Wall Assemblies;**
 - a. **Floor:** Lumber or plywood subfloor with lumber, plywood or concrete or gypsum topping finish must comply with Chapter 23 of the UBC or the IBC, as applicable.
 - b. **Wood Joists:** Nominal 2-by-10 or larger lumber joists with 1-by-3 lumber bridging and fire-blocked ends must comply with Chapter 23 of the UBC or the IBC, as applicable. Joist spacing is 16 inches (406 mm) on center.
 - c. **Gypsum Wallboard:** One layer of ⁵/₈-inch-thick (16 mm), Type X gypsum wallboard ceiling must comply with ASTM C 36, as referenced in Chapter 25 of the UBC or the IBC, as applicable. The wallboard is directly attached to wood joists.
5. **Two-hour Fire-resistive Wood Floor/Chase Wall Assemblies:**
 - a. **Floor:** Lumber or plywood subfloor with lumber, plywood or concrete or gypsum topping finish must comply with Chapter 23 of the UBC or the IBC, as applicable.
 - b. **Wood Joists:** Nominally 2-by-10 or larger lumber joists with 1-by-3 lumber bridging and fire-blocked ends must comply with Chapter 23 of the UBC or the IBC, as applicable. Joist spacing is 16 inches (406 mm) on center.
 - c. **Furring Channels:** No. 25 gage [0.0209 inch (0.53 mm)] steel channels, ⁵/₈ inch (16 mm) deep by 1¹/₂ inches (38 mm) wide, are fastened to wood joists. Spacing is 24 inches (610 mm) on center.
 - d. **Gypsum Wallboard:** Two layers of ⁵/₈-inch-thick (16 mm), Type X gypsum wallboard ceiling must comply with ASTM C 36, as referenced in Chapter 25 of the UBC or the IBC, as applicable. The base layer is fastened to the joists, and the face layer is fastened to the channels.
6. **Chase Wall:**
 - a. **Wood Studs:** Single 2-by-6 or double 2-by-4 wood studs must comply with Chapter 23 of the UBC or the IBC, as applicable. Spacing up to 16 inches (406 mm) on center is permitted.
 - b. **Sole Plate:** Single 2-by-6 or two parallel 2-by-4 lumber plates must comply with Chapter 23 of the UBC or the IBC, as applicable.
 - c. **Top Plate:** The double top plate is constructed using either two 2-by-6 lumber plates or two parallel sets of two 2-by-4 lumber plates complying with Chapter 23 of the UBC or the IBC, as applicable.
 - d. **Gypsum Wallboard:** One or two layers of ⁵/₈-inch-thick (16 mm), Type X gypsum wallboard on each side of the wall must comply with Chapter 25 of the UBC or the IBC, as applicable. When the double stud wall is constructed, the penetrating pipe must be surrounded on all four sides with the wallboard.

FIGURE 1
METALLIC PIPE THROUGH CONCRETE WALL OR FLOOR

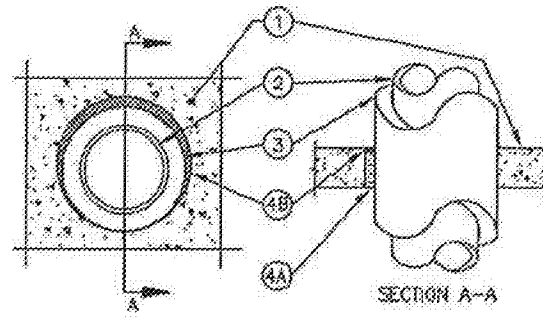
F RATING - 3 HR
T RATING - 0 HR



- 3 HOUR FIRE RATED CONCRETE WALL OR FLOOR ASSEMBLY
MAX 25-1/2" DIAMETER OPENING
A. MIN 4-1/2" LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE WALL OR FLOOR
B. 3 HOUR FIRE RATED CONCRETE BLOCK WALL
- ONE OF THE FOLLOWING PENETRATING ITEMS TO BE INSTALLED:
ANNULAR SPACE - 3" (POINT CONTACT) TO 2-1/2"
A. STEEL PIPE, MAX 24" DIAM (OR SMALLER) SCH 10 (OR HEAVIER)
B. CONDUIT, NOM 8" DIAM (OR SMALLER) RIBB STEEL CONDUIT
C. TUBING, NOM 4" DIAM (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING
D. IRON PIPE, NOM 24" DIAM (OR SMALLER) CAST OR DUCTILE
E. COPPER TUBING, NOM 8" DIAM (OR SMALLER) TYPE L (OR HEAVIER)
F. COPPER PIPE, NOM 8" DIAM (OR SMALLER) REGULAR (OR HEAVIER)
- PIPERSTOP SYSTEM - THE PIPERSTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
A. MIN 4" THICKNESS, 2 PCF DENSITY MINERAL WOOL, COMPRESSED 25%
B. PFP PARTNERS - 4800DN
1/2" THICKNESS FLUSH WITH BOTH SIDES OF WALL OR TOP SURFACE OF FLOOR
1/2" DIAM BEAD AT POINT CONTACT LOCATION
C. PFP PARTNERS - 4100SL
1/4" THICKNESS FLUSH WITH BOTH SIDES OF WALL OR TOP SURFACE OF FLOOR
1/4" DIAM BEAD AT POINT CONTACT LOCATION
D. PFP PARTNERS - 4100SL
1/16" DRY THICKNESS COMPLETELY COVERING MINERAL WOOL, ON BOTH SIDES OF WALL OR TOP SURFACE OF FLOOR
1/2" OVERLAP ONTO WALL OR FLOOR

FIGURE 2
INSULATED METALLIC PIPE THROUGH CONCRETE WALL OR FLOOR

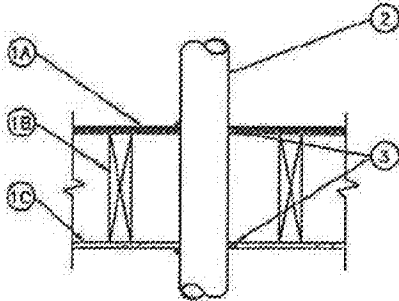
F RATING - 2 HR
T RATING - 1 HR



- 2 HOUR FIRE RATED CONCRETE WALL OR FLOOR ASSEMBLY
MAX 18" DIAMETER OPENING
A. MIN 4-1/2" LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE WALL OR FLOOR
B. 2 HOUR FIRE RATED CONCRETE BLOCK WALL
- ONE OF THE FOLLOWING PENETRATING ITEMS TO BE INSTALLED:
A. STEEL PIPE, MAX 12" DIAM (OR SMALLER) SCH 40 (OR HEAVIER)
B. CONDUIT, NOM 4" DIAM (OR SMALLER) RIBB STEEL CONDUIT
C. CONDUIT, NOM 4" DIAM (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING
D. IRON PIPE, NOM 12" DIAM (OR SMALLER) CAST OR DUCTILE
E. COPPER TUBING, NOM 2" DIAM (OR SMALLER) TYPE L (OR HEAVIER)
F. COPPER PIPE, NOM 2" DIAM (OR SMALLER) REGULAR (OR HEAVIER)
- PIPE COVERING - MAX 4" THICK HOLLOW CYLINDRICAL HEAVY DENSITY (MIN 3.5 PCF) GLASS FIBER LINER WITH ALL SEWAGE JACKET (90% MUST BE COVERED WITH INSULATION THROUGHOUT ITS LENGTH)
- PIPERSTOP SYSTEM - THE PIPERSTOP SYSTEM SHALL CONSIST OF THE FOLLOWING:
A. MIN 4" THICKNESS, 2 PCF DENSITY MINERAL WOOL, COMPRESSED 25%
B. PFP PARTNERS - 4800DN
1/2" THICKNESS FLUSH WITH BOTH SIDES OF WALL OR TOP SURFACE OF FLOOR
1/2" DIAM BEAD AT POINT CONTACT LOCATION

FIGURE 3
METALLIC PIPE THROUGH WOOD FRAMED FLOOR

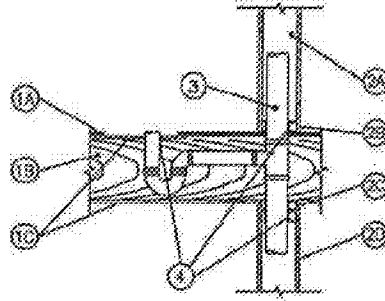
F RATING - 1 HR
T RATING - 0 HR



- 1 HR FIRE RATED FLOOR-CEILING ASSEMBLY
MAX 5-1/8" DIAMETER OPENING
A. LUMBER OR PLYWOOD SUBFLOOR WITH FINISH FLOOR OF LUMBER, PLYWOOD OR FLOOR TOPPING MATERIAL
B1. NOM 2x10" LUMBER JOIST SPACED 16" OC WITH 1x3" LUMBER BRIDGING AND ENDS FIRESTOPPED
B2. NOM 2x10" STEEL OR COMBINATION LUMBER AND STEEL JOISTS SPACED 16" OC WITH BRIDGING AS REQUIRED AND ENDS FIRESTOPPED
B3. NOM 2x10" TRUSSES OR STRUCTURAL WOOD MEMBERS SPACED 16" OC WITH BRIDGING AS REQUIRED AND ENDS FIRESTOPPED
C. NOM 5/8" THICK D/PSJM WALLBOARD
- ONE OF THE FOLLOWING PENETRATING ITEMS TO BE INSTALLED:
ANNULAR SPACE - 1/2" TO 3/4"
A. STEEL PIPE, MAX 3" DIAM (OR SMALLER) SCH 10 (OR HEAVIER)
B. CONDUIT, NOM 4" DIAM (OR SMALLER) RIBB STEEL CONDUIT
C. CONDUIT, NOM 4" DIAM (OR SMALLER) STEEL ELECTRICAL METALLIC TUBING
D. COPPER TUBING, NOM 4" DIAM (OR SMALLER) TYPE L (OR HEAVIER)
E. COPPER PIPE, NOM 4" DIAM (OR SMALLER) REGULAR (OR HEAVIER)
- PFP PARTNERS - 4800DN
3/4" THICKNESS FLUSH WITH TOP SURFACE OF FLOOR
5/8" THICKNESS FLUSH WITH THE SURFACE OF CEILING

FIGURE 4
NONMETALLIC PIPE THROUGH WOOD FRAMED FLOOR

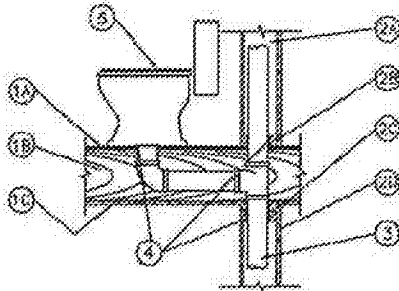
F RATING - 1 HR
T RATING - 0 HR



- 1 HR FIRE RATED FLOOR-CEILING ASSEMBLY
A. LUMBER OR PLYWOOD SUBFLOOR WITH FINISH FLOOR OF LUMBER, PLYWOOD OR FLOOR TOPPING MATERIAL
B1. NOM 2x10" LUMBER JOIST SPACED 16" OC WITH BRIDGING AS REQUIRED AND ENDS FIRESTOPPED
B2. NOM 2x10" STEEL OR COMBINATION LUMBER AND STEEL JOISTS SPACED 16" OC WITH BRIDGING AS REQUIRED AND ENDS FIRESTOPPED
B3. NOM 2x10" TRUSSES OR STRUCTURAL WOOD MEMBERS SPACED 16" OC WITH BRIDGING AS REQUIRED AND ENDS FIRESTOPPED
C. NOM 5/8" THICK D/PSJM WALLBOARD BUILT TO LOWER SURFACE OF JOIST
AMERICAN PLY 2" LONGER AND WIDER THAN RECTANGULAR OPENING IN SUBFLOOR, SCREWED TO SUBFLOOR, MAX 3" DIAM OPENING
- 1 HR FIRE RATED CHASE WALL
A. NOM 2x4" OR DOUBLE 2x4" LUMBER STUDS
B. NOM 2x6" (OR PARALLEL 2x4" LUMBER PLATE, MAX 3" DIAM OPENING
C. TWO NOM 2x4" OR TWO SETS 2x4" LUMBER PLATE, MAX 3" DIAM OPENING
D. ONE LAYER NOM 5/8" THICKNESS
- ONE OF THE FOLLOWING PENETRATING ITEMS FOR VENTED PIPING SYSTEMS TO BE INSTALLED:
ANNULAR SPACE FOR VENT PIPE - 1/8" TO 1/2"
ANNULAR SPACE FOR DRAIN PIPE - 1/4" TO 3/8"
A. PVC PIPE, NOM 2" DIAM (OR SMALLER) SCH 40 SOLID CORE OR CELLULAR
B. CPVC PIPE, NOM 2" DIAM (OR SMALLER) SCH 40
C. ABS PIPE, NOM 2" DIAM (OR SMALLER) SCH 40 SOLID CORE OR CELLULAR
- PFP PARTNERS - 4800DN
3/4" THICKNESS FLUSH WITH TOP SURFACE OF FLOOR OR TOP SURFACE OF SUB FLOOR
1" THICKNESS FLUSH WITH BOTTOM SURFACE OF LOWER TOP PLATE
5/8" THICKNESS FLUSH WITH TOP SURFACE OF WALLBOARD

FIGURE 5
NONMETALLIC PIPE THROUGH WOOD FRAMED FLOOR

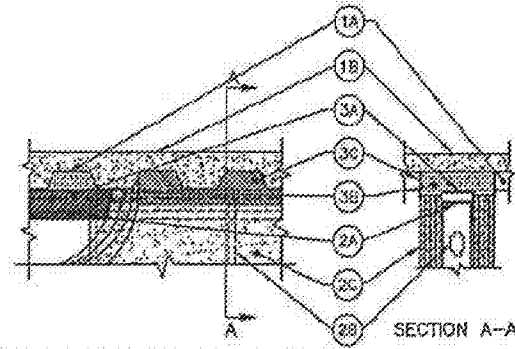
F RATING - 1 HR
T RATING - 0 HR



- 1 HR FIRE RATED FLOOR-CEILING ASSEMBLY.
 1. LUMBER OR PLYWOOD SUBFLOOR WITH FINISH FLOOR OF LUMBER, PLYWOOD OR FLOOR COVERING MATERIAL. MAX 5" DIAMETER OPENING.
 1. NOM 2x10" LUMBER JOIST SPACED 16" OC WITH BRIDGING AS REQUIRED AND ENDS PRESTOPPED.
 1. NOM 2x10" STEEL OR COMBINATION LUMBER AND STEEL JOISTS SPACED 16" OC WITH BRIDGING AS REQUIRED AND ENDS PRESTOPPED.
 1. NOM 2x10" TRUSSES OR STRUCTURAL WOOD MEMBERS SPACED 16" OC WITH BRIDGING AS REQUIRED AND ENDS PRESTOPPED.
 1. NOM 5/8" THICK GYPSUM WALLBOARD NAILED TO LOWER SURFACE OF JOIST.
- 1 HR FIRE RATED CEILING WALL.
 1. NOM 2x8" OR DOUBLE 2x4" LUMBER STUDS.
 1. NOM 2x8" OR PARALLEL 2x4" LUMBER PLATE. MAX 3" DIAM OPENING.
 1. TWO NOM 2x8" OR TWO SETS 2x4" LUMBER PLATE. MAX 3" DIAM OPENING.
 1. ONE LAYER NOM 5/8" THICKNESS.
- ONE OF THE FOLLOWING PENETRATING ITEMS FOR OPEN PIPING SYSTEMS ONLY TO BE INSTALLED.
 - ANNULAR SPACE FOR VENT PIPE - 1/8" TO 3/8"
 - ANNULAR SPACE FOR DRAIN PIPE - 0" (POINT CONTACT) TO 1/2"
 - 1. PVC PIPE: NOM 4" DIAM (OR SMALLER) SCH 40 SOLID OR CELLULAR CORE.
 - 1. CPVC PIPE: NOM 4" DIAM (OR SMALLER) SCH 40 SOLID OR CELLULAR CORE.
 - 1. ABS PIPE: NOM 4" DIAM (OR SMALLER) SCH 40 SOLID OR CELLULAR CORE.
- PFP PARTNERS - 4800399
3/4" THICKNESS FLUSH WITH TOP SURFACE OF FLOOR OR TOP SURFACE OF CEILING PLATE.
- 1" THICKNESS FLUSH WITH BOTTOM SURFACE OF LOWER TOP PLATE.
- WATER CLOSET - FLOOR MOUNTED VITREOUS CHINA WATER CLOSET.

FIGURE 6
TOP OF WALL JOINT-FRAMED WALL TO CONCRETE FLUTED DECK

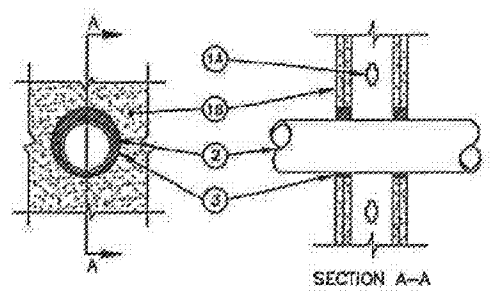
F RATING - 1, 2, 3 & 4 HR (SEE ITEM 2)
L RATING @ AMBIENT - LESS THAN 1 CFM/LIN FT
L RATING @ 400°F - 1 CFM/LIN FT
NOMIAL JOINT WIDTH - 3/4"
33% COMPRESSION & EXTENSION



- FLUTED STEEL DECK/CONCRETE FLOOR ASSEMBLY.
 1. MAX 5" DEEP GALVANIZED STEEL FLUTED UNITS.
 1. MIN 2-1/2" THICK REINFORCED CONCRETE.
- 1, 2, 3 OR 4 HR FIRE RATED FRAMED WALL ASSEMBLY.
 1. GALV STEEL CHANNEL SIZED TO ACCOMMODATE STEEL STUDS.
 1. MIN 3-5/8" WIDE STEEL STUDS. END SPACING NOT TO EXCEED 24" OC.
 1. ONE OR TWO LAYERS OF 5/8" WALLBOARD ON EACH SIDE OF STUDS FOR A 1, 2, 3 OR 4 HR FIRE RATING, RESPECTIVELY. WALLBOARD TO BE STRAIGHT CUT MIN 3/4" FROM LOWER SURFACE OF STEEL FLOOR UNITS.
- MAX JOINT WIDTH 3/4", 33% COMPRESSION OR EXTENSION.
 1. NOM 3-5/8" WIDE BY 2" DEEP, 24 GA. STEEL DEFLECTION CHANNEL FASTENED TO UNDERSIDE OF FLUTED UNITS. CEILING RUNNER INSTALLED WITHIN DEFLECTION CHANNEL TO ALLOW MOVEMENT.
 1. MIN 4-7/8" THICKNESS FOR 1 & 2 HR FIRE RATED ASSEMBLY. MIN 7-3/8" THICKNESS FOR 3 HR FIRE RATED ASSEMBLY AND 8-5/8" THICKNESS FOR 4 HR FIRE RATED ASSEMBLY OF MIN 8 PCF DENSITY MINERAL WOOL, COMPRESSED 20% INSTALLED BETWEEN TOP OF WALLBOARD OR CHANNEL AND LOWER SURFACE OF FLUTED UNITS. FLUSH WITH BOTH SURFACE OF WALLBOARD.
 1. PFP PARTNERS - 510039P
1/10" DRY THICKNESS COMPLETELY COVERING MINERAL WOOL ON BOTH SIDES OF WALL 1" OVERLAP ONTO WALL OR STEEL FLUTED UNITS.

FIGURE 7
METALLIC PIPE THROUGH FRAMED WALL

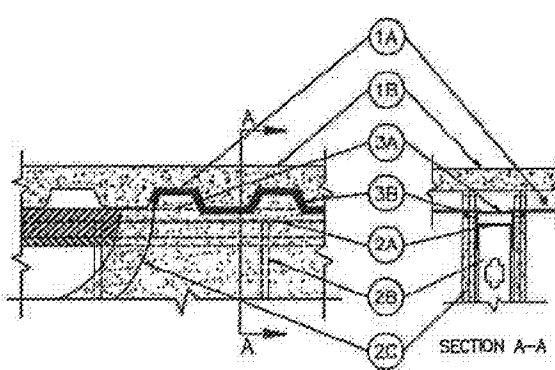
F RATING - 2 HR
T RATING - 0 HR



- 2 HOUR FIRE RATED FRAMED WALL ASSEMBLY.
 1. MAX 3-3/4" DIAMETER OPENING.
 1. NOM 2x4" LUMBER STUDS SPACED 16" OC.
 1. NOM 3-5/8" WIDE METAL STUDS SPACED 24" OC.
 1. TWO LAYERS NOM 5/8" THICK GYPSUM WALLBOARD TYPE X.
- ONE OF THE FOLLOWING PENETRATING ITEMS TO BE INSTALLED.
 - ANNULAR SPACE - 3/8" TO 1"
 - 1. STEEL PIPE: NOM 4" DIAM (OR SMALLER) SCH 7 (OR HEAVIER)
 - 1. STEEL PIPE: NOM 4" DIAM (OR SMALLER) SCH 10 (OR HEAVIER)
 - 1. STEEL PIPE: NOM 4" DIAM (OR SMALLER) SCH 20 (OR HEAVIER)
 - 1. IRON PIPE: NOM 4" DIAM (OR SMALLER) CAST OR DOUBLE
 - 1. CONDUIT: NOM 4" DIAM (OR SMALLER) EMT OR STEEL CONDUIT
 - 1. COPPER TUBING: NOM 4" DIAM (OR SMALLER) TYPE L (OR HEAVIER)
 - 1. COPPER PIPE: NOM 4" DIAM (OR SMALLER) REGULAR (OR HEAVIER)
- PFP PARTNERS - 4800399
1-1/4" THICKNESS FLUSH WITH BOTH SIDES OF WALL

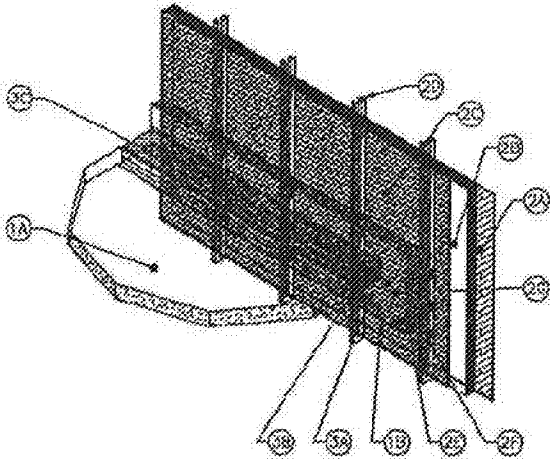
FIGURE 8
TOP OF WALL JOINT-FRAMED WALL TO CONCRETE FLUTED DECK

F RATING - 1 & 2 HR (SEE ITEM 2)
NOMIAL JOINT WIDTH - 3/4"
33% COMPRESSION & EXTENSION



- FLUTED STEEL DECK/CONCRETE FLOOR ASSEMBLY.
 1. MAX 5" DEEP GALVANIZED STEEL FLUTED UNITS.
 1. MIN 2-1/2" THICK REINFORCED CONCRETE.
- 1 OR 2 HR FIRE RATED FRAMED WALL ASSEMBLY.
 1. GALV STEEL CHANNEL SIZED TO ACCOMMODATE STEEL STUDS.
 1. MIN 3-5/8" WIDE STEEL STUDS. END SPACING NOT TO EXCEED 24" OC.
 1. ONE OR TWO LAYERS OF 5/8" WALLBOARD ON EACH SIDE OF STUDS FOR A ONE OR TWO HR FIRE RATING, RESPECTIVELY. WALLBOARD TO BE STRAIGHT CUT TO THE SHAPE OF THE STEEL FLUTED UNITS WITH A MAX 3/4" GAP.
- MAX JOINT WIDTH 3/4", 33% COMPRESSION OR EXTENSION.
 1. NOM 3-5/8" WIDE BY 2" DEEP, 24 GA. STEEL DEFLECTION CHANNEL FASTENED TO UNDERSIDE OF DECK. CEILING RUNNER INSTALLED WITHIN DEFLECTION CHANNEL TO ALLOW MOVEMENT.
 1. PFP PARTNERS - 4800399
5/8" THICKNESS FLUSH WITH BOTH SIDES OF WALL

FIGURE 9
FLOOR TO WALL JOINT
CONCRETE FLOOR TO EXTERIOR INSULATION FINISH SYSTEM
 F RATING - 2 HR
 NOMINAL JOINT WIDTH - 10"
 L RATING AT AMBIENT < 1 CFM/LIN FT
 L RATING AT 400°F < 1 CFM/LIN FT

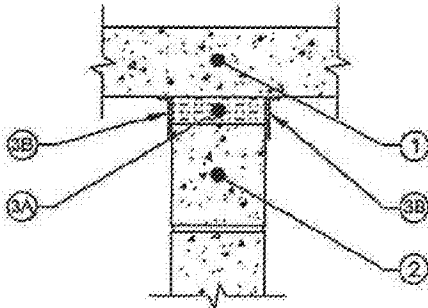


- 1. 2 HR FIRE RATED CONCRETE FLOOR/CEILING ASSEMBLY.
 - A. MIN 4-1/2" THICKNESS LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE.
 - B. MIN 1-1/2" x 1-1/2" x 3/16" CAST-IN-PLACE STRUCTURAL STEEL ANGLE.

FIGURE 9
FLOOR TO WALL JOINT
CONCRETE FLOOR TO EXTERIOR INSULATION FINISH SYSTEM
 CONT

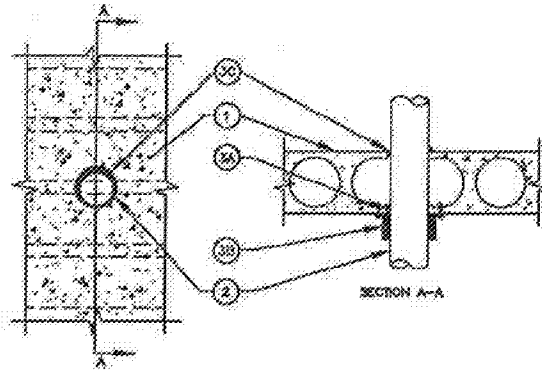
- 2. EXTERIOR INSULATION FINISH SYSTEM SHALL BE CONSTRUCTED AS PER MANUFACTURER'S GUIDELINES AND INCLUDE THE FOLLOWING:
 - A. MIN 1/16" THICK CEMENTITIOUS FINISH COATING.
 - B. MAX 3" THICK EXPANDED POLYSTYRENE FOAM BOARD.
 - C. MIN 1/2" THICK EXTERIOR GYPSUM BOARD APPLIED TO STEEL STUDS (ITEM 2B) WITH 1" LONG PAN HEAD SCREWS, SPACED 10" OC.
 - D. MIN 3-5/8" x 1-1/4", 16 GA. VERTICAL STEEL C-STEEL FRAMING, SPACED 24" OC.
 - E. MIN 1-1/2" x 1-1/2" x 3/16" STRUCTURAL STEEL ANGLE, WELDED TO STEEL FRAMING AND CAST-IN-PLACE STRUCTURAL STEEL ANGLE.
 - F. MIN 8-1/4" LONG, 12 GA. INFLING PINS, WELDED OR MECHANICALLY FASTENED TO FLAT SOE OF VERTICAL FRAMING AND BENT 90° INTO CURTAIN WALL INSULATION, SPACED 8" OC VERTICALLY AND 24" OC HORIZONTALLY.
 - G. MIN 4", 4 PCF DENSITY MINERAL WOOL, INSULATED ON PINS AND FLUSH WITH INTERIOR SURFACE OF STEEL STUDS. MINERAL WOOL TO EXTEND MIN 12" BELOW AND 6" ABOVE JOINT.
- 3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL INCLUDE THE FOLLOWING:
 - A. MIN 18 GA. STEEL ANGLE WELDED TO VERTICAL FRAMING SUCH THAT HORIZONTAL LEG IS MIN 4" BELOW TOP SURFACE OF FLOOR/CEILING ASSEMBLY.
 - I. JOINTS RANGING FROM 0 TO 2 3/4" - NO ANGLE IS REQUIRED.
 - II. JOINTS RANGING FROM 2" TO 6" - MIN 1" x 1" ANGLE.
 - III. JOINTS RANGING FROM 6" TO 10" - MIN 1" x 3" ANGLE INSTALLED SUCH THAT 3" LEG IS HORIZONTAL.
 - B1. MIN 4" THICKNESS, 4 PCF DENSITY MINERAL WOOL, INSTALLED SUCH THAT FIBERS ARE PARALLEL WITH CURTAIN WALL, COMPRESSED 40%.
 - B2. MIN 4" THICKNESS, 4 PCF DENSITY MINERAL ROCK WOOL OR CERAMIC FIBER INSULATION, INSTALLED SUCH THAT FIBERS ARE PARALLEL WITH CURTAIN WALL, COMPRESSED 30%.
 - C. PFF PARTNERS - S100SP
 3/32" WET THICKNESS COMPLETELY COVERING TOP SURFACE OF MINERAL WOOL, 1" OVERLAP OVER FLOOR/CEILING ASSEMBLY AND EXTERIOR INSULATION FINISH SYSTEM.

FIGURE 10
TOP OF WALL JOINT
CONCRETE WALL TO CONCRETE FLOOR/CEILING
 F RATING - 4 HR
 NOMINAL JOINT WIDTH - 2"
 MOVEMENT CAPABILITIES 12.5% COMPRESSION & EXTENSION
 L RATING AT AMBIENT < 1 CFM/LIN FT
 L RATING AT 400°F < 1 CFM/LIN FT



- 1. 4 HR FIRE RATED CONCRETE FLOOR/CEILING ASSEMBLY, MIN 5" THICKNESS.
- 2. 4 HR FIRE RATED CONCRETE WALL ASSEMBLY, MIN 8-3/4" THICKNESS.
 - A. MIN 6-3/4" THICKNESS LIGHTWEIGHT TO NORMAL CONCRETE WALL.
 - B. 4 HOUR FIRE RATED, MIN 8", HOLLOW OR CONCRETE FILLED CONCRETE BLOCK WALL.
- 3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL INCLUDE THE FOLLOWING:
 - A. MIN 8-3/4" THICKNESS, 4 PCF DENSITY MINERAL WOOL, COMPRESSED MIN 40% WITH BOTH SIDES OF WALL ASSEMBLY.
 - B. PFF PARTNERS - S100SP
 1/16" DRY THICKNESS COMPLETELY COVERING MINERAL WOOL ON BOTH SIDES OF WALL, MIN 1" OVERLAP ONTO WALL AND FLOOR/CEILING.

FIGURE 11
NONMETALLIC PIPE THROUGH HOLLOW CORE CONCRETE
 F RATING - 3 HR
 T RATING - 3 HR



- 1. 3 HR FIRE RATED CONCRETE FLOOR ASSEMBLY, MAX 5" DIA. OPENING.
 - A. 4" THICK III CLASSIFIED HOLLOW CORE PRECAST CONCRETE UNITS.
 - B. MIN 8" LIGHTWEIGHT OR NORMAL WEIGHT CONCRETE FLOOR.
- 2. ONE OF THE FOLLOWING PENETRATING ITEMS FOR USE IN CLOSED (PROCESS OR SUPPLY) OR VENTED (EXHAUST OR VENT) FINISH SYSTEMS MAY BE USED:
 - A. PVC PIPE, NOM 4" DIA (OR SMALLER) SCH 40 SOLID OR CELLULAR CORE
 - B. ABS PIPE, NOM 4" DIA (OR SMALLER) SCH 40 SOLID OR CELLULAR CORE
 - C. CPVC PIPE, NOM 4" DIA (OR SMALLER) SDR 17
- 3. FIRESTOP SYSTEM - THE FIRESTOP SYSTEM SHALL INCLUDE THE FOLLOWING:
 - A. MIN 1" THICKNESS, 4 PCF DENSITY MINERAL WOOL, FIRMLY PACKED AS A REINFORMENT FORM, FLUSH WITH BOTTOM OF FLOOR ASSEMBLY.
 - B. PFF PARTNERS - PLASTIC PIPE COLLAR (PPC)
 TO BE INSTALLED IN ACCORDANCE WITH ACCOMPANYING INSTRUCTIONS AND SECURED WITH MIN 3/16" DIA x 1-1/4" LONG STEEL EXPANSION BOLTS
 - C. PFF PARTNERS - 48002W
 1/2" THICKNESS FLUSH WITH TOP SURFACE OF FLOOR AT POINT CONTACT 1/2" DIA BEAD



XEROX CENTRE
1851 E. First St.
Santa Ana, Ca. 92705

TENANT

ADELSON, TESTAN,
BRUNDO & JIMENEZ
SUITE 100 (EXPANSION)

ACCEPTED THIS DATE 01/26/12

TENANT: _____
BY: _____
TITLE: _____

COMMENT:
UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

RECEIVED
JAN 31 2012
City of Santa Ana

APPROVED PLANS
SHALL BE ON JOB
SITE AT ALL TIMES

The stamping of these plans shall NOT be held responsible for any structural instability of any building.

APPROVED: _____

SANTA ANA FIRE DEPARTMENT

SCHEDULE FIRE INSPECTIONS 72 HOURS IN ADVANCE (714) 847-5700

NO. DESCRIPTION DATE

REVISIONS

PLAN CHECK CORRECTION MS/A-1, GEN. NOTE #16 02.21.12

SUBMIT TO PLANNING DEPT. 01.31.12

RELEASED FOR ENGINEERING 01.26.12

RELEASED FOR PRICING 12.10.11

DATE 12.01.11

CHECKED BY RP

PRINT DATE 01.30.12

INTERIOR PLANNING & DESIGN

SPACES P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-pd.com

SQUARE FOOTAGE USABLE: 628 SF

FIRST FLOOR

SHEET COVER

Sheet Title

Project Number 2068.642

Sheet Number A-0
JAN 31 2012

GENERAL NOTES

- PRIOR TO SUBMISSION OF PRICING AND START OF CONSTRUCTION, INSPECTION OF THE SITE AND PORTIONS THEREOF WHICH WILL AFFECT THIS WORK SHALL BE MADE BY THE GENERAL CONTRACTOR, WHO SHALL COMPARE IT WITH THE DRAWINGS AND SATISFY HIMSELF TO CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. ANY CONFLICT OR OMISSION, ETC., SHALL BE REPORTED TO SPACES BEFORE PROCEEDING WITH ANY WORK.
- CONTRACTOR SHALL PROTECT AREA AND NEW OR EXISTING MATERIALS AND FINISHES FROM DAMAGE WHICH MAY OCCUR FROM CONSTRUCTION, DEMOLITION, DUST, WATER, ETC., AND SHALL PROVIDE AND MAINTAIN TEMPORARY BARRICADES, CLOSURE WALLS, ETC., AS REQUIRED TO PROTECT THE PUBLIC DURING THE PERIOD OF CONSTRUCTION. DAMAGE TO NEW AND EXISTING MATERIALS, FINISHES, STRUCTURES AND EQUIPMENT SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE GENERAL CONTRACTOR.
- MATERIALS ARE SPECIFIED BY THEIR BRAND NAMES TO ESTABLISH STANDARDS OF QUALITY AND PERFORMANCE. ANY REQUEST FOR SUBSTITUTION SHALL BE SUBMITTED WITHIN FIVE (5) DAYS OF THE AWARD OF CONTRACT TO THE DESIGNER FOR REVIEW OF EQUAL QUALITY AND PERFORMANCE AND SHALL NOT BE PURCHASED OR INSTALLED WITHOUT WRITTEN APPROVAL.
- ALL CONSTRUCTION WORK, ARCHITECTURAL, MECHANICAL, ELECTRICAL, ETC., SHALL CONFORM TO THE APPROPRIATE BUILDING DEPARTMENT, AS WELL AS ALL OTHER GOVERNING BODIES AND REGULATIONS.
- DIMENSIONS:
 - ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD AND DISCREPANCIES REPORTED TO SPACES PRIOR TO CONSTRUCTION.
 - DIMENSIONS AND ELEVATIONS ARE TO TOP OF CONCRETE OR PLYWOOD FLOORING, NOT TOP OF FLOOR COVERING.
 - ALL PARTITION DIMENSIONS ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
 - DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS OR CALL SPACES FOR VERIFICATION OR CLARIFICATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE WORK OF ALL THE TRADES AND SHALL CHECK ALL DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO NOTIFY SPACES OF DISCREPANCIES OR CONFLICTS IN THESE DRAWINGS FOUND DURING BIDDING AND/OR CONSTRUCTION PRIOR TO PRICING OR PERFORMING THE WORK. SPACES SHALL RESOLVE ALL SUCH DISCREPANCIES OR ANY DOUBT AS TO THEIR MEANING AND NOTIFY THE CONTRACTOR AND OWNER WITH WRITTEN CLARIFICATION AS TO THE RESOLUTION OF SUCH CONDITIONS.
- ALL WORK LISTED, SHOWN OR IMPLIED ON ANY CONSTRUCTION DOCUMENTS SHALL BE SUPPLIED AND INSTALLED BY THE GENERAL CONTRACTOR EXCEPT WHERE NOTED OTHERWISE. THE GENERAL CONTRACTOR SHALL COORDINATE HIS WORK WITH THAT OF OTHER CONTRACTORS OR VENDORS TO ASSURE THAT ALL SCHEDULES ARE MET AND THAT ALL WORK IS DONE IN CONFORMANCE TO MANUFACTURER'S REQUIREMENTS.
- UNLESS SPECIFIED BY SUPPLIED "BY THE TENANT" THE GENERAL CONTRACTOR IS TO PROVIDE AND INSTALL ANY ITEMS SPECIFIED ON THE CONSTRUCTION DOCUMENTS.
- THE GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL FABRICATED ITEMS, CUTS OF ALL FIXTURES, EQUIPMENT AND SAMPLES OF ALL FINISHES CALLED FOR TO SPACES FOR APPROVAL PRIOR TO INSTALLATION.
- THE GENERAL CONTRACTOR SHALL PROVIDE THE MINIMUM INSURANCE REQUIREMENTS SET FORTH IN ARTICLE II OF AIA DOCUMENT A201, "GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION" AND LEASE DOCUMENT REQUIREMENTS.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A PERMITTED AND COMPLETE SET OF CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION AND SHALL PROVIDE ALL SUB-CONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS ON A REGULAR BASIS OF ALL SUBCONTRACTORS AND TRADES, AND SHALL EXERCISE STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRT, DEBRIS, OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE THE JOB SITE.
- ALL SUBCONTRACTORS (INCLUDING PLUMBING, ELECTRICAL, SPRINKLER, AND HVAC) SHALL BE CITY AND STATE LICENSED.
- PLUMBING, ELECTRICAL, SPRINKLER, AND HVAC SUBCONTRACTORS SHALL SECURE THEIR OWN SEPARATE PERMITS AND PLAN CHECK.

- "EXIT" SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH 2010 C.B.C., CHAPTER 10, SECTION 1011 AND UFC, ARTICLE 12, AS SHOWN LOCATED ON FLOOR OR REFLECTED CEILING PLAN(S).
- COMPLIANCE TO 2010 C.B.C. STANDARDS WILL BE PROVIDED. CORRIDOR SHALL BE OF ONE-HOUR CONSTRUCTION WITH DOOR OPENINGS CONFORMING WITH THE FOLLOWING: "PAIRS OF DOORS INSTALLED IN A ONE-HOUR CORRIDOR SHALL HAVE:
 - A LABELED ASSEMBLY HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED IN ACCORDANCE WITH 2010 C.B.C. STANDARD 7-2.
 - SELF-CLOSER OR AUTOMATIC-CLOSER ACTUATED BY A SMOKE DETECTOR IN ACCORDANCE WITH SECTION 715.4.7.
 - AUTOMATIC FLUSH BOLTS, THE DOOR LEAF HAVING THE AUTOMATIC FLUSH BOLTS SHALL HAVE NO DOOR KNOB OR SURFACE-MOUNTED HARDWARE, THE UNLATCHING OF ANY LEAF SHALL NOT REQUIRE MORE THAN ONE OPERATION.
 - FULL MORTISE HINGES - THREE MINIMUM. 2010 CBC 1008.1.B.1.
 - TIGHT-FITTING CLEARANCES AND PROVIDED WITH A GASKET SO INSTALLED AS TO PROVIDE A SEAL WHERE THE DOOR MEETS THE STOP ON BOTH SIDES AND ACROSS THE TOP. CLEARANCES FOR A PAIR OF SWINGING DOORS SHALL BE AS FOLLOWS: WITH A MINUS 1/16 INCH TOLERANCE - 1/8 INCH ALONG THE TOP, 1/8 INCH ALONG THE HINGE AND AND LATCH JAMBS, 1/8 INCH ALONG THE MEETING EDGE OF THE DOORS, AND 1/4 INCH AT THE BOTTOM OF THE DOORS. (DOES NOT APPLY TO EXISTING DOORS.)
 - AN OVERLAPPING ASTRAGAL EXTENDING THE FULL HEIGHT OF THE DOORS. A COORDINATING DEVICE IS ALSO REQUIRED TO INSURE PROPER CLOSING."
- NO HAZARDOUS MATERIALS, LIQUIDS OR CHEMICALS SHALL BE STORED OR USED WITHIN THE SUBJECT BUILDING AS TO REQUIRE A HAZARDOUS CLASSIFICATION PER THE 2010 CALIFORNIA BUILDING CODE.
- ALL INTERIOR WALLS AND PARTITIONS SHALL BE DESIGNED AND CONSTRUCTED TO RESIST ALL LOADS TO WHICH THEY ARE SUBJECTED BUT NOT LESS THAN A FORCE OF 5 POUNDS PER SQUARE FOOT APPLIED PERPENDICULAR TO THE WALLS.
- CONSTRUCTION SHALL COMPLY TO SECTION 602, 2010 C.B.C.
- COMPLIANCE TO CHAPTER 12 OF THE 2010 C.B.C. AND STATE AMENDMENTS WILL BE PROVIDED (LIGHT & VENTILATION, & SANITATION). NEW NOTE: PER CBC SECTION 1205.2, NATURAL LIGHT: THE MINIMUM NET GLAZED AREA SHALL NOT BE LESS THAN 8 PERCENT OF THE FLOOR AREA OF THE ROOM SERVED.
- ALL ENCLOSED PORTIONS OF BUILDINGS CUSTOMARILY OCCUPIED BY HUMAN BEINGS SHALL BE PROVIDED WITH NATURAL VENTILATION BY MEANS OF OPENABLE EXTERIOR OPENINGS READILY CONTROLLABLE BY BUILDING OCCUPANTS, WITH AN AREA NOT LESS THAN 4% OF THE FLOOR AREA BEING VENTILATED. CBC SECTION 1203 AND 2007 CALIFORNIA MECHANICAL CODE SECTION 402. PROVIDE MECHANICAL VENTILATION FOR EACH AREA/ROOM IN ACCORDANCE WITH THE 2007 CALIFORNIA MECHANICAL CODE. THE MECHANICALLY OPERATED VENTILATION SYSTEM SHALL BE CAPABLE OF SUPPLYING A MINIMUM OF 15 CUBIC FEET PER MINUTE OF OUTSIDE AIR PER OCCUPANT IN ALL OCCUPIED PORTIONS OF THE BUILDING. NOTE ON DRAWINGS THE OCCUPANT LOAD FOR EACH ROOM AND THE REQUIRED OUTSIDE AIR FOR EACH ROOM BASED ON THE MORE STRINGENT OF THE C.B.C. AND THE STATE ENERGY CONSERVATION REQUIREMENTS.
- IF FIRE DAMPERS ARE REQUIRED, THEY SHALL AUTOMATICALLY BE CLOSED BY 1) AN INCREASE IN TEMPERATURE AND 2) ACTIVATION OF SMOKE DETECTORS, PER SEC. 716.3.2.1 OF THE 2010 C.B.C.
- COMPLIANCE FOR ALL EQUIVALENT HANDICAPPED FACILITIES WILL BE MET FOR THIS PROJECT.
- EXCEPTION 4 UNDER 2010 C.B.C. IS BEING APPLIED TO THE FOLLOWING ROOMS/EXIT WAYS; AND SMOKE DETECTORS SHALL BE INSTALLED WITHIN EACH NOTED ROOM/AREA, IN ACCORDANCE WITH THEIR LISTING. ALL ROOMS AND AREAS THAT ARE WITHIN THE EXIT ENVELOPE SHALL BE PROVIDED WITH THE REQUIRED SMOKE DETECTORS. SMOKE DETECTORS SHALL BE HARD WIRED.
- THE CITY OF SANTA ANA PERFORMS A GENERAL REVIEW OF THE DRAWINGS AND CALCULATIONS. THE DESIGNER WHO SIGNS THE DRAWINGS SHALL BE RESPONSIBLE FOR A COMPLETE CHECK OF ALL DRAWINGS AND CALCULATIONS. [IF ARCHITECTURAL AND STRUCTURAL DRAWINGS ARE SEPARATE, INCLUDE THIS NOTE ON EACH SET.]
- TENANTS SIGNAGE AND KEYING TO BE PROVIDED BY THE GENERAL CONTRACTOR AND CO-ORDINATED BY PROPERTY MANAGER.
- THE PLACING OR DISCHARGE OF ILLEGAL POLLUTANTS, CONSTRUCTION MATERIALS, OR BY-PRODUCTS ONTO CITY STREETS OR STORM DRAINS IS PROHIBITED.
- THE CONTRACTOR SHALL SUBMIT FOR APPROVAL A DETAILED CONSTRUCTION SCHEDULE SHOWING PHASING OF WORK.
- ALL WALL FINISHES MUST COMPLY WITH CHAPTER 8 2010 C.B.C.
- FOR DISABLED ACCESSIBILITY, THE AREA OF REMODEL, PATH OF TRAVEL DOORS, & RESTROOMS SHALL COMPLY WITH TITLE 24.

FIRE DEPARTMENT NOTES

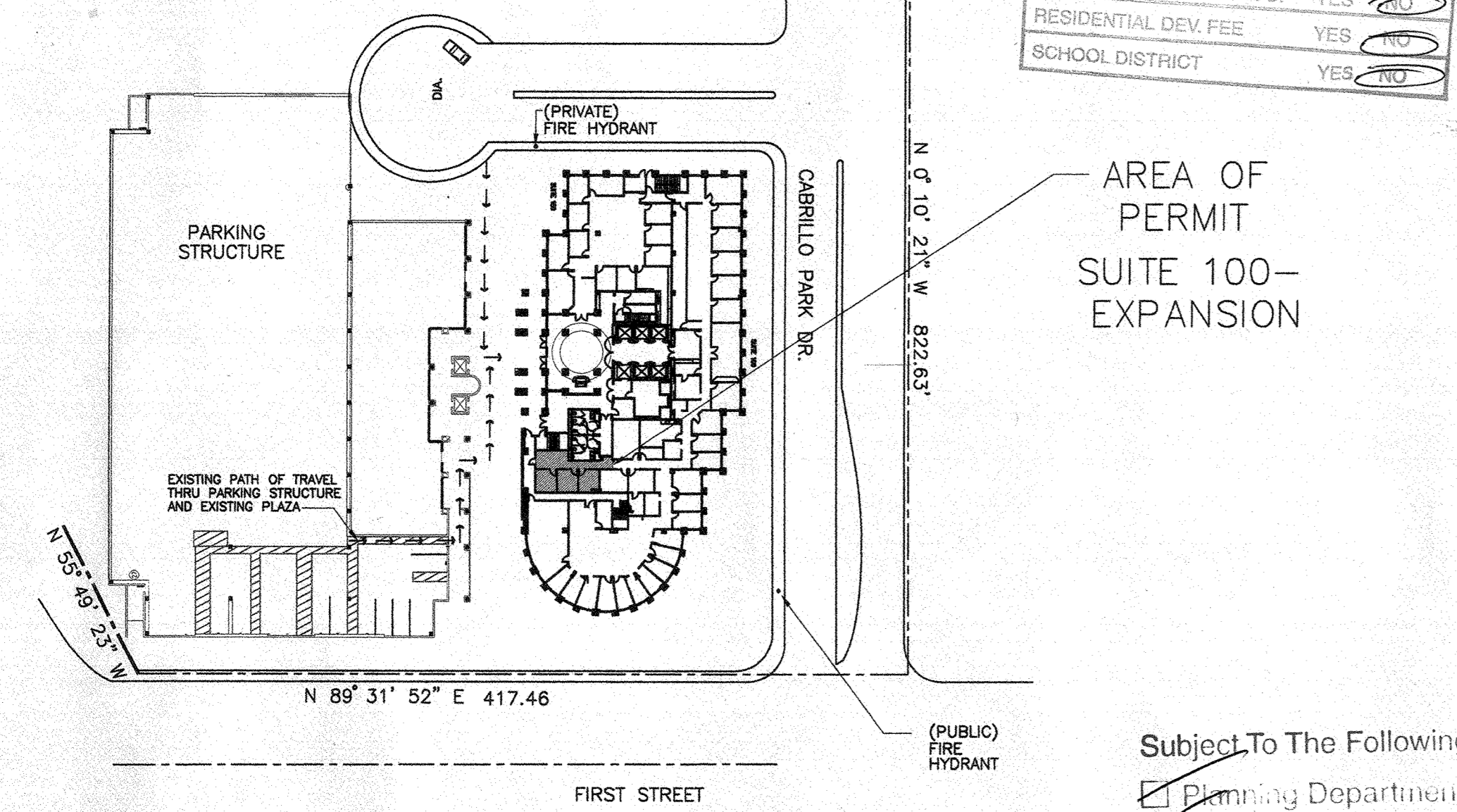
- COMPLIANCE TO SECTION 403 2010 C.B.C. WILL BE PROVIDED. HIGH-RISE BUILDINGS (IN SANTA ANA, FLOORS USED FOR HUMAN OCCUPANCY LOCATED MORE THAN 55 FEET ABOVE THE LOWEST LEVEL OF FIRE DEPARTMENT ACCESS) SHALL HAVE DRAWINGS SHOWING COMPLIANCE WITH CBC SECTION 403. NOTE EACH REQUIREMENT ON THE PLANS AND PROVIDE DETAILS AS REQUIRED. SUCH BUILDINGS SHALL BE OF TYPE I OR TYPE II-FIRE RATED CONSTRUCTION, AND SHALL BE PROVIDED WITH AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH C.B.C. SECTION 403.2 - AS AMENDED BY S.A.M.C. SECTION 8-113. A COPY OF S.A.M.C. SECTION 8-113 MAY BE OBTAINED BY VISITING THE CITY OF SANTA ANA'S WEBSITE AT WWW.SANTA-ANA.ORG.
- PROVIDE A 40BC MINIMUM RATED FIRE EXTINGUISHER IN KITCHEN. IF APPLICABLE.
- FIRE DEPARTMENT FINAL INSPECTIONS ARE REQUIRED. THE GENERAL CONTRACTOR IS TO SCHEDULE ALL INSPECTIONS 72 HOURS IN ADVANCE. PHONE (714) 847-5700.
- PROVIDE 2A 10BC MINIMUM RATED FIRE EXTINGUISHERS TO BE LOCATED ON EACH FLOOR WITHIN 75 FT OF TRAVEL DISTANCE FROM ALL AREAS.
- FIRE SPRINKLER SYSTEM(S) PER N.F.P.A. STANDARD 13 SHALL BE PROVIDED.
- "EXIT" SIGNS SHALL BE IN BLOCK LETTERS A MINIMUM OF SIX (6) INCHES HIGH WITH A STROKE OF NOT LESS THAN 3/4 INCH. LUMINANCE ON FACE OF SIGN FROM AN EXTERNAL SOURCE SHALL HAVE AN INTENSITY NOT LESS THAN 5 FOOT-CANDLES (54 LUX).
- "EXIT" SIGNS SHALL BE ELECTRICALLY ILLUMINATED AND ENERGIZED FROM SEPARATE CIRCUITS AS SHOWN ON ELECTRICAL PLANS, UNLESS NUCLEAR STAND ALONE FIXTURES ARE SPECIFIED.
- DRAPES AND OTHER DECORATIVE MATERIALS SHALL BE FLAME RETARDANT, CERTIFICATION THEREOF SHALL BE PROVIDED. EXITS, EXIT LIGHTS, FIRE ALARM STATIONS, HOSE CABINETS AND EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED BY DECORATIVE MATERIALS.
- STORAGE, DISPENSING, OR USE OF ANY FLAMMABLE COMBUSTIBLE LIQUID, FLAMMABLE GASES, AND HAZARDOUS CHEMICALS SHALL COMPLY WITH UNIFORM BUILDING CODE/CALIFORNIA BUILDING CODE REQUIREMENTS.
- ALL EXITS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT, REFER TO CHAPTER 10, SECTION 1008.1.B OF THE 2010 C.B.C. FOR EXCEPTIONS. ALL DOORS SHALL COMPLY WITH 2010 C.B.C. SECTION 1008.
- TENANT IMPROVEMENTS IN HIGH-RISE BUILDINGS SHALL HAVE LIFE SAFETY SPEAKERS, WHICH ARE CLEARLY AUDIBLE. SPEAKERS SHALL BE TESTED IN THE PRESENCE OF A FIRE INSPECTOR PRIOR TO FINAL INSPECTION.
- COMPLIANCE TO 2010 C.B.C. SECTION 907 FOR HEARING IMPAIRED EMERGENCY SYSTEM WILL BE PROVIDED.
- PLANS OF AUTOMATIC SPRINKLER SYSTEM SHALL BE APPROVED BY THE FIRE DEPARTMENT PRIOR TO INSTALLATION OF SYSTEMS. SUBMIT THREE (3) SETS OF PLANS TO THE BUILDING DEPARTMENT FOR APPROVAL.
- PROVIDE SUITE NUMBERS THREE (3) INCHES HIGH, WHICH SHALL BE PLAINLY VISIBLE FROM OUTSIDE THE SUITE.
- FIRE ALARM SYSTEM REQUIRED PER CURRENT ADOPTED C.F.C. AND SANTA ANA STANDARDS, NFPA #72.
- PLANS FOR BOTH ALARM AND THE SPRINKLER SYSTEM SHALL BE SUBMITTED (THREE COPIES) TO THE BUILDING DEPARTMENT FOR FIRE DEPARTMENT APPROVAL PRIOR TO INSTALLATION.
- A SIGN THAT READS "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" WITH MIN. ONE (1) INCH LETTERS SHALL BE PROVIDED ADJACENT TO EXIT DOOR.

NOTE:
TENANT IS REQUIRED TO APPLY FOR CERTIFICATE OF OCCUPANCY WITH CITY OF SANTA ANA, BEFORE BUILDING PERMIT CAN BE ISSUED.

IT IS THE TENANT'S RESPONSIBILITY TO NOTIFY VENDORS THAT THE CITY OF SANTA ANA BUILDING DEPT. REQUIRES A PERMIT FOR ANY INSTALLATION OF LOW VOLTAGE SYSTEMS OR FURNITURE SYSTEMS REQUIRING POWER.

ARCHITECTURAL STRUCTURAL
ACCEPTED FOR CONSTRUCTION
SEPARATE PERMITS ARE REQUIRED FOR ELECTRICAL, PLUMBING & MECHANICAL PLANS
This set of plans and specifications must be kept on the job site at all times and it is intended to make any changes or alterations on same without written permission from the City of Santa Ana
If a acceptance of this plan and specifications SHALL NOT be held in good faith for an approval of the violation of any provisions of ANY City Ordinance or State Law.
Accepted By: R. K. L. Date: 8-21-12
CITY OF SANTA ANA
KH 3/13/12
Date Issued: _____

PERMIT TYPE:	ELECT PLUG
PERMITS:	10174287
OCG GROUP:	B
CONSTR. TYPE:	IA-SPK
CODE EDITION:	CBC 2010
FLOOD ZONE:	
FLOOD ZONE CERTIF. REQ'D:	YES
MICROFILM:	YES
RADIANT BARRIER @ ROOF:	YES
RESIDENTIAL DEV. FEE:	YES
SCHOOL DISTRICT:	YES

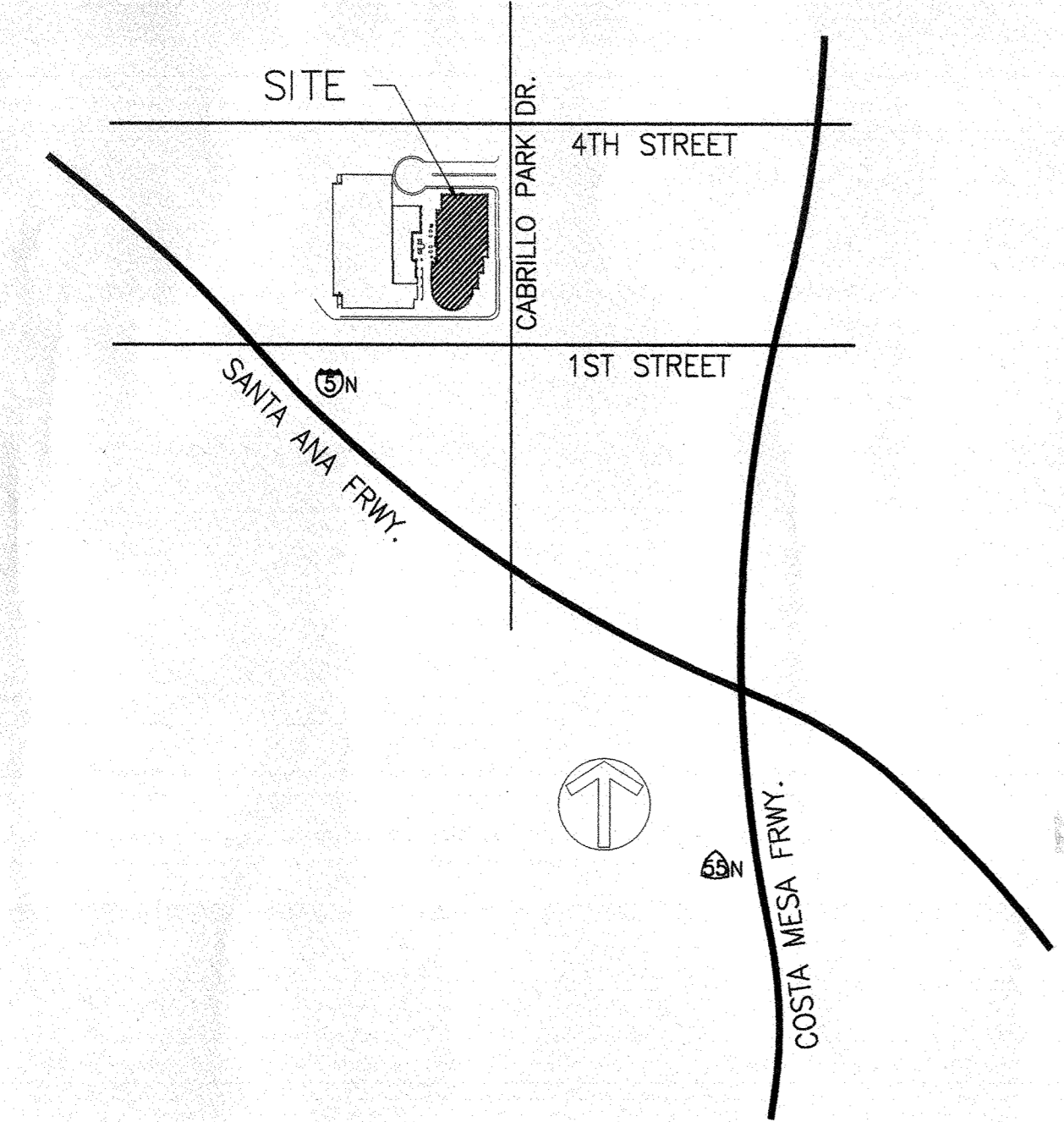


AREA OF PERMIT
SUITE 100-
EXPANSION

- Subject To The Following Approvals:
- Planning Department
 - Fire Department
 - Police Department
 - Public Works Agency
 - Grading Permit
 - County of Orange Health Department
 - Cal/ OSHA
 - Flood Dist.
 - School District
 - Park Acquisition and Development

SITE PLAN

VICINITY MAP



APPROVED
DATE: 1/31/12
SANTA ANA
POLICE DEPT.
NO
POLICE FIRE INSPECTION
REQUIRED

LEGAL DESCRIPTION

1136 STANDARD STALLS
17 STANDARD ACCESSIBLE PARKING
5 VAN ACCESSIBLE PARKING
22 TOTAL ACCESSIBLE PARKING

SPACES'S DESIGN AND CONSTRUCTION DRAWINGS HAVE BEEN DESIGNED TO SUBSTANTIALLY CONFORM TO CALIFORNIA TITLE 24 ACCESSIBILITY CODES. ANY TENANT MODIFICATIONS TO THESE DRAWINGS WILL BE THE TENANT'S LIABILITY. DURING THE TENANT'S OCCUPANCY OF THE SPACE, THE TENANT WILL BE RESPONSIBLE TO PROVIDE REASONABLE ACCOMMODATION TO INDIVIDUAL EMPLOYEES BASED UPON CALIFORNIA TITLE 24 ACCESSIBILITY CODES. ANY DEVIATION BY THE TENANT FROM CALIFORNIA TITLE 24 ACCESSIBILITY CODES WILL BE THE TENANT'S SOLE RESPONSIBILITY AND LIABILITY. NEITHER SPACES/ARCHITECT NOR THE CONTRACTOR WILL BE LIABLE FOR ANY TENANT DEVIATIONS.

PROPERTY MANAGER:

PM REALTY GROUP
ALISON SANSONE
PROPERTY MANAGER
1851 E. FIRST ST., STE. 175
SANTA ANA, CA. 92705
OFFICE 714.568.0317 CELL 949.254.5104 FAX 714.541.3949
asansone@pmrg.com

PROJECT DATA

BUILDING CODE: 2010 CBC
GOVERNING CODE & TITLE 24
BUILDING OCCUPANCY: B
CONSTRUCTION TYPE: I-A
FIRE SPRINKLERED THROUGHOUT
BUILDING SQUARE FOOTAGE: 312,948
AREA OF PROPOSED WORK: 628 U.S.F.

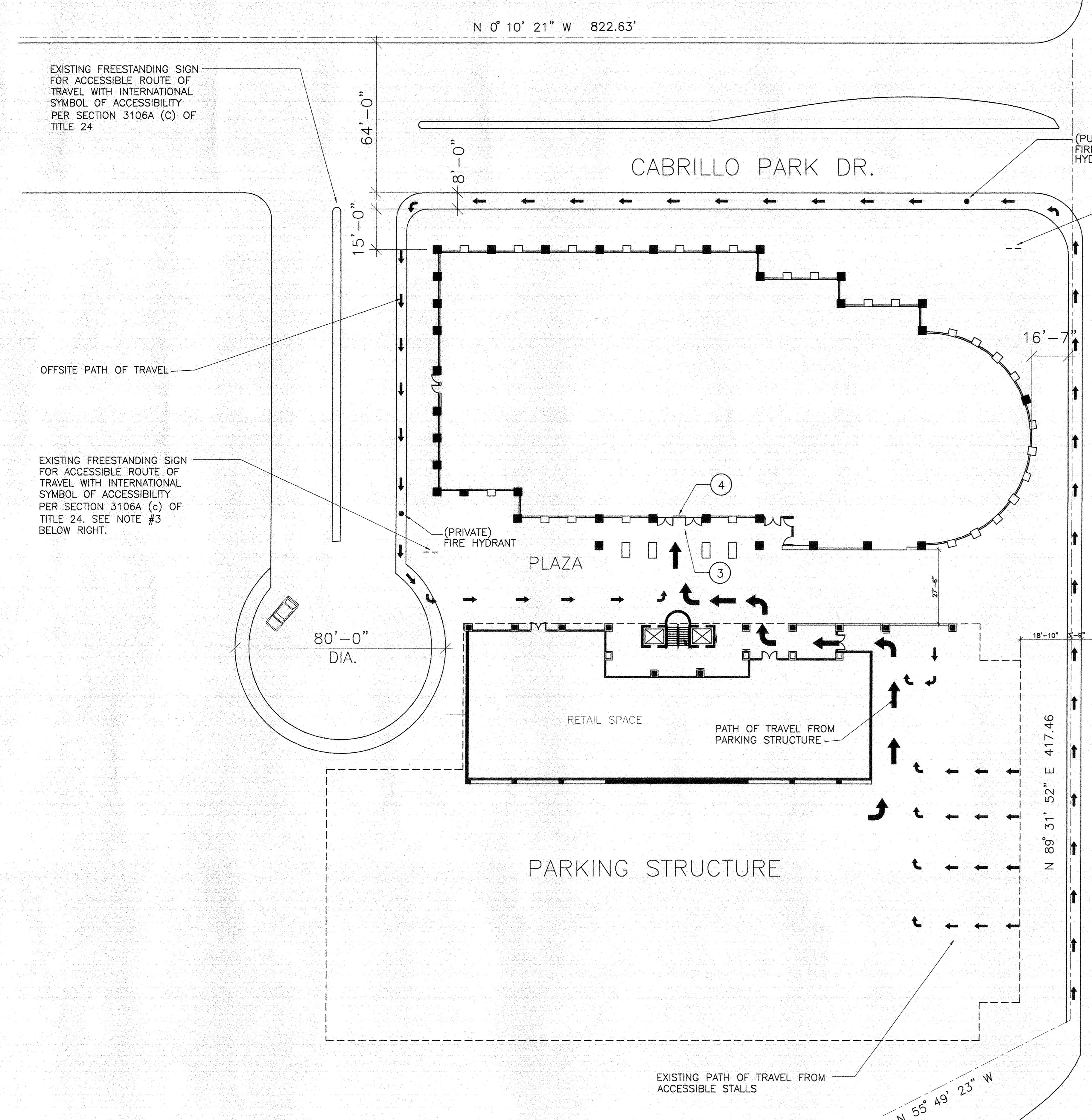
SCOPE OF WORK:
TENANT IMPROVEMENT, COMPRISING:
DEMO: DOUBLE EXIT DOOR FROM SUITE, 3 INTERIOR WALLS, 2 INTERIOR DOORS, SECTION OF HARD LID CEILING, AND FINISHES.
NEW: RATED CORRIDOR WALL WHERE DOUBLE DOORS ARE REMOVED, INTERIOR WALLS TO CREATE 3 NEW OFFICES, 3 DOORS & SIDELIGHTS, SECTION OF SUSPENDED CEILING GRID & TILE, FINISHES.
NO CHANGES TO EXTERIOR.
RELOCATE/DEMO/NEW CEILING FIXTURES, SWITCHES, AND OUTLETS AS NEEDED PER NEW LAYOUT.

SHEET INDEX

- A-0 COVER SHEET
- ST-1 SITE PLAN
- ST-2 PARKING/PATH OF TRAVEL
- LD-1 LEED STANDARDS SHEET
- A-1 DEMO/PARTITION PLAN
- A-2 REFLECTED CEILING PLAN
- A-3 TELEPHONE & ELECTRICAL PLAN
- A-4 DOOR & FINISH SCHEDULES
- A-5 DETAIL SHEET
- ADA-1 EXISTING RR ACCESSIBILITY & SIGNAGE DET.

SEE ENGINEERING PLANS FOR ENGINEERING SHEET NAMES AND NUMBERS. ENGINEERING PLANS TO BE SUBMITTED TO CITY IN SEPARATE SETS LATER, IF REQUIRED.

SEE AL PUSKAS AT NATIONAL FAIL-SAFE FOR SECURITY SYSTEMS AND FIRE ALARMS



- PER C.B.C. CODE SEC 1129B.4 THE WORDS "NO PARKING" SHALL BE PAINTED ON THE GROUND WITHIN EACH FIVE-FOOT LOADING AND UNLOADING AISLE FOR DISABLED ACCESS. THIS NOTICE SHALL BE 12 INCHES HIGH AND LOCATED SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICIALS. SEE DETAIL #4.
- SURFACE SLOPES OF ACCESSIBLE PARKING SPACES SHALL BE THE MINIMUM POSSIBLE AND SHALL NOT EXCEED 1 UNIT VERTICAL TO 50 UNITS HORIZONTAL (2% SLOPE) IN ANY DIRECTION. 2010 C.B.C. SEC. 1129B.4.4.
- AT EVERY ENTRANCE AND AT EVERY MAJOR JUNCTION ALONG OR LEADING TO AN ACCESSIBLE ROUTE OF TRAVEL, THERE SHALL BE A SIGN DISPLAYING THE INTERNATIONAL SYMBOL OF ACCESSIBILITY. SIGNS SHALL INDICATE THE DIRECTION TO ACCESSIBLE BUILDING ENTRANCES AND FACILITIES AND SHALL COMPLY WITH THE REQUIREMENTS FOUND IN 2010 C.B.C. SECTIONS 1117B.5 AND 1127B.3
- PROVIDE TACTILE EXIT SIGN AS REQUIRED PER 2010 C.B.C. SECTION 1011.3 AND SECTION 1117B.5 AT BUILDING ENTRY DOOR-IF NOT EXISTING. SEE DETAILS ON SHEET ADA-1.
- NO ABRUPT CHANGES IN ELEVATION ALONG THE PATH OF TRAVEL SHOWN. THE SLOPE ALONG THE PATH OF TRAVEL SHALL NOT EXCEED 5%.
- THE ENTRANCE DOORS, STAIRWAYS, AND ELEVATORS LEADING TO THE PROPOSED AREA OF REMODEL COMPLY WITH THE HANDICAPPED ACCESSIBILITY REQUIREMENTS. INSPECTOR TO VERIFY.

APPROVED
PLANNING DIVISION

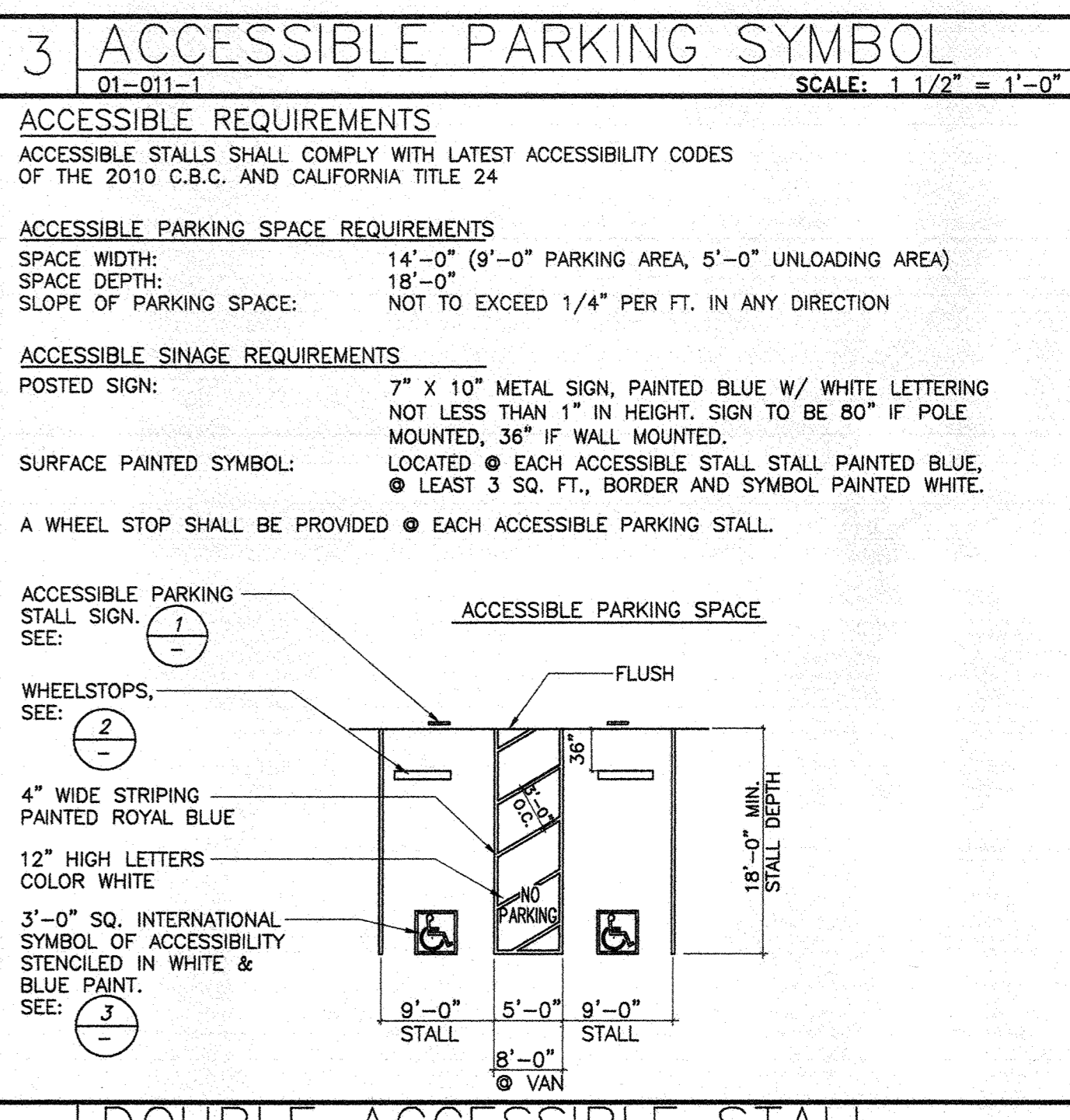
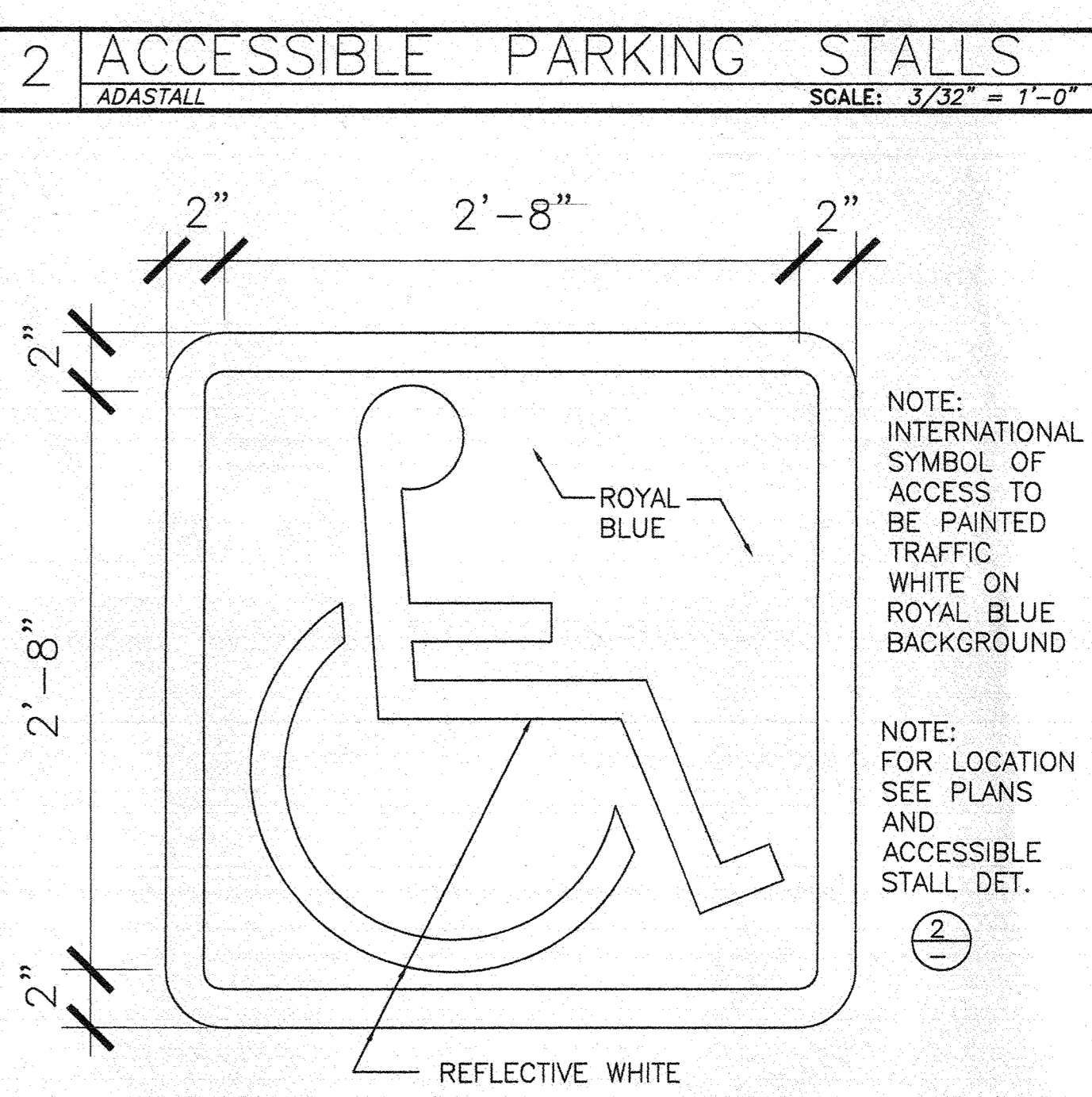
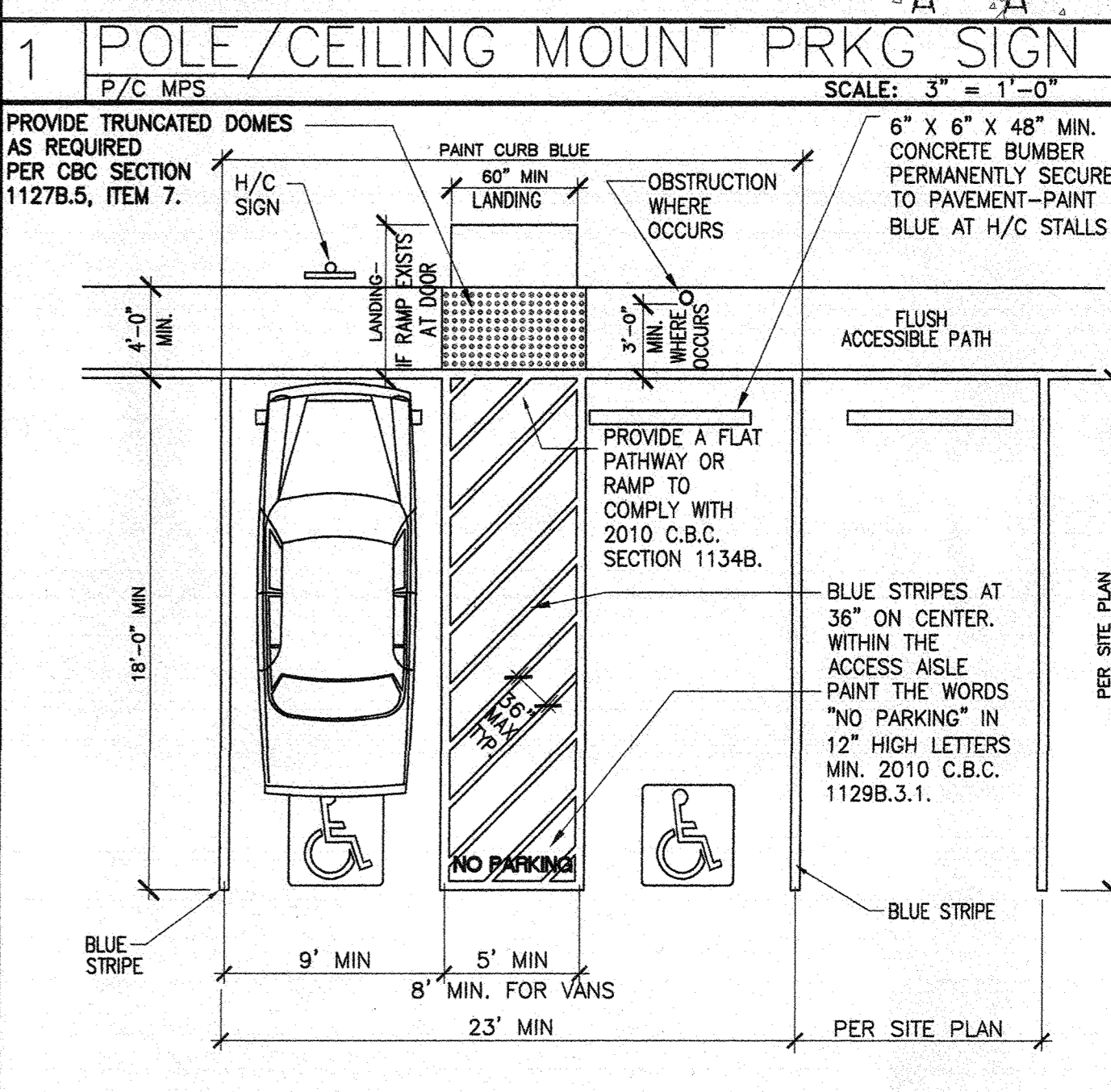
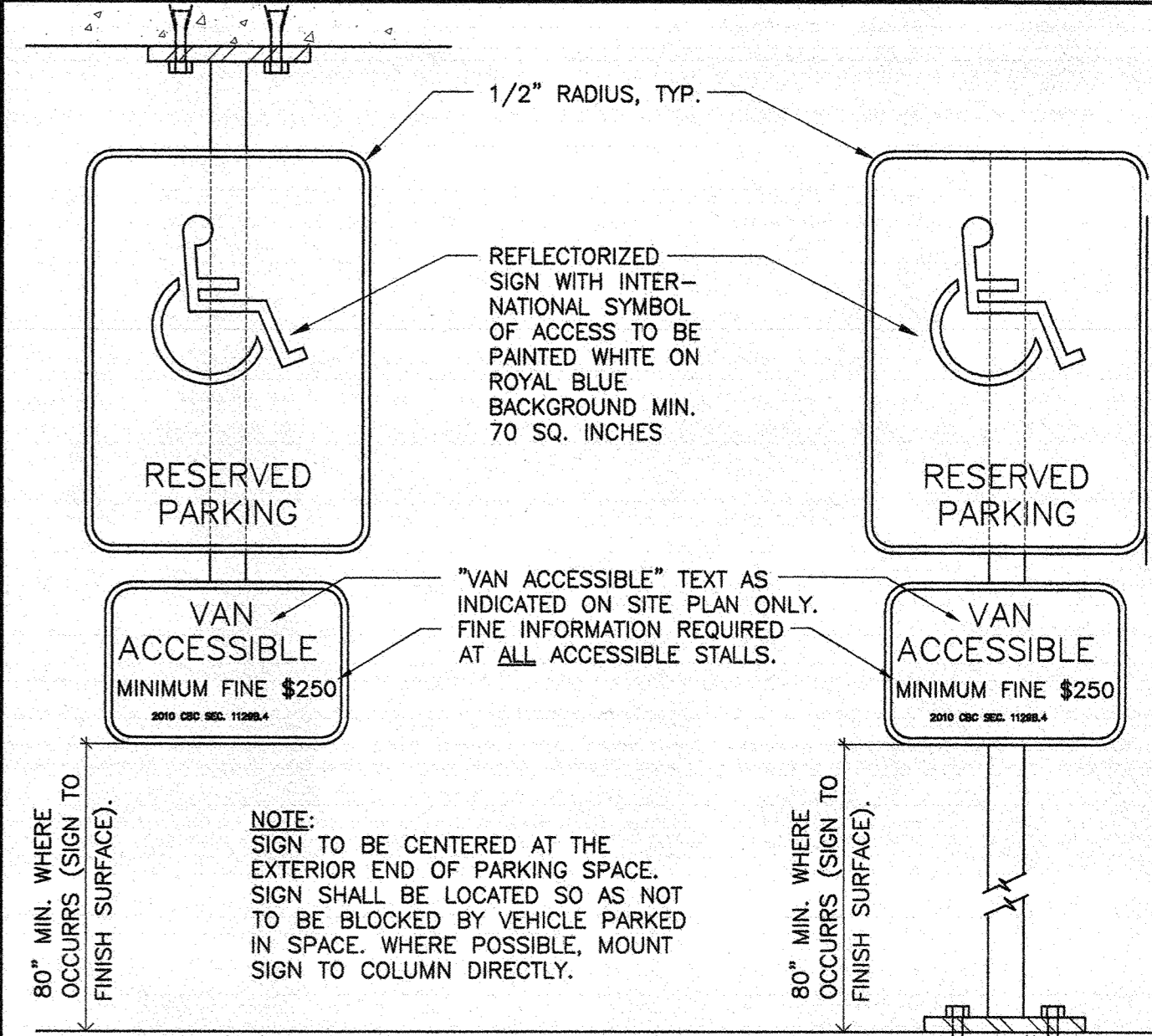
MASTER I.D. 2012-101350
G.P. PAO ZONE 3054
PLANNER *Car* DATE 1/31/12
TRANSFERRED BY *SP* DATE 2/21/12

PLANNING INSPECTION REQUIRED:
ROUGH _____ FINAL NONE
NAME _____ (714)

RETAIN PLANS FOR FUTURE REVISIONS. SUBJECT TO ITEMS CHECKED AND CONDITIONS BELOW:

- INTERIOR ONLY
- NO EXTERIOR ALTERATIONS/MODIFICATIONS
- ALL MATERIALS TO MATCH EXISTING
- SCREWS/ING REQUIRED
- SUBMIT LANDSCAPE PLANS

CONDITIONS:
Convert storage area into office w/retail #100



PROJECT

XEROX CENTRE
1851 E. First St.
Santa Ana, Ca. 92705

TENANT

ADELSON, TESTAN, BRUNDO & JIMENEZ
SUITE 100 (EXPANSION)

AGREED: _____ 2012

ACCEPTED THIS DAY OF _____, 2012

TENANT: _____

BY: _____

TITLE: _____

COMMENT: _____

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

NO.	DESCRIPTION	DATE
△	SUBMIT TO PLAN CHECK	01.31.12
△	RELEASED FOR ENGINEERING	01.26.12
△	RELEASED FOR PRICING	12. .10

NO.	DESCRIPTION	DATE
	REVISIONS	
	DRAWN RP/MS	
	DATE 12.01.10	
	CHECKED RP	
	PRINT DATE 01.30.12	

INTERIOR PLANNING & DESIGN

SPACES P&D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE

USABLE: 628 SF

FIRST FLOOR

PATH OF TRAVEL/SITE PLAN

Sheet Title

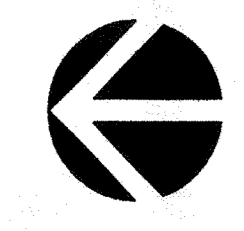
Project Number 2068.642

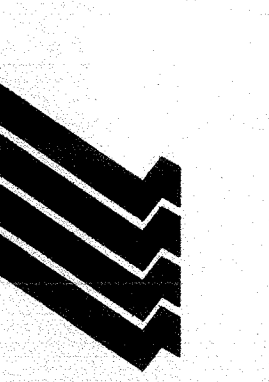
Sheet Number ST-1

JAN 31 2012

EXISTING PATH OF TRAVEL-FROM OFFSITE & THROUGH PARKING STRUCTURE AND EXISTING PLAZA

PARKING STALLS & SIGNAGE ARE EXISTING - DETAILS SHOWN HERE ARE FOR REFERENCE ONLY





XEROX CENTRE
1851 E. First St.
Santa Ana, Ca. 92705

ADELSON, TESTAN,
BRUNDO & JIMENEZ
SUITE 100 (EXPANSION)

AGREED:
ACCEPTED THIS DAY OF _____, 2012
BY: _____
TITLE: _____
COMMENT:
UPON SIGNING THIS DRAWING ALL OF MY
REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE
FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS
PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE
WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST
TO ME THE TENANT.

THESE DRAWINGS AND THE ACCOMPANYING SPECIFICATIONS AS INSTRUMENTS
OF SERVICE AND THE EXERCISE OF POWER OF SPECIAL AGENT ARE HEREBY
PUBLISHED AND SHALL BE RESTRICTED TO THE ORIGINAL SPACE OF SUITE FOR
WHICH THEY WERE PREPARED. NO REPRODUCTION OR TRANSMISSION BY
ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED EXCEPT BY WRITTEN PER-
MISSION FROM SPACES. FILE TO THESE PLANS AND ALL SPECIFICATIONS SHALL
REMAIN SPACES' PROPERTY. AND VISUAL CONTACT WITH THEM SHALL
CONSTITUTE FRAUD. EVIDENCE OF ACCEPTANCE OF THESE INSTRUCTIONS.

△	SUBMIT TO PLAN CHECK	01.31.12
△	RELEASED FOR ENGINEERING	01.26.12
△	RELEASED FOR PRICING	12. .10

NO.	DESCRIPTION	DATE
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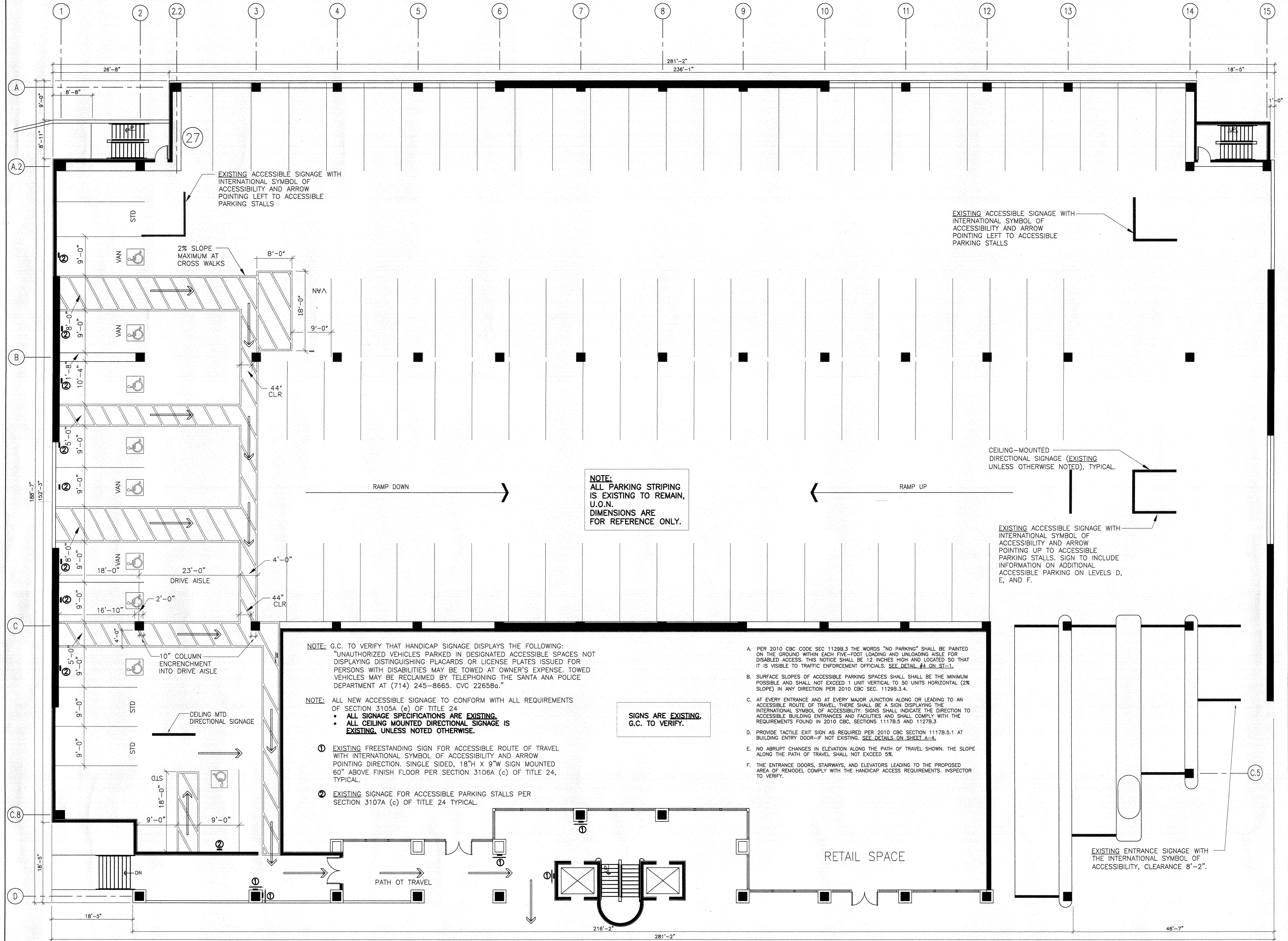
REVISIONS	
1	DATE 12.01.10
2	CHECKED R/P
3	PRINT DATE 01.30.12

INTERIOR PLANNING & DESIGN
SPACES
P & D INC.
17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE
USABLE: 628 SF

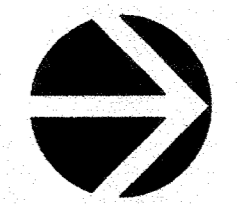
FIRST FLOOR
REFERENCE ONLY
PARKING/PATH
TRAVEL PLAN

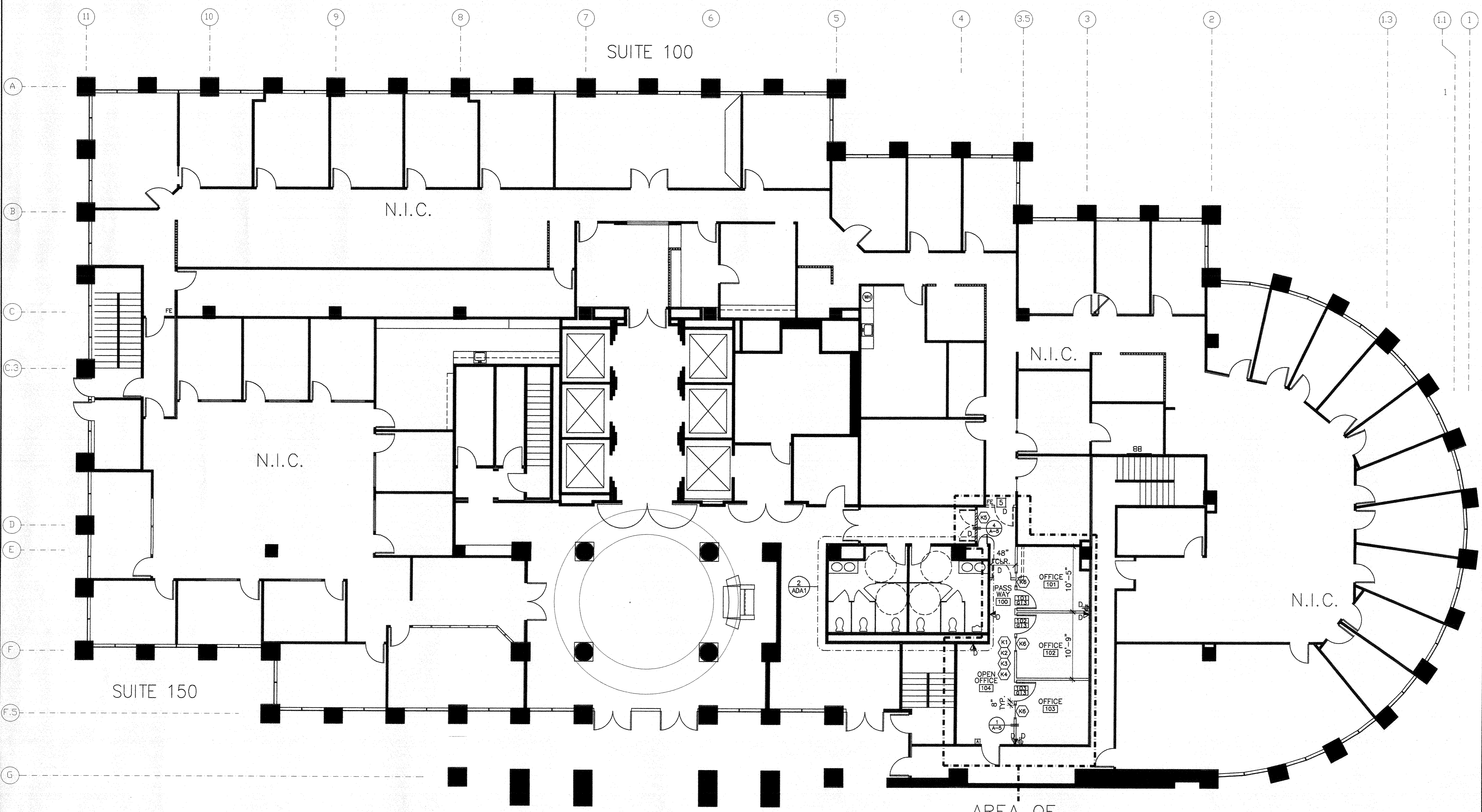
Sheet Title
Project Number 2068,642
Sheet Number ST-2
JAN 31 2012



FOR REFERENCE ONLY. PARKING, STRIPING, & SIGNAGE ARE EXISTING.

SCALE: 1/8" = 1'-0"





LEGEND

	EXISTING WALLS TO REMAIN		ALL NEW WALLS TO BE INSULATED (NEW BUILDING STANDARD).
	WALLS TO BE DEMOLISHED		SEE DETAIL #1/A-5
	NEW INSULATED INTERIOR WALL		SEE DETAIL #4/A-5
	NEW ONE-HOUR RATED CORRIDOR WALL		SEE DETAIL #7/A-4
	SIDEWALL, IN BUILDING STANDARD FRAME		SEE SPEC #1 & NOTE #4
	TELEPHONE BACKBOARD		SEE DOOR SCHEDULE, NOTES, HARDWARE, & ELEVATIONS ON A-4
	DOOR NUMBER		SEE DOOR SCHEDULE, NOTES, HARDWARE, & ELEVATIONS ON A-4
	HARDWARE TYPE FOR NEW DOORS		SEE DETAILS #18, 19, & 20 ON ADA-1
	DOOR TYPE		SEE SPEC #5 & NOTE #8
	TACTILE EXIT SIGNS AS REQUIRED, PROVIDE NEW AS REQ. IF NOT EXISTING		
	ALIGN		
	FIRE EXTINGUISHERS		

D DEMO
ER EXISTING TO BE RELOCATED
R RELOCATED
N NEW

PROJECT

1851 E. First St.
Santa Ana, Ca. 92705

TENANT

ADELSON, TESTAN,
BRUNDO & JIMENEZ
SUITE 100 (EXPANSION)

ALL ITEMS ARE EXISTING TO REMAIN, U.O.N.

AGREED:
ACCEPTED THIS _____ DAY OF _____, 2012

TENANT: _____
BY: _____
TITLE: _____

- ### SPECIFICATIONS
- TELEPHONE BACKBOARD: (EXISTING) 4' x 8' x 3/4" PLYWOOD. INSTALL AND PAINT TO MATCH WALLS. PROVIDE SEPARATE CIRCUIT OUTLET AND 2" CONDUIT HOME-RUN TO BASE BUILDING TELEPHONE ROOM. PLYWOOD TO BE OF FIRE-RETARDANT-TREATED WOOD TO COMPLY WITH C.B.C. SECTION 207.10.
 - SINGLE SINK & FAUCET: (EXISTING)
"JUST" BRAND SINK #SL-ADA-1921-A-GR,
SINGLE ADA BOWL WITH CENTER DRAIN; 6 1/2" DEEP.
"JUST" BRAND ADA COMPLIANT FAUCET WITH LEVER HANDLES #JTR-51-W4;
J-ADA-35 - DRAIN SYSTEM WITH OVERFLOW SYSTEM, AND ADA COMPLIANT DRAIN INSULATOR KIT #J-ADA-150 OR SIMILAR INSULATION IF/AS REQUIRED BY CODES.
 - INSTA-HOT: (EXISTING) CHROMIUM MODEL #SR-30 INSTANTANEOUS HOT WATER HEATER OR EQUAL IN CABINET BELOW. 277V/ 30 AMP/ 8310 WATTS.
 - GARBAGE DISPOSAL: (EXISTING) IN-SINK-ERATOR BRAND, MODEL: "BADGER 5", GRAY ENAMEL, 120V, 6.9 AMPS, 60 HZ., 1/2 H.P. OR EQUAL. PLUMBER IS TO VERIFY PROPER G.D. INSTALLATION W/SINK.
 - FIRE EXTINGUISHER: (PROVIDE NEW IF NOT EXISTING)
WALL HUNG POTTER ROEMER EXTINGUISHER, 2A 10BC MINIMUM RATED EXTINGUISHER OR EQUAL. QUANTITY & LOCATIONS OF EXTINGUISHERS TO BE VERIFIED WITH THE CITY OF SANTA ANA BUILDING INSPECTOR AND THE ARCHITECT PRIOR TO INSTALLATION. NEW TO MATCH BUILDING STD. U.O.N.
 - DUPLEX OUTLET: MATCH EXISTING IN MANUFACTURER, STYLE, & FINISH, U.O.N.
- PROVIDE ALL NECESSARY PLUMBING AND ELECTRICAL FOR FIXTURES/APPLIANCES.

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO SEND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

THESE DRAWINGS AND THE ACCOMPANYING SPECIFICATIONS OR INSTRUMENTS OF SERVICE ARE THE EXCLUSIVE PROPERTY OF SPACES AND THEIR USE AND REPRODUCTION IN WHOLE OR IN PART IS PROHIBITED WITHOUT THE WRITTEN PERMISSION OF SPACES. TITLE TO THESE PLANS AND/OR INSTRUMENTS SHALL REMAIN WITH SPACES. THESE PLANS AND/OR INSTRUMENTS SHALL BE RETURNED TO SPACES IMMEDIATELY UPON COMPLETION OF THE PROJECT. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF SPACES.

BUILDING STANDARD NOTES

GENERAL NOTES:

- VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREINAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
- ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
- ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED ON AUTOCAD. PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS. NO .DXF FILES.
- ALL SUITES TO RECEIVE TELEPHONE BACKBOARD-IF NOT ALREADY EXISTING, AND U.O.N. BACKBOARDS TO HAVE ONE SEPARATE CIRCUIT OUTLET & ONE 2" CONDUIT TO BASE BUILDING TELEPHONE. SAND AND PAINT BACKBOARD, U.O.N.
- SEPARATE ALL MECHANICAL, HVAC, ELECTRICAL, AND FIRE LIFE SAFETY IN THIS SUITE FROM ADJACENT SUITES, AND COMBINE WITHIN SUITE, IF NOT ALREADY, AND U.O.N.

FIRE LIFE SAFETY:

- ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID.
- PUBLIC CORRIDORS SHALL BE OF ONE-HOUR CONSTRUCTION WITH DOOR OPENINGS PROTECTED WITH 20 MINUTE SELF-CLOSING AND LATCHING ASSEMBLIES AND SMOKE SEALS.
- G.C. TO VERIFY EXISTING FIRE EXTINGUISHERS AND RELOCATE AND/OR PROVIDE NEW AS NEEDED PER CODES.

TITLE 24:

- ALL EXISTING HANDICAPPED FACILITIES SHALL MEET OR COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS.
- ALL MILLWORK EXISTING OR NEW SHALL COMPLY WITH TITLE 24 / 2010 CBC ACCESSIBILITY REQUIREMENTS.
- ALL DOORS SHALL BE HANDICAPPED ACCESSIBLE: FLOOR OR LANDING SHALL NOT BE MORE THAN 1/2" BELOW THRESHOLD. MAXIMUM EFFORT TO OPEN DOORS SHALL NOT EXCEED 5 LBS (EXIT DOORS) & 5 LBS (INTERIOR DOORS). DOORS SHALL COMPLY WITH SECTION 1004 OF THE 2010 CBC.

WALLS:

- ALL DRYWALL TO BE INSTALLED VERTICALLY.
- WHERE WALLS HAVE BEEN DEMOLISHED OR NEW CEILING GRIDS ADDED, REINFORCE CEILING GRID WITH COMPRESSION STRUTS PER 2010 C.B.C. REQUIREMENTS.
- PROVIDE BRACING AT CEILING AND TIE WIRES AT FIXTURES TO MEET CBC/BOCA/LOCAL CODES. CONFIRM EXISTING CONDITIONS.
- PLANS SHALL INDICATE HOW REQUIRED STRUCTURAL AND FIRE RESISTIVE INTEGRITY WILL BE MAINTAINED WHERE A PENETRATION WILL BE MADE IN RATED WALLS FOR ELECTRICAL, MECHANICAL, PLUMBING AND COMMUNICATION CONDUITS, PIPES AND SIMILAR SYSTEMS. SEE 2010 CBC CHAPTER 7, NOTE ON THE PLANS THE ICC RESEARCH REPORT NUMBER, U.L. NUMBER, STATE FIRE MARSHAL NUMBER, OR APPROVAL NUMBER OF ANOTHER AGENCY ACCEPTED BY THE CITY OF SANTA ANA.
- WHERE FIRE PENETRATION IN RATED WALLS IS REQUIRED, G.C. TO SEAL OPENINGS WITH "41105L SELF-LEVELING FIRE & SMOKE STOP SEALANT" BY PASSIVE FIRE PROTECTION PARTNERS (ICC#ESR-2998) OR EQ. PER CITY OF SANTA ANA REQ.
- PATCH AND PAINT DRYWALL WHERE EXISTING ELECTRICAL IS TO BE REMOVED. BLANK PLATES SHALL NOT BE PERMITTED. REMOVE EXISTING BLANK PLATES.
- ALL WALLS (EXISTING, SHELL OR NEW) TO BE REPAIRED TO "AS-NEW" CONDITION. PREP, PATCH, AND PAINT.

PLAN CHECK CORRECTION MS/A-1, GEN. NOTE #16	02.21.12
SUBMIT TO PLAN CHECK	01.31.12
RELEASED FOR ENGINEERING	01.26.12
RELEASED FOR PRICING	12. .10
NO. DESCRIPTION	DATE
REVISIONS	
DRAWN RP/MS	
DATE 12.01.10	
CHECKED RP	
PRINT DATE 01.30.12	

INTERIOR PLANNING & DESIGN

P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE
USABLE: 628 SF

FIRST FLOOR
PARTITION PLAN

Sheet Title
Project Number 2068.642
Sheet Number A-1

- ### A-1 KEY NOTES
- ALL OUTLETS/PLATES AND SWITCHES/PLATES TO MATCH EXISTING. CHANGE OUT ALL TO MATCH. MUST BE UNIFORM THROUGHOUT EXPANSION AREA.
 - REPLACE ALL DOOR STOPS WITH NEW DOOR STOPS TO MATCH ENTRY DOOR FLOOR MOUNTED STOPS.
 - ALL NEW & RELOCATED & EXISTING DOORS TO UNIFORMLY MATCH THROUGH OUT SUITE. ALL DOORS TO MATCH BUILDING STANDARD. ALL HARDWARE TO MATCH BUILDING STANDARD THROUGH OUT SUITE. (G.C. TO REPLACE ANY NON-MATCHING HARDWARE) CONTRACTOR TO CHECK BUILDING STOCK IF NEW DOORS REQUIRED. DUE TO ENVIRONMENTAL HAZARDS NO DOORS ARE TO BE FINISHED ON SITE.
-ALL BUILDING STANDARD LEVER HARDWARE TO BE CONSISTENT THROUGHOUT.
 - NEW FINISHES TO MATCH EXISTING IN AREA OF EXPANSION, SEE SPECS ON SHEET A-4.
 - G.C. TO REPAIR CORRIDOR WALLS WHERE DOORS ARE TO BE REMOVED. REPAIR RATED WALL & WALL FINISH / WALL COVERING TO MATCH EXISTING. REPAIR CEILING & FLOORING AS REQUIRED TO MATCH EXISTING CONDITIONS.
 - NEW SIDE LIGHTS WITH FRAMES TO MATCH EXISTING WIDTH & HEIGHT.

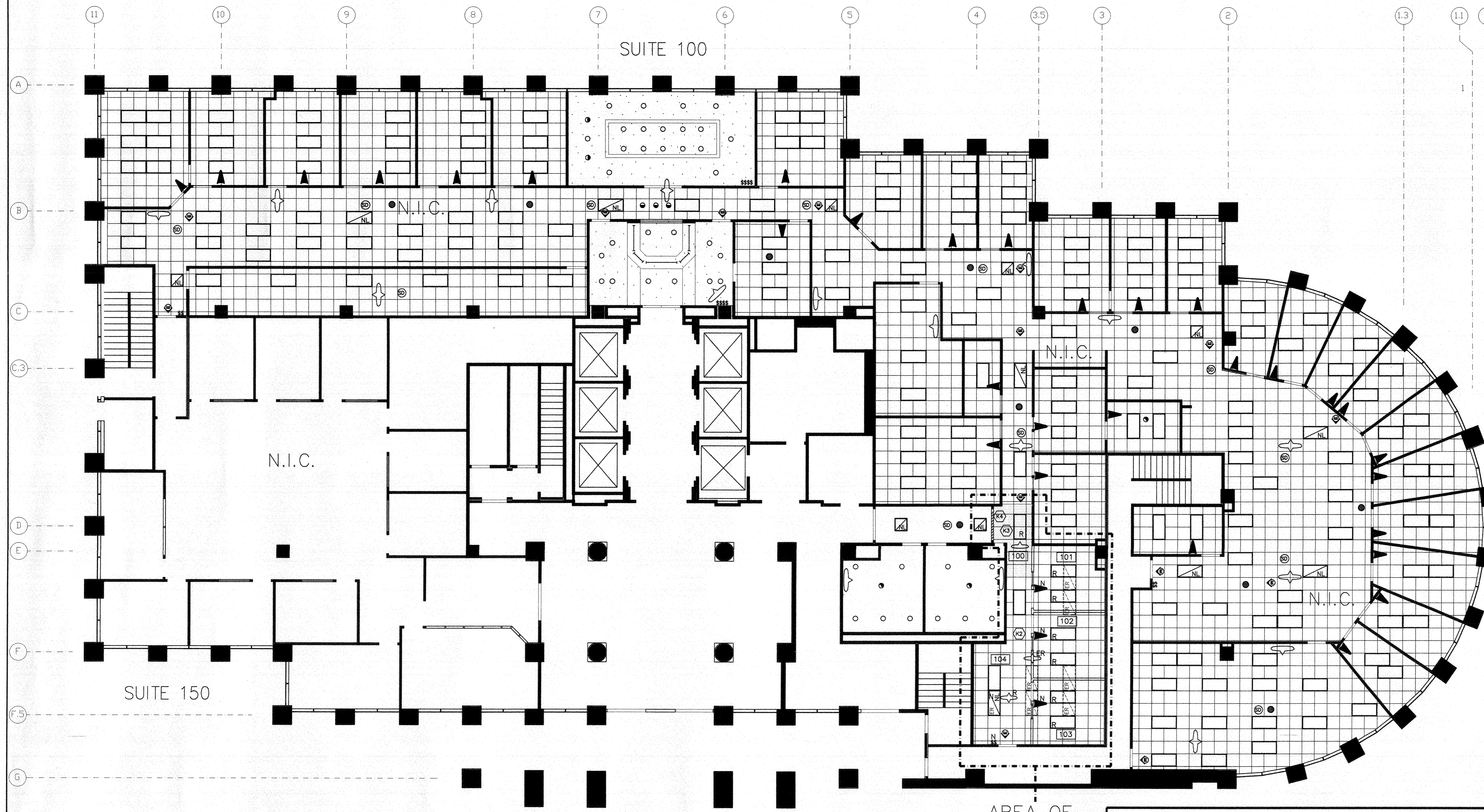
- ### BUILDING STANDARD NOTES
- DOORS:
- ALL EXISTING INTERIOR DOORS & FRAMES TO BE REPAIRED TO AS-NEW CONDITION OR REPLACED AS REQUIRED. PROVIDE NEW HARDWARE WHERE DAMAGED, MISSING OR NOT WORKING. PROVIDE LOCKS WHERE INDICATED, IF NOT EXISTING. DUE TO ENVIRONMENTAL HAZARDS NO DOORS ARE TO BE FINISHED ON SITE. REMOVE DOORS TO BE DEMOLISHED WITH DUE CARE AND RETURN TO BUILDING STOCK, U.O.N.
 - CONTRACTOR TO CHECK BUILDING STOCK IF NEW DOORS, FRAMES, OR SIDELIGHTS ARE REQUIRED. ANY NEW DOORS, FRAMES, HARDWARE AND SIDELIGHTS THAT MAY BE REQUIRED ARE TO MATCH EXISTING IN MANUFACTURER, STYLE, SIZE, FINISH, COLOR, ETC. ALL HARDWARE TO BE TITLE 24 / 2010 CBC COMPLIANT.
 - PROVIDE CLEAR SPACE AT ALL DOORS AS REQUIRED PER CURRENT BUILDING CODES. SEE "TYPICAL CLEARANCES AT DOORS" DETAIL ON SHEET A-4 FOR REQUIRED DIMENSIONS/LOCATION OF CLEAR SPACES.
- WINDOWS/MISC.:
- ALL EXTERIOR WINDOW COVERINGS ARE EXISTING TO REMAIN, U.O.N. REPAIR OR REPLACE AS REQUIRED FOR AS-NEW APPEARANCE. ALL EXISTING WINDOW COVERINGS TO BE CLEANED. VERTICAL BLINDS TO BE REVERSED IF POLES ARE BEHIND JOGGED WALL.
 - [SHOULD BE EXISTING] G.C. TO VERIFY THAT EXISTING STAIRS ON THE FLOOR HAVE VISUAL STRIPING AT THE TOP AND BOTTOM TREADS PER CBC 1133B.4.4, AND TO PROVIDE NEW IF NOT EXISTING. / G.C. TO VERIFY THAT THE EXISTING STAIRS ON THE FLOOR HAVE CODE COMPLIANT HANDRAILS: HANDGRIP TO EXTEND 12" BEYOND THE TOP TREAD AND 12" + TREAD WIDTH BEYOND BOTTOM TREAD AND THAT THE HANDRAIL IS RETURNED TO NEWEL POST OR WALL. / IF NOT EXISTING, PROVIDE NEW TACTILE SIGNS AT BUILDING ENTRY DOOR AND AT EACH STAIRWELL ON FLOOR.

1/8" = 1'-0"

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.

SPACES' DESIGN AND CONSTRUCTION DRAWINGS HAVE BEEN DESIGNED TO SUBSTANTIALLY CONFORM TO CALIFORNIA TITLE 24 ACCESSIBILITY CODES. ANY TENANT MODIFICATIONS TO THESE DRAWINGS WILL BE THE TENANT'S LIABILITY. DURING THE TENANT'S OCCUPANCY OF THE SPACE, THE TENANT WILL BE RESPONSIBLE TO PROVIDE REASONABLE ACCOMMODATION TO INDIVIDUAL EMPLOYEES BASED UPON CALIFORNIA TITLE 24 ACCESSIBILITY CODES. ANY DEVIATION BY THE TENANT FROM CALIFORNIA TITLE 24 ACCESSIBILITY CODES WILL BE THE TENANT'S SOLE RESPONSIBILITY AND LIABILITY. NEITHER SPACES/ARCHITECT NOR THE CONTRACTOR WILL BE LIABLE FOR ANY TENANT DEVIATIONS.



LEGEND

- 2' x 2' ACOUSTICAL TILE & GRID, U.O.N. SEE SPEC #1
- 2' x 4' PARABOLIC LOUVER LIGHTS, U.O.N. SEE SPEC #3
- 2' x 4' PARABOLIC LOUVER NIGHT LIGHT, U.O.N. SEE SPEC #3
- EXISTING 2' x 4' PARABOLIC LOUVER LIGHT TO BE RELOCATED
- 1-WAY CEILING MOUNTED MOTION DETECTOR SEE SPEC #8
- 2-WAY CEILING MOUNTED MOTION DETECTOR SEE SPEC #7
- DOUBLE TOGGLE OVERRIDE SWITCH FOR CEILING SENSORS SEE SPEC #5
- WALL MOUNTED MOTION SENSOR WITH INTEGRAL OVERRIDE SWITCH, U.O.N. SEE SPEC #6
- AREA OF CEILING REPAIR

PROVIDE NEW/RELOCATE EXISTING AS NEEDED.
PLEASE REFER TO FIRE SAFETY NOTES #18-25 & SEE FIRE LIFE SAFETY/ENGINEERING PLANS FOR FINAL LOCATIONS.

- EXIT SIGN SEE SPEC #4
- SMOKE DETECTOR SEE SPEC #11
- LIFE SAFETY SPEAKERS SEE SPEC #10
- FIRE STROBE SEE SPEC #13

D DEMOLISH
R RELOCATED
N NEW
E EXISTING TO BE RELOCATED

ALL ITEMS EXISTING TO REMAIN, U.O.N.

PROJECT

XEROX CENTRE
1851 E. First St.
Santa Ana, Ca. 92705

TENANT

ADELSON, TESTAN, BRUNDO & JIMENEZ
SUITE 100 (EXPANSION)

AGREED: _____
ACCEPTED THIS DAY OF _____, 2012

TENANT: _____
BY: _____
TITLE: _____
COMMENT: _____

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

SPECIFICATIONS

THE OLD BUILDING STANDARDS WERE:

- TILE (DISCONTINUED) USG PRODUCTS 24" x 24" x 3/4", "ASPEN #650" SLT EDGE, COLOR: WHITE.
- CEILING GRID: CHICAGO METALIC 4000 SERIES MATTE WHITE GRID SUSPENSION SYSTEM. SUSPENSION SYSTEM SHALL COMPLY WITH ASTM C635 SPECS.
- 2' x 2' LIGHT: PARALUX II RECESSED/AIR SUPPLY-9 CELL FIXTURE WITH WHITE REVEAL AND BUILDING STANDARD BULBS. #2P3GAUX-2U6533H-227-LE3.
- 2' x 4' LIGHT: PARALUX III RECESSED/AIR SUPPLY-18 CELL FIXTURE WITH WHITE REVEAL AND BUILDING STANDARD BULBS. #2P3GAUX-340536H-277V-LE3.
- SYLVANIA OCTRON CURVALUM, T8 FLUORESCENT LAMP. 32W #21824-F032/741, COLOR TEMP. 4100K.

THE LATEST BUILDING STANDARDS ARE:

- PRIMARY CEILING TILE & GRID (TO REMAIN, IF EXISTING, U.O.N. G.C. TO VERIFY SPECS):
 - TILES: CELOTEX-SHAROLUE TEXTURED, #TBQ-150, 24" x 24" TILES.
 - CEILING GRID: CHICAGO METALIC CORP. "TEMPRA" 4000 SERIES, 9/16" x 2' x 2' GRID [2 FOOT TEE'S 9/16" FACE WHITE #4012-01; 4 FOOT TEE'S #4014.01CH. MAIN RUNNER #4000-01.] SUSPENSION SYSTEM SHALL COMPLY WITH ASTM C635 SPECS.
- 2. LIGHT FIXTURE: 2' x 2' METALUX COOPER LIGHTING, 9 CELL, RECESSED /AIR SUPPLY W/ WHITE REVEAL. T 8'S W/ELECTRONIC 277 VOLT BALLAST (SEE BUILDING ENGINEER FOR STANDARD).
- 3. LIGHT FIXTURE: 2' x 4' METALUX COOPER LIGHTING, 18 CELL, RECESSED /AIR SUPPLY W/ WHITE REVEAL. T 8'S W/ELECTRONIC 277 VOLT BALLAST (SEE BUILDING ENGINEER FOR STANDARD). G.C. TO CONVERT LIGHT TO NIGHTLIGHT WHERE INDICATED, IF NOT EXISTING.
- 4. EXIT SIGN: LITHONIA, 2-SIDED, NO ARROWS. MODEL #LRP20GDA-120/277.
- 5. LIGHT SWITCH: LEVITON SINGLE POLE, DOUBLE GANG SWITCH TO MEET TITLE 24 REQUIREMENTS. 277V, 15A. USED AS AN OVERRIDE SWITCH.
- 6. MOTION DETECTOR: (OFFICES) BUILDING STANDARD-NOVITAS, WALL LIGHT SENSOR SWITCH WITH INTEGRAL OVERRIDE SWITCH. MODEL #01-250, COLOR: WHITE/IVORY; OR #01-153.
- 7. MOTION DETECTOR: BUILDING STANDARD-NOVITAS, CEILING LIGHT SENSOR, MODEL #01-083 (2-WAY ROOM SENSOR) OR #01-110.
- 8. MOTION DETECTOR: BUILDING STANDARD-NOVITAS, CEILING LIGHT SENSOR, MODEL #01-072 (1-WAY ROOM SENSOR) OR #01-100.
- 9. MOTION DETECTOR: BUILDING STANDARD-NOVITAS, CEILING LIGHT SENSOR. FOR CORRIDORS MODEL #01-092. SWITCH PACK FOR CEILING LIGHT SENSOR: #13-051 OR 13-031.
- 10. LIFE SAFETY SPEAKERS: (PROVIDE AS REQUIRED BY CODES) PYROTRONIC 9070 4" FLUSH MOUNTED SPEAKERS TO BE (COMPATIBLE WITH AND) CONNECTED TO THE BASE BUILDING LIFE SAFETY SYSTEM. LOCATION TO BE SPECIFIED BY THE CITY OF SANTA ANA BUILDING DEPT.
- 11. SMOKE DETECTOR: (PROVIDE AS REQUIRED BY CODES) PYROTRONIC #IL160. STATE FIRE MARSHAL APPROVED. WRING: #18 TFM.
- 12. NOVITAS OVERRIDE SWITCH: 24 VOLTS MANUAL ON/AUTOMATIC OFF WALL SWITCH, #01-120. COLOR: OFF WHITE.
- 13. FIRE STROBE: (RELOCATE EXISTING AND/OR ADD NEW AS REQUIRED BY CODES). NEW BUILDING STANDARD TO MATCH EXISTING, U.O.N.

NO.	DESCRIPTION	DATE
△	SUBMIT TO PLAN CHECK	01.31.12
△	RELEASED FOR ENGINEERING	01.26.12
△	RELEASED FOR PRICING	12. .10
NO.	DESCRIPTION	DATE

REVISIONS

NO.	DESCRIPTION	DATE
△	SUBMIT TO PLAN CHECK	01.31.12
△	RELEASED FOR ENGINEERING	01.26.12
△	RELEASED FOR PRICING	12. .10

SEAL: CALIFORNIA REGISTERED PROFESSIONAL ENGINEER
 NAME: PATRICK R. PATRICK
 NO. 40985
 EXPIRES 01-01-2015

INTERIOR PLANNING & DESIGN
SPACES
 P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
 949.724.1499 / www.spaces-oc.com

BUILDING STANDARD NOTES

GRID, TILES, LIGHTS:

11. ALL SUSPENDED T-BAR IS EXISTING TO REMAIN, U.O.N. MODIFY AS NEEDED AT CONSTRUCTION, TRIM/PATCH, CLEAN, PAINT, AND OTHERWISE REPAIR GRID AS REQUIRED TO OBTAIN A CONTINUOUS, UNIFORM, AS-NEW APPEARANCE THROUGHOUT SUITE. SEE PARTITION & DEMO PLANS AND SPEC #1.
12. ALL ACOUSTICAL CEILING TILES ARE EXISTING TO REMAIN, U.O.N. MODIFY AS NEEDED AT CONSTRUCTION, TRIM/PATCH/REPLACE TILES AS REQUIRED TO OBTAIN A CONTINUOUS, UNIFORM, AS-NEW APPEARANCE THROUGHOUT SUITE. SEE PARTITION & DEMO PLANS AND SPEC #1.
13. LIGHT FIXTURES ARE EXISTING TO REMAIN, U.O.N. G.C. TO ALLOW FOR MINIMUM LIGHT LEVEL OF ONE (1) FIXTURE PER EIGHTY (80) SQUARE FEET U.O.N. REPAIR/REPLACE FIXTURES AS REQUIRED. ALL FIXTURES TO WORK PROPERLY. REPLACE BALLASTS AS REQUIRED. ALL LIGHTING TO BE CONNECTED TO BASE BLDG. ENERGY MGT. SYSTEM.
14. G.C. TO VERIFY EXISTING NIGHT LIGHTS. RELOCATE OR RETROFIT EXISTING AS NOTED.
15. ALL EXISTING FIXTURES TO BE CLEANED AND RELAMPED. REPLACE DAMAGED AND INCONSISTENT LENSES WITH BUILDING STANDARD TO MATCH EXISTING FOR CONTINUOUS, AS-NEW APPEARANCE.
16. WHERE WALLS HAVE BEEN DEMOLISHED OR NEW CEILING GRIDS ADDED, REINFORCE NEW CEILING GRID WITH COMPRESSION STRUTS AS REQUIRED PER 2010 C.B.C. SEE CEILING DETAILS ON SHEET A-5.
17. PROVIDE BRACING AT CEILING AND TIE WIRES AT FIXTURES TO MEET C.B.C./BOCA/LOCAL CODES. CONFIRM EXISTING CONDITIONS.

FIRE LIFE SAFETY:

18. ALL LIGHTING, FIRE LIFE SAFETY, AND VENTILATION SHALL COMPLY WITH CURRENT BUILDING CODES.
19. ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID.
20. "EXIT" SIGNS SHALL BE PROVIDED IN ACCORDANCE WITH C.B.C., CHAPTER 10, SECTION 1011. AND IFC ARTICLE 12.
21. INSTALL NEW/RELOCATE EXISTING EXIT SIGNS, FIRE LIFE SAFETY SPEAKERS, STROBES, NIGHT LIGHTS, AND SMOKE DETECTORS AS REQUIRED BY CURRENT BUILDING CODES. NEW TO MATCH EXISTING, U.O.N. VERIFY IF EXISTING SPEAKERS ARE REGULAR OR FIRE LIFE SAFETY. SEE ENGINEERING PLANS FOR FINAL LOCATIONS AND SPECIFICATIONS.
22. IF REQUIRED, G.C. TO ADD/CHANGE OUT ALL EXISTING SPEAKER/STROBES WITH NEW BUILDING STANDARD. G.C. TO VERIFY REQUIREMENT WITH CITY OF SANTA ANA & OBTAIN APPROVAL FROM BUILDING OWNER. SEE SPEC'S #10 & 13.
23. RELOCATE SPRINKLERS IF/AS REQUIRED. INSTALL PER CITY OF SANTA ANA FIRE CODE.
24. 2010 C.B.C. EXCEPTION 4 WILL BE USED IN AREA AS SHOWN. THE BUILDING IS EQUIPPED WITH AN AUTOMATIC SPRINKLER SYSTEM THROUGHOUT. SMOKE DETECTORS WILL BE INSTALLED WITHIN THE CORRIDOR IN ACCORDANCE WITH THEIR LISTINGS. SEE F.L.S. PLAN FOR SMOKE DETECTOR LOCATIONS.
25. PLANS SHALL INDICATE HOW REQUIRED STRUCTURAL AND FIRE RESISTIVE INTEGRITY WILL BE MAINTAINED WHERE A PENETRATION WILL BE MADE IN RATED WALLS FOR ELECTRICAL, MECHANICAL, PLUMBING AND COMMUNICATION CONDUITS, PIPES, AND SIMILAR SYSTEMS [CBC SECTION 106.3.3 AND CBC CHAPTER 7]. NOTE ON THE PLANS THE ICC RESEARCH REPORT NUMBER, U.L. NUMBER, STATE FIRE MARSHAL NUMBER, OR APPROVAL NUMBER OF ANOTHER AGENCY ACCEPTED BY THE CITY OF SANTA ANA.

SWITCHES/MOTION SENSORS, ETC.:

26. THE CENTERLINE OF NEW SWITCHES AND WALL MOUNTED MOTION DETECTORS TO BE LOCATED NOT MORE THAN 8" FROM DOOR FRAME WHERE INDICATED AND PRACTICAL. ALL OTHERS TO BE MOUNTED ON THE WALL THAT THE DOOR SWINGS TO, SPACED 2" AWAY FROM EDGE OF DOOR SWING. U.O.N. SENSORS & SWITCHES TO BE MOUNTED AT 42" A.F.F.
27. REUSE ALL CEILING MOTION DETECTORS (IF POSSIBLE), PROVIDE NEW AS NEEDED.
28. GANG LIGHTING IN OPEN OFFICES AND PASSAGEWAYS OF SUITE. PROVIDE CEILING MOTION SENSORS AS NEEDED, AND OVERRIDE SWITCHES AT EACH EXIT (IF NOT EXISTING).

SUSPENDED CEILING NOTES

SUSPENDED ACOUSTICAL CEILING SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF ASTM C 635 AND ASTM C 636, & SECTION 1613.1 CBC. PROVIDE IF NEW T-BAR SYSTEM IS USED FOR THE 2' x 4' PANELS.

ASCE 7-05, SEC 13.5.6.2.2 SPECIFIES THE FOLLOWING:

1. HEAVY DUTY T-BAR GRID SYSTEM SHALL BE USED.
2. THE WIDTH OF THE PERIMETER SUPPORTING CLOSURE ANGLE SHALL BE NOT LESS THAN 2 IN. IN EACH ORTHOGONAL HORIZONTAL DIRECTION, ONE END OF THE CEILING GRID SHALL BE ATTACHED TO THE CLOSURE ANGLE. THE OTHER END IN EACH HORIZONTAL DIRECTION SHALL HAVE A .75 IN. CLEARANCE FROM THE WALL AND SHALL REST UPON AND BE FREE TO SLIDE ON A CLOSURE ANGLE. [SEE DETAIL #19 ON A-5 FOR CLOSURE ANGLE DETAIL.]
3. EXCEPT WHERE RIGID BRACES ARE USED TO LIMIT LATERAL DEFLECTIONS, SPRINKLER HEADS AND OTHER PENETRATIONS SHALL BE PROVIDED WITH A 2" OVERSIZE RING, SLEEVE, OR ADAPTER THROUGH THE CEILING TILE TO ALLOW FOR FREE MOVEMENT OF AT LEAST 1" IN ALL HORIZONTAL DIRECTIONS. ALTERNATIVELY, A SWING JOINT THAT CAN ACCOMMODATE 1" OF CEILING MOVEMENT IN ALL HORIZONTAL DIRECTIONS IS PERMITTED TO BE PROVIDED AT THE TOP OF THE SPRINKLER HEAD EXTENSION.
4. LATERAL BRACING FOR SUSPENDED CEILING SHALL BE PROVIDED, WHERE CEILING IS NOT SUPPORTING INTERIOR PARTITIONS, CEILING BRACING SHALL BE PROVIDED BY FOUR NO. 12 GAUGE WIRES SECURED TO THE MAIN RUNNER WITHIN 2 INCHES OF THE CROSS RUNNER INTERSECTION AND SPAYED 90 DEGREES FROM EACH OTHER AT AN ANGLE NOT EXCEEDING 45 DEGREES FROM THE PLAN OF THE CEILING. A STRUT (ADEQUATE TO RESIST THE VERTICAL COMPONENT FROM LATERAL LOADS) FASTENED TO THE MAIN RUNNER SHALL BE EXTENDED TO AND FASTENED TO THE STRUCTURAL MEMBERS OF THE ROOF OR FLOOR ABOVE. THESE HORIZONTAL RESTRAINT POINTS SHALL BE PLACED 12 FEET O.C. IN BOTH DIRECTIONS WITH THE FIRST POINT WITHIN 6 FEET OF EACH WALL. ATTACHMENT OF RESTRAINT WIRES TO THE STRUCTURE ABOVE SHALL BE ADEQUATE FOR THE LOAD IMPOSED. [SEE DETAILS #1, 2, 12, & 15 ON A-5.]
5. SPECIAL INSPECTION IS REQUIRED OF ITS INSTALLATION. [EXCEPTION: SUSPENDED CEILING IN 1 & 2 STORY LIGHT FRAME BUILDINGS W/SDS-C.0.501.]

A-2 KEY NOTES

- (K1) ALL OUTLETS/PLATES AND SWITCHES/PLATES TO MATCH EXISTING, CHANGE OUT ALL TO MATCH, MUST BE UNIFORM THROUGHOUT EXPANSION AREA.
- (K2) G.C. TO RELOCATE LIGHTS IN EXPANSION AREA TO CREATE A BALANCED LIGHTING LAYOUT.
- (K3) G.C. TO REMOVE HARD LID CEILING AND INSTALL SUSPENDED CEILING GRID & TILE TO MATCH & ALIGN WITH EXISTING.
- (K4) G.C. TO REPAIR CORRIDOR WALLS WHERE NEW DOOR IS TO BE REMOVED. REPAIR RATED WALL & WALL FINISH / WALL COVERING TO MATCH EXISTING. REPAIR CEILING & FLOORING AS REQUIRED TO MATCH EXISTING CONDITIONS.

1/8" = 1'-0"

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.

SPACES' DESIGN AND CONSTRUCTION DRAWINGS HAVE BEEN DESIGNED TO SUBSTANTIALLY CONFORM TO CALIFORNIA TITLE 24 ACCESSIBILITY CODES. ANY TENANT MODIFICATIONS TO THESE DRAWINGS WILL BE THE TENANT'S LIABILITY. DURING THE TENANT'S OCCUPANCY OF THE SPACE, THE TENANT WILL BE RESPONSIBLE TO PROVIDE REASONABLE ACCOMMODATION TO INDIVIDUAL EMPLOYEES BASED UPON CALIFORNIA TITLE 24 ACCESSIBILITY CODES. ANY DEVIATION BY THE TENANT FROM CALIFORNIA TITLE 24 ACCESSIBILITY CODES WILL BE THE TENANT'S SOLE RESPONSIBILITY AND LIABILITY. NEITHER SPACES/ARCHITECT NOR THE CONTRACTOR WILL BE LIABLE FOR ANY TENANT DEVIATIONS.

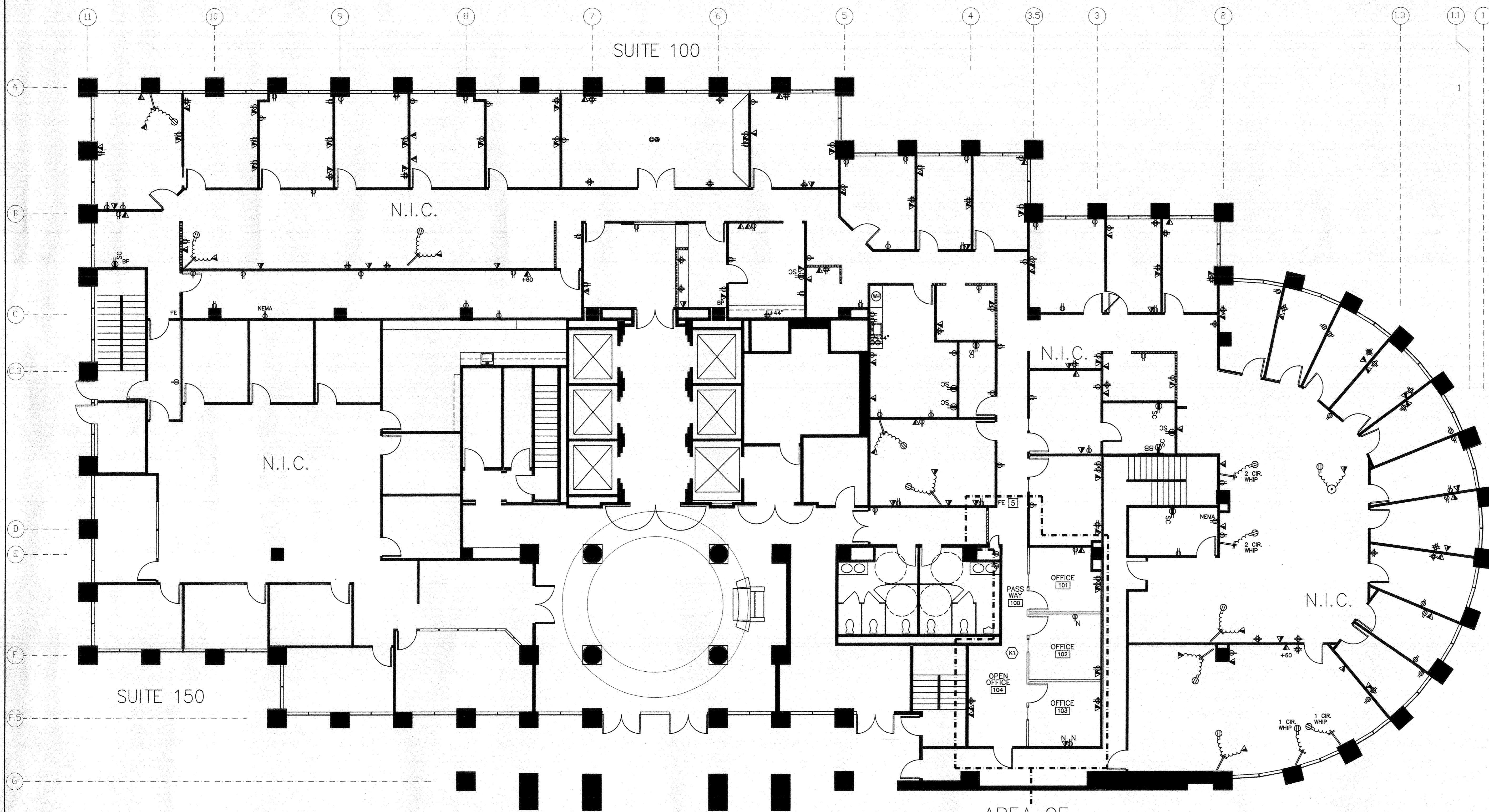
SQUARE FOOTAGE
USABLE: 628 SF

FIRST FLOOR
REFLECTED CEILING PLAN
Sheet Title

Project Number 2068.642

Sheet Number A-2

JAN 31 2012



LEGEND	
BB	TELEPHONE BACKBOARD SEE SPEC #1 & NOTE #5
⊕	DUPLEX WALL OUTLET
⊕	DUPLEX WALL OUTLET—SEPARATE CIRCUIT
⊕	QUADRAPLEX WALL OUTLET
⚡	(MULTILINE) TELEPHONE AND/OR DATA OUTLET, 3/4" CONDUIT
⚡	(N/A) J-BOX WALL OUTLET PANEL FEED - PANEL SYSTEM BY TENANT SEE ENGINEERING PLAN FOR CONDUIT SIZE
FE	FIRE EXTINGUISHER SEE SPEC #5
ER	EXISTING TO BE RELOCATED
R	RELOCATED
D	DEMOLISH
N	NEW

ALL ITEMS EXISTING TO REMAIN, U.O.N.
SEE PLAN ON A-1 FOR OUTLETS TO BE DEMOLISHED

PROJECT

XEROX CENTRE
1851 E. First St.
Santa Ana, Ca. 92705

TENANT

ADELSON, TESTAN,
BRUNDO & JIMENEZ
SUITE 100 (EXPANSION)

AGREED:
ACCEPTED THIS DAY OF _____, 2012

TENANT:
BY: _____

TITLE:

COMMENT:
UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

- SPECIFICATIONS**
- TELEPHONE BACKBOARD: (EXISTING) 4' X 8' X 3/4" PLYWOOD. INSTALL AND PAINT TO MATCH WALLS. PROVIDE SEPARATE CIRCUIT OUTLET AND 2" CONDUIT HOME-RUN TO BASE BUILDING TELEPHONE ROOM. PLYWOOD TO BE OF FIRE-RETARDANT -TREATED WOOD TO COMPLY WITH C.B.C. SECTION 207.10.
 - SINGLE SINK & FAUCET: (EXISTING)
"JUST" BRAND SINK #SL-ADA-1921-A-GR, SINGLE ADA BOWL WITH CENTER DRAIN; 6 1/2" DEEP.
"JUST" BRAND ADA COMPLIANT FAUCET WITH LEVER HANDLES #JTR-51-W4;
J-ADA-35 -DRAIN SYSTEM WITH OVERFLOW SYSTEM, AND ADA COMPLIANT DRAIN INSULATOR KIT #J-ADA-150 OR SIMILAR INSULATION IF/AS REQUIRED BY CODES.
 - INSTA-HOT: (EXISTING) CHROMOMITE MODEL #SR-30 INSTANTANEOUS HOT WATER HEATER OR EQUAL IN CABINET BELOW. 277V/ 30 AMP/ 8310 WATTS.
 - GARBAGE DISPOSAL: (EXISTING) IN-SINK-ERATOR BRAND, MODEL: "BADGER 5", GRAY ENAMEL, 120V, 6.9 AMPS, 60 HZ., 1/2 H.P. OR EQUAL. PLUMBER IS TO VERIFY PROPER G.D. INSTALLATION W/SINK.
 - FIRE EXTINGUISHER: (PROVIDE NEW IF NOT EXISTING)
WALL HUNG POTTER ROEMER EXTINGUISHER, 2A 10BC MINIMUM RATED EXTINGUISHER OR EQUAL QUANTITY & LOCATIONS OF EXTINGUISHERS TO BE VERIFIED WITH THE CITY OF SANTA ANA BUILDING INSPECTOR AND THE ARCHITECT PRIOR TO INSTALLATION. NEW TO MATCH BUILDING STD. U.O.N.
 - DUPLEX OUTLET: MATCH EXISTING IN MANUFACTURER, STYLE, & FINISH, U.O.N.
- PROVIDE ALL NECESSARY PLUMBING AND ELECTRICAL FOR FIXTURES/APPLIANCES.

- BUILDING STANDARD NOTES**
- GENERAL:
- VERIFYING EXISTING CONDITIONS - BEFORE SUBMITTING BID, G.C. SHALL BECOME THOROUGHLY FAMILIAR WITH ACTUAL EXISTING CONDITIONS AT THE BUILDING. THE INTENT OF THE WORK IS SHOWN ON THE DRAWINGS AND DESCRIBED HEREAFTER. BY THE ACT OF SUBMITTING A BID PROPOSAL FOR WORK, THE CONTRACTOR SHALL BE DEEMED TO HAVE MADE SUCH A STUDY AND EXAMINATION AND TO ACCEPT ALL CONDITIONS PRESENT AT THE SITE. NO REQUEST FOR ADDITIONAL PAYMENT SHALL BE CONSIDERED VALID, DUE TO FAILURE TO ALLOW FOR CONDITIONS WHICH MAY EXIST.
 - ALL SUBCONTRACTORS SHALL BE CITY AND STATE LICENSED.
 - G.C. TO VERIFY CAPACITY OF EXISTING ELECTRICAL PANEL/ TRANSFORMERS IS ADEQUATE FOR PROPOSED WORK. IF ANY ADDITIONS TO ELECTRICAL CAPACITY OF BUILDING IS REQUIRED, IT SHALL BE INCLUDED IN SCOPE AND BID FOR PROPOSED WORK.
 - G.C. TO VERIFY HVAC CONDITIONS/ZONING WITH BUILDING ENGINEER TO ENSURE ADEQUACY OF EXISTING UNITS FOR SUITE. ANY ADDITIONS TO HVAC EQUIPMENT SHALL BE INCLUDED IN SCOPE AND BID FOR PROPOSED WORK.
 - ALL SUITES TO RECEIVE TELEPHONE BACKBOARD, U.O.N. TELEPHONE BACKBOARD TO HAVE (1) SEPARATE CIRCUIT AND (1) 2" CONDUIT TO BASE BUILDING TELEPHONE. SAND AND PAINT BACKBOARD, U.O.N.
 - ALL EXISTING HANDICAPPED FACILITIES SHALL MEET OR COMPLY WITH TITLE 24 HANDICAPPED ACCESSIBILITY REQUIREMENTS.
 - ALL FIRE LIFE SAFETY, TITLE 24 REQUIREMENT COMPLIANCE MUST BE INCLUDED IN BID.
 - ELECTRICAL ENGINEER/SUBCONTRACTOR IS RESPONSIBLE FOR FIRE LIFE SAFETY ENGINEERING AND BUILD-OUT, EXCLUDING SPRINKLERS.
 - ALL SPECIFICATIONS FOR EQUIPMENT THAT IS DIFFERENT FROM THE ARCHITECTURAL DRAWINGS ARE TO BE INDICATED ON THE ENGINEERING DRAWINGS. SEE ENGINEER'S DRAWINGS FOR COMPLETE SPECIFICATIONS, CONDUIT SIZE AND CONNECTIONS.
 - ALL ARCHITECTURAL AND ENGINEERING DOCUMENTS TO BE PRODUCED ON AUTOCAD IN DWG FILE FORMAT. NO DXF FILE FORMAT WILL BE ACCEPTED. PROPERTY MANAGER/ENGINEERS TO RECEIVE A COPY OF THE COMPLETED DISCS.
 - COMBINE MECHANICAL, HVAC, ELECTRICAL, AND FIRE LIFE SAFETY IN THIS SUITE FROM THAT OF ADJACENT SUITES, AND COMBINE AS REQUIRED WITHIN SUITE.
 - PROVIDE PROPER ELECTRICAL AND PLUMBING FOR ALL APPLIANCES AND/OR EQUIPMENT AS SPECIFIED. SEE PLAN, SPECS, MILLWORK DETAILS, AND KEYNOTES/ALTERNATE PRICING NOTES.

NO.	DESCRIPTION	DATE
△	SUBMIT TO PLAN CHECK	01.31.12
△	RELEASED FOR ENGINEERING	01.26.12
△	RELEASED FOR PRICING	12. .10

NO. DESCRIPTION DATE

REVISIONS

NO.	DESCRIPTION	DATE
1	DRAWN RP/MS	12.01.10
2	CHECKED RP	01.30.12
3	PRINT DATE	01.30.12

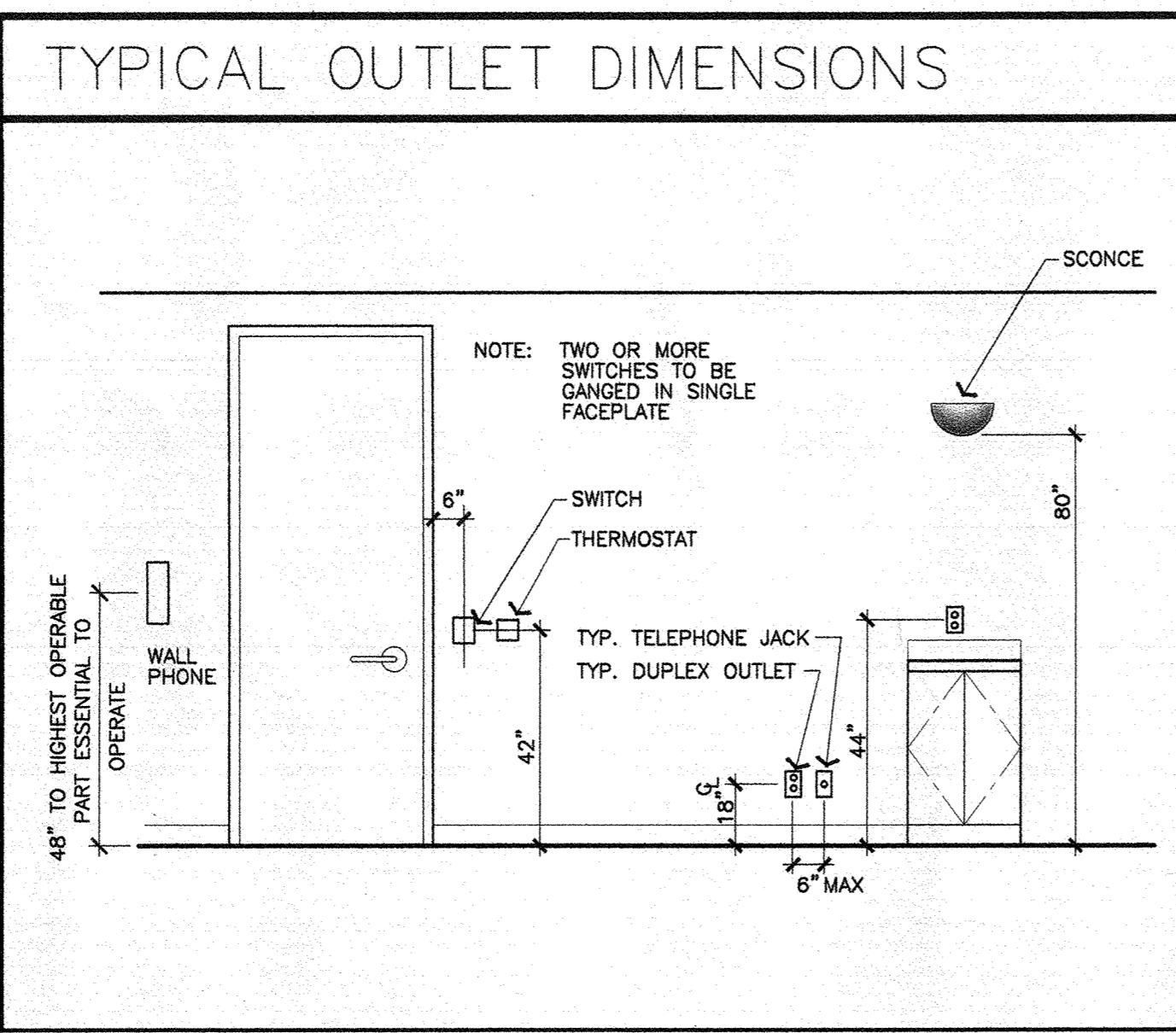
INTERIOR PLANNING & DESIGN
SPACES
P & D INC.
17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

1/8" = 1'-0"

CONTRACTOR TO VERIFY SITE CONDITIONS PRIOR TO PRICING.

NOTE: CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING FIELD CONDITIONS. CONTRACTOR WILL NOTIFY SPACES IMMEDIATELY AS TO ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND WORKING DRAWINGS.

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- A-3 KEY NOTES:**
- (K1) ALL OUTLETS/PLATES AND SWITCHES/PLATES TO MATCH EXISTING, CHANGE OUT ALL TO MATCH, MUST BE UNIFORM THROUGHOUT EXPANSION AREA.
20. FURNITURE IS A SCHEMATIC LAYOUT AND FOR REFERENCE ONLY. TENANT TO PROVIDE. TENANT & TENANT'S VENDOR TO PROVIDE EXACT LOCATIONS & SIZES OF FURNITURE AND TO PROVIDE LOCATIONS FOR OUTLETS AND FURNITURE WHIPS. G.C. TO MAKE FINAL CONNECTIONS. ANY CRITICAL DIMENSIONS ARE TO BE VERIFIED BY TENANT AND PROVIDED TO SPACES AND BUILDING OWNERS. TENANT AND TENANT'S FURNITURE VENDOR ARE RESPONSIBLE FOR FINAL VERIFICATION AND APPROVAL OF ANY AND ALL ELECTRICAL AND TELE/DATA OUTLETS AND PANEL FEEDS.
- TELE/DATA CABLING:**
21. ALL EXISTING TELEPHONE/DATA CABLING IN SUITE IS TO BE REMOVED BY G.C. U.O.N.
22. TENANT AND TENANT'S SUBCONTRACTOR ARE RESPONSIBLE FOR PROVIDING AND INSTALLING NEW TELE/DATA CABLING. CABLING TO BE FLENUM RATED, TEFLOON COATED, AND TO BE SUSPENDED FROM THE STRUCTURE ABOVE. CABLING MAY NOT REST ON THE CEILING GRID, OR BE ATTACHED TO ANY OTHER ELEMENTS ABOVE THE CEILING GRID-EXCEPT TO THE STRUCTURE ABOVE. NO CABLE TO BEND OVER 45 DEGREES.
- BUILDING SPECIFIC/OTHER:**
23. PLANS SHALL INDICATE HOW REQUIRED STRUCTURAL AND FIRE RESISTIVE INTEGRITY WILL BE MAINTAINED WHERE A PENETRATION WILL BE MADE IN RATED WALLS FOR ELECTRICAL, MECHANICAL, PLUMBING AND COMMUNICATION CONDUITS, PIPES AND SIMILAR SYSTEMS. CBC SECTION 106.3.3 AND CBC CHAPTER 7, NOTE ON THE PLANS THE ICC RESEARCH REPORT NUMBER, U.L. NUMBER, STATE FIRE MARSHAL NUMBER, OR APPROVAL NUMBER OF ANOTHER AGENCY ACCEPTED BY THE CITY OF SANTA ANA.
24. ALL NEW (XEROX) BUILDING STANDARD INTERIOR WALL PARTITIONS ARE TO BE SOUND INSULATED.

- BUILDING STANDARD NOTES**
13. ALL ELECTRICAL/TELE/DATA OUTLETS ARE EXISTING TO REMAIN, U.O.N. GC TO CONFIRM THAT ALL OUTLETS ARE OPERATIONAL. ALL OUTLETS THAT ARE DAMAGED, DISCOLORED OR MISSING SCREWS ARE TO BE REPAIRED OR REPLACED. ALL OUTLETS TO HAVE COVER PLATES. NEW COVER PLATES AND OUTLET FINISHES TO MATCH EXISTING BUILDING STANDARD, U.O.N.
14. ALL TELEPHONE AND DATA OUTLETS ARE TO BE 3/4" CONDUIT IN A SINGLE RUN TO BE STUBBED OUT AT 6" ABOVE THE FINISHED CEILING. NO LOOPING. G.C. TO PROVIDE PULL STRING U.O.N.
15. WHEN A TELE/DATA OR DATA OUTLET IS INDICATED NEXT TO AN ELECTRICAL OUTLET, THE ENGINEER MUST NOT PROVIDE MORE THAN 4 OUTLETS PER BREAKER. NO OUTLETS FOR ANY OTHER USE ARE TO BE PROVIDED ON THE SAME BREAKER WITH DATA ELECTRICAL OUTLETS. TWO (2) SPARE BREAKERS ARE TO REMAIN FOR THE BUILDING ENGINEER'S USE.
16. ALL OUTLETS NOT STANDARD ARE TO BE LABELED ACCORDINGLY.
17. TYPICAL SPACING FOR WALL OUTLETS IS 6" FROM EACH OTHER. (NO BACK TO BACK OUTLETS). ALL TELEPHONE AND ELECTRICAL OUTLETS TO BE MOUNTED VERTICALLY @ 18" FROM SLAB TO THE CENTER OF OUTLET, U.O.N. ALL OUTLETS NOT DIMENSIONED ARE TO BE LOCATED TO THE NEAREST STUD.
18. PATCH AND PAINT DRYWALL WHERE EXISTING ELECTRICAL IS TO BE REMOVED. BLANK PLATES SHALL NOT BE PERMITTED, REMOVE EXISTING BLANK PLATES.
19. ALL OFFICES TO HAVE A MINIMUM OF TWO DUPLEX OUTLETS, ONE TELEPHONE OUTLET, AND ONE DATA OUTLET, U.O.N. [THE TELEPHONE AND DATA OUTLETS MAY BE COMBINED INTO A SINGLE MULTI-LINE TELE/DATA OUTLET.]

SQUARE FOOTAGE

USABLE: 628 SF

FIRST FLOOR

TELEPHONE & ELECTRICAL PLAN

Sheet Title

Project Number 2068.642

Sheet Number A-3

JAN 31 2012

DOOR SCHEDULE

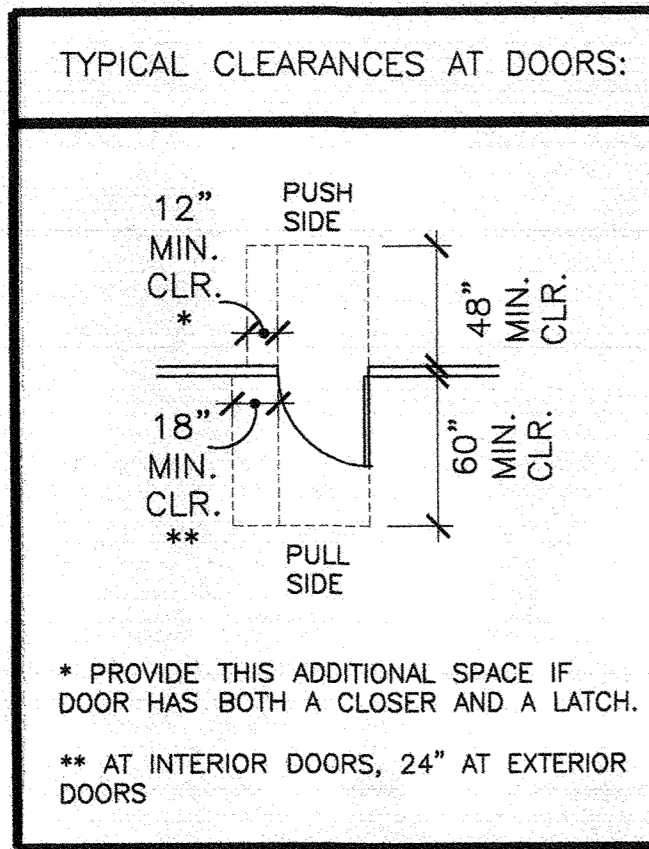
DOORS		FRAMES												REMARKS
NUMBER	ROOM NAME	WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	HEAD	JAMB	THRESH	MATERIAL	HARDWARE	LABEL		
101	OFFICE	3'-0"	8'-10"	1 3/4"	G	WD	14	13	13	ALUM	3	NOT RTD.		
102	OFFICE	3'-0"	8'-10"	1 3/4"	G	WD	14	13	13	ALUM	3	NOT RTD.		
103	OFFICE	3'-0"	8'-10"	1 3/4"	G	WD	14	13	13	ALUM	3	NOT RTD.		

ALSO SEE DOOR NOTES BELOW, AND NOTES & KEYNOTES ON SHEET A-1

- ALL LOCKSETS TO BE "C" KEYWAY, (EXCEPT FOR THE 9TH FLOOR ONLY, WHICH IS TO RECEIVE "E" KEYWAYS).
- INTERIOR DOOR STOPS TO MATCH ENTRY DOOR STOPS (BUILDING STANDARD) THROUGHOUT SUITE.

DOOR NOTES

- RIGHT DOOR ACTIVE ON PAIRS OR DOORS UNLESS OTHERWISE NOTED.
- ALL DOORS SHALL BE HANDICAP ACCESSIBLE. MAXIMUM EFFORT TO OPERATE DOORS SHALL NOT EXCEED 5 POUNDS FOR EXTERIOR DOORS AND INTERIOR DOORS, SUCH PULL OR PUSH EFFORT BEING APPLIED AT RIGHT ANGLES TO HINGED DOORS AND AT THE CENTER PLANE OF SLIDING OR FOLDING DOORS. COMPENSATING DEVICES OR AUTOMATIC DOOR OPERATORS MAY BE UTILIZED TO MEET THE ABOVE STANDARDS. WHEN FIRE DOORS ARE REQUIRED, THE MAXIMUM EFFORT TO OPERATE THE DOOR MAY BE INCREASED TO THE MINIMUM ALLOWABLE BY THE APPROPRIATE ADMINISTRATIVE AUTHORITY, NOT TO EXCEED 15 POUNDS. CBC SECTION 1133B.2.5
- 1/2" MAXIMUM TOTAL THRESHOLD HEIGHT WITH 1/4" MAX. VERTICAL CHANGE AT EDGE. CHANGE IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE LEVELED WITH SLOPE NO GREATER THAN 1:2 RATIO.
- THE FLOOR OR LANDING ON EACH SIDE OF AN EXIT DOOR SHALL BE LEVEL. 60" DEEP LEVEL AREA IN THE DIRECTION OF DOOR SWING. 44" DEEP LEVEL AREA WHEN DOOR SWINGS AWAY FROM APPROACH. LEVEL AREA EXTENSION 24" TO STRIKE SIDE OF EXTERIOR DOOR, 18" FOR INTERIOR DOORS.
- DUE TO ENVIRONMENTAL HAZARDS, NO DOORS ARE TO BE FINISHED ON SITE.
- ALL HARDWARE IS LEVER TYPE, AND CONFORMS TO TITLE 24 HANDICAP REQUIREMENTS.
- ALL DOORS & FRAMES ARE EXISTING TO REMAIN, UNLESS OTHERWISE NOTED.
- ALL DOORS ARE TO BE REPAIRED TO AS-NEW CONDITION OR REPLACED AS REQUIRED. NEW DOORS TO MATCH EXISTING IN MANUFACTURER, STYLE, AND FINISH, U.O.N. CONTRACTOR TO CHECK BUILDING STOCK IF NEW DOORS ARE REQUIRED, OR REUSE EXISTING AND AND REPLACE AS NOTED ON A-1.
- ALL DEMO DOORS AND FRAMES ARE TO BE REMOVED WITH CARE AND ARE TO REMAIN THE PROPERTY OF THE BUILDING OWNER. EXISTING-TO-BE-RELOCATED DOORS AND FRAMES ARE TO BE REUSED IN EITHER THIS SUITE OR ANOTHER SUITE.
- PAINT EXPOSED PARTS TO MATCH DOOR FRAMES.



DOOR HARDWARE

SET #1 (SINGLE 20 MIN. ENTRY DOOR)
 LOCKSET 1 EA L9453-03A 625 SCHLAGE
 HINGES 4 PR BB1279 4-1/2X 4 BLACK HAGER
 CLOSER 1 EA #6501(#2258396-2) #693-BLK NORTON
 DOORSTOPS TO MATCH EXISTING BUILDING STANDARD ENTRY FLOOR MTD. DOORSTOPS
 CYLINDER GUARD W/ NON-REMOVABLE HINGE PINS
 *MIDDLE HINGE MOUNTED @ 60"-90"
 NOTE: SMOKE SEALS ARE INTEGRATED INTO DOOR FRAMES.

SET #2 (PAIR 20 MIN. ENTRY DOORS)
 LOCKSET 1 EA L9453-03A 625 SCHLAGE
 HINGES 8 PR BB1279 4-1/2 X 4 BLACK HAGER
 CLOSER 2 EA #6501(#2258396-2) #693-BLK NORTON
 DOORSTOPS TO MATCH EXISTING BUILDING STANDARD ENTRY FLOOR MTD. DOORSTOPS
 COORDINATOR USP GJ
 ASTRAGAL 357 SP 600 PEMKO
 AUTO FLUSH 1 SET AFB-8 625 GJ
 DUSTPROOF STRIKE 1 EA DP-2 625 GJ
 THRESHOLD 1 EA DP-2 625 GJ
 FULL LENGTH ASTRAGAL SECURED W/ NON-REMOVABLE PINS WITH MAHOAGANY WOOD OVERLAY. *MIDDLE HINGE MOUNTED @ 60"-90". NON-REMOVABLE PINS AT HINGES.
 NOTE: SMOKE SEALS ARE INTEGRATED INTO DOOR FRAMES.

SET #3 (SINGLE INTERIOR DOOR)
 LATCHSET 1 EA D10S RHODES 626 SCHLAGE
 HINGES 2 PR BB1279 4-1/2X 4 BLACK HAGER
 DOORSTOPS TO MATCH EXISTING BUILDING STANDARD ENTRY FLOOR MTD. DOORSTOPS

SET #4 (SINGLE LOCKING INTERIOR DOOR)
 LOCKSET 1 EA D03SPD RHODES 625 SCHLAGE
 HINGES 2 PR BB1279 4-1/2X 4 BLACK HAGER
 DOORSTOPS TO MATCH EXISTING BUILDING STANDARD ENTRY FLOOR MTD. DOORSTOPS

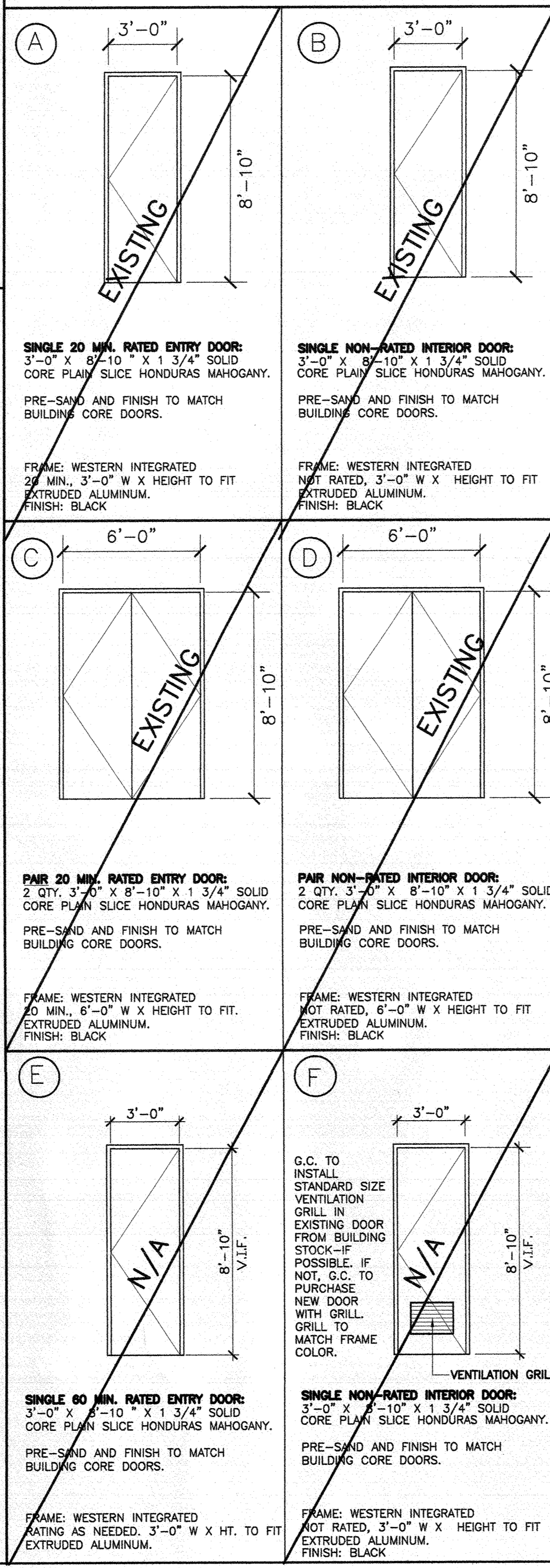
SET #5 (PAIR INTERIOR DOORS)
 LATCHSET 1 EA D10S RHODES 626 SCHLAGE
 HINGES 4 PR BB1279 4-1/2X 4-1/2 BLACK HAGER
 DOORSTOPS TO MATCH EXISTING BUILDING STANDARD ENTRY FLOOR MTD. DOORSTOPS
 MANUAL FLUSH BOLT 1 SET FB-6 625 GJ
 DUSTPROOF STRIKE 1 EA DP-2 625 GJ

SET #6 (PAIR LOCKING INTERIOR DOORS)
 LOCKSET 1 EA D03PD RHODES 625 SCHLAGE
 HINGES 4 PR BB1279 4-1/2X 4 BLACK HAGER
 DOORSTOPS TO MATCH EXISTING BUILDING STANDARD ENTRY FLOOR MTD. DOORSTOPS
 MANUAL FLUSH BOLT 1 SET FB-6 625 GJ
 DUSTPROOF STRIKE 1 EA DP-2 625 GJ

SET #7 (RATED DOOR WITH PANIC HARDWARE)
 PANIC 1 EA 99L-F-03 625 VD
 HINGES 2 PR BB1279 4-1/2X 4 BLACK HAGER
 DOORSTOPS TO MATCH EXISTING BUILDING STANDARD ENTRY FLOOR MTD. DOORSTOPS
 CLOSER 2 EA #6501(#2258396-2) #693-BLK NORTON

SET #8 (SINGLE 60 MIN. ENTRY DOOR)
 LOCKSET 1 EA L9453-03A 625 SCHLAGE
 HINGES 4 PR BB1279 4-1/2 X 4 BLACK HAGER
 CLOSER 2 EA #6501(#2258396-2) #693-BLK NORTON
 DOORSTOPS TO MATCH EXISTING BUILDING STANDARD ENTRY FLOOR MTD. DOORSTOPS
 CYLINDER GUARD W/ NON-REMOVABLE HINGE PINS
 *MIDDLE HINGE MOUNTED @ 60"-90"
 NOTE: SMOKE SEALS ARE INTEGRATED INTO DOOR FRAMES.

HARDWARE FINISHES TO MATCH EXISTING BUILDING STANDARD FOR SAME TYPE.



FINISH SCHEDULE

NUMBER	ROOM NAME	BASE	FLOOR	WALLS				CEILING		REMARKS
				NORTH	EAST	SOUTH	WEST	MATERIAL	HEIGHT	
100	PASSWAY	2	1	3	3	3	3	ACOUST TILE	9'-0"	NEW FINISHES (TO MATCH EXISTING), TO EDGE OF DEMO AS REQ.
101	OFFICE	2	1	3	3	3	3	ACOUST TILE	9'-0"	
102	OFFICE	2	1	3	3	3	3	ACOUST TILE	9'-0"	
103	OFFICE	2	1	3	3	3	3	ACOUST TILE	9'-0"	
104	OPEN OFFICE	2	1	3	3	3	3	ACOUST TILE	9'-0"	

- REPAIR CORRIDOR FINISHES TO MATCH EXISTING ON BOTH SIDES OF NEW 1 HOUR RATED CORRIDOR WALL.
- LOCATIONS OF ACCENT PAINTS #4 & #5 TO BE DETERMINED

FINISH SPECS

- FINISHES FOR EXPANSION AREA:
(MATCH EXISTING FINISHES IN SUITE 100, U.O.N.)
- CARPET:** (ALL OFFICES & OPEN OFFICES)
PATOCRAFT & DESIGNWEAVE: "MONTARA'S BEST" (Z6366), DIRECT GLUE DOWN INSTALLATION, COLOR: 00939, MAGIC
 - RUBBER BASE:** (THROUGHOUT)
BURKE 4" ROLLED & COVERED
COLOR: 701, BLACK
 - FLOOR PAINT:** (THROUGHOUT SUITE, U.O.N.)
DUNN EDWARDS, "EGG SHELL FINISH"
2 COATS TO FINISH, OVER 1 COAT OF PRIME
COLOR: DE6136, TERRACOTTA SAND
 - ACCENT PAINT #1:** (OPEN & PRIVATE OFFICES-TENANT TO SELECT LOCATION)
FRAZEE, COLORLIFE "EGG SHELL FINISH", 2 COATS TO FINISH, OVER 1 COAT OF PRIME
COLOR: CL 2496A, SHRINE
 - ACCENT PAINT #2:** (OPEN & PRIVATE OFFICES-TENANT TO SELECT LOCATION)
DUNN EDWARDS, "EGG SHELL FINISH"
2 COATS TO FINISH, OVER 1 COAT OF PRIME
COLOR: DE5880, CLEAN SLATE

- G.C. TO PROVIDE TRANSITION STRIPS AS NEEDED BETWEEN CARPET AND VCT, IF APPLICABLE.

FINISH NOTES

- SUBCONTRACTORS TO PROVIDE SPECIFICATIONS ON ALL EXISTING FINISHES TO GENERAL CONTRACTOR IN WRITING.
- ALL FINISHES SHALL COMPLY WITH CHAPTER 8, TABLE 8-A OF THE 2010 CBC. ALL FINISHES SHALL HAVE A MINIMUM CLASS III RATING WITH A FLAME SPREAD OF 75 TO 200 MAXIMUM.
- IF CARPET OR CARPET TILE IS USED ON A GROUND OR FLOOR SURFACE, THEN IT SHALL BE SECURELY ATTACHED; HAVE A FIRM CUSHION, PAD, OR BACKING, OR NO CUSHION OR PAD; AND HAVE A LEVEL LOOP, TEXTURED LOOP, LEVEL-OUT PILE, OR LEVEL-OUT/UNCURD PILE TEXTURE. THE MAXIMUM PILE HEIGHT SHALL BE 1/2 INCH. EXPOSED EDGES OF CARPET SHALL BE FASTENED TO FLOOR SURFACES, AND HAVE TRIM ALONG ENTIRE LENGTH OF THE EXPOSED EDGE. CARPET EDGE TRIM SHALL COMPLY WITH THE REQUIREMENTS FOR CHANGES IN LEVEL, CBC SECTION 1124B.3.
- ALL FINISHES MUST MEET LEED SPECIFICATIONS, U.O.N. SEE A-1 & FINISHES ABOVE.

MILLWORK NOTES

- MILLWORK CONSTRUCTION:
 LAMINATE: CABINET FACE-SEE FINISH SPECS ABOVE
 LAMINATE: COUNTER TOP-SEE FINISH SPECS ABOVE
- ALL DOORS AND DRAWER FRONTS AND ALL EXPOSED EDGES TO BE LAMINATE CLAD 3/4" HIGH DENSITY PARTICULATE CORE. INTERIOR AND SHELVES OF ALL CABINETS TO BE WHITE MELAMINE. WOOD BLOCKING IN WALL TO BE PROVIDED BY THE GENERAL CONTRACTOR.
- FOR XEROX BUILDING:
 CORE MATERIAL IS MANDATED BY THE STATE OF CALIFORNIA TO BE CARB COMPLIANT, UTILIZING AN NAUF (NO ADDED UREA FORMALDEHYDE) MATERIAL.
- MILLWORK HARDWARE:
 HINGES: BLUM 125 DEGREE, SELF CLOSING
 PULLS: 'AMEROCK' PULL, #BP76312-26D
 STANDARDS: KV255, BRIGHT NICKLE
 FAUCET: SEE SPECS ON A-1& A-3
- SHOP DRAWINGS MUST BE SUBMITTED TO SPACES PRIOR TO FABRICATION.
- PROVIDE GROMMET HOLES ABOVE ALL ELECTRICAL/TELE. OUTLETS AT ALL COUNTERTOPS AS REQUIRED.

PROJECT



TENANT
 ADELSON, TESTAN, BRUNDO & JIMENEZ
 SUITE 100 (EXPANSION)

AGREED:
 ACCEPTED THIS ___ DAY OF ___, 2012
 TENANT:
 BY:
 TITLE:
 COMMENT:

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

NO.	DESCRIPTION	DATE
△	SUBMIT TO PLAN CHECK	01.31.12
△	RELEASED FOR ENGINEERING	01.26.12
△	RELEASED FOR PRICING	12. .10

NO.	REVISIONS	DATE

DRAWN RP/MS
 DATE 12.01.10
 CHECKED RP
 PRINT DATE 01.30.12

INTERIOR PLANNING & DESIGN
SPACES
 P & D INC.
 17780 FITCH, SUITE 150 / IRVINE, CA 92614
 949.724.1499 / www.spaces-oc.com

SQUARE FOOTAGE
 USABLE: 628 SF

FIRST FLOOR
 FINISH & DOOR SCHEDULE
 Sheet Title
 Project Number 2068.642
 Sheet Number A-4
 JAN 31 2012

ICC APPROVAL:
THE CEILING SYSTEM SHALL HAVE A VALID ICC EVALUATION REPORT.

RUNNERS AND CROSS RUNNERS:
MAIN RUNNERS AND CROSS RUNNERS SHALL BE ATTACHED TO WALL ANGLES AT TWO (2) ADJACENT WALLS ONLY, AT THE OTHER TWO WALLS NO DIRECT ATTACHMENT IS PERMITTED.

COMPRESSION STRUT SIZES
METAL STUD SIZES

SIZE	ALLOWABLE LENGTH (L)	SIZE	ALLOWABLE LENGTH (L)
3/8" 25 GA MTL STUD	0'-0" TO 5'-0"	1/2" DIA. EMT	0'-0" TO 3'-0"
6" 18 GA MTL STUD	5'-0" TO 8'-0"	3/4" DIA. EMT	2'-6" TO 4'-6"
2 : 3/8" 18 GA MTL STUD CONNECT W/ TO FLANGE WITH SCREWS AT 24" O.C.	8'-0" TO 15'-0"	1 1/4" DIA. EMT	4'-6" TO 6'-6"
		1 1/2" DIA. EMT	7'-0" TO 9'-0"

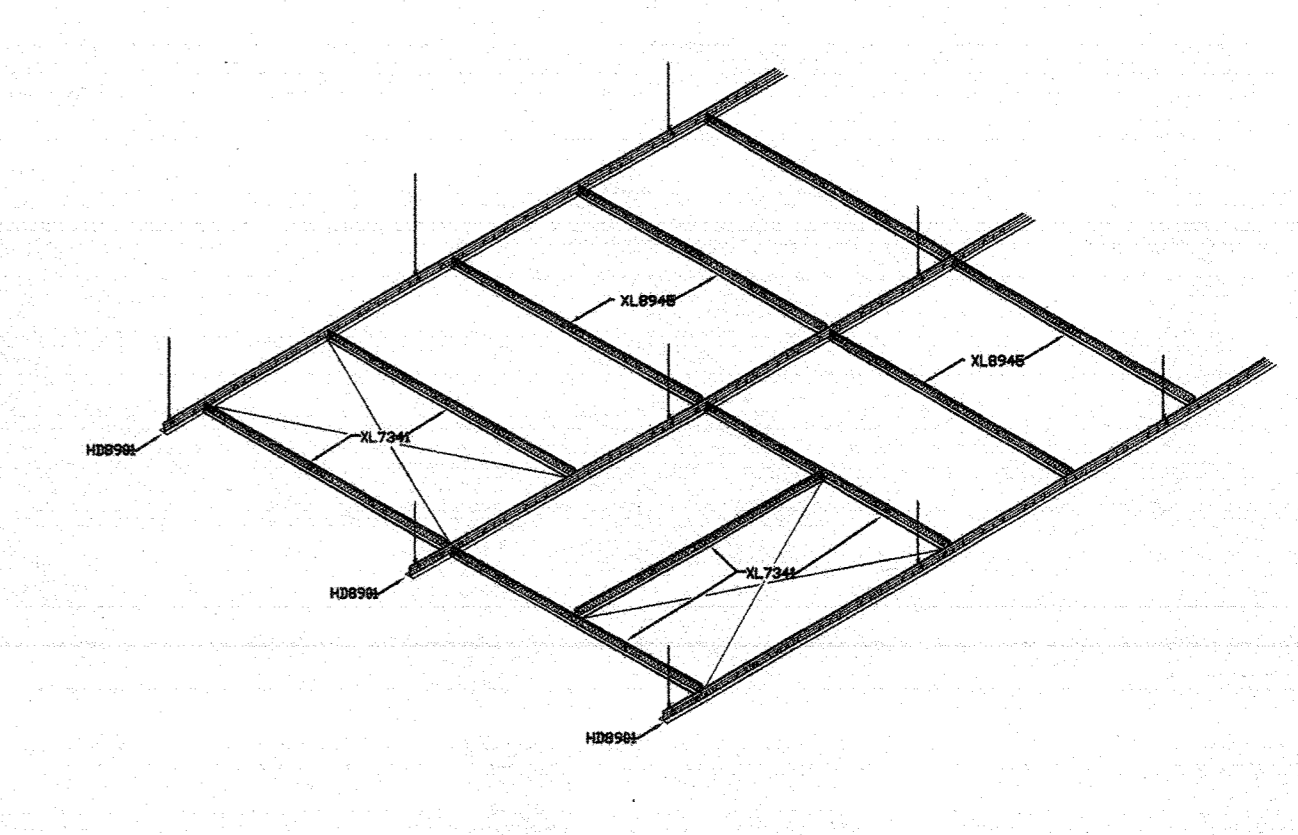
STRUTS OTHER THAN THE ONES LISTED MAY BE USED WITH AN EVALUATION REPORT BY ICC OR OTHER SUPPORTING INFORMATION (I.E. CALCULATIONS, TESTING, ETC.)

NO. DESCRIPTION DATE

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2	REVISIONS	
3	REVISIONS	
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11	REVISIONS	
12	REVISIONS	

NO. DESCRIPTION DATE

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12	REVISIONS	



MAIN SUPPORTS:
12 GA. HANGER WIRES @ 4'-0" O.C. EACH WAY. WIRES SHALL HAVE 3 TURNS WITHIN 3" AND SHALL NOT BE MORE THAN 1 IN 6 OUT OF PLUMB UNLESS A COUNTER SLOPED WIRE IS PROVIDED. WIRES SHALL NOT ATTACH TO OR BE AROUND INTERFERING MATERIAL OR EQUIPMENT.

PERIMETER WIRES:
12 GAUGE WIRES INSTALLED WITHIN 8" OF WALL AT EACH MAIN AND CROSS TIE TO THE WALL JUNCTURE.

SEISMIC SPLAY WIRES:
12 GAUGE WIRES SPLAYED IN FOUR DIRECTIONS, 90 DEGREES APART, PARALLEL TO CROSS AND MAIN RUNNERS, WITHIN 2" OF THE INTERSECTION OF THE CROSS AND MAIN RUNNER, 45 DEGREES FROM HORIZONTAL, 12" O.C., BEGINNING 6" FROM THE CORNER OF THE CEILING. WIRES SHALL HAVE 3 TURNS WITHIN 3".

COMPRESSION STRUT:
COMPRESSION STRUT SHALL BE INSTALLED AT CENTER OF SEISMIC SPLAY WIRES. THE STRUT SHALL BE SIZED BASED ON THEIR LENGTH (L) AND THE COMPRESSION STRUT TABLE. ATTACH TO MAIN RUNNERS WITH 1/2" MACHINE BOLT AND TO THE STRUCTURE WITH 3/4" DIAMETER SCREW.

LIGHT FIXTURE SUPPORT:
12 GAUGE WIRES ATTACHED TO MAIN OR CROSS TEES WITHIN 3" OF FIXTURE AT EACH CORNER. 12 GAUGE SAFETY WIRES ATTACHED TO FIXTURE (OPPOSITE CORNERS) EXTENDING TO STRUCTURE ABOVE. INSTALL ONE SCREW AT OPPOSITE CORNERS OF FIXTURE TO MAIN OR CROSS TEES. THE LIGHT FIXTURE SHALL NOT EXCEED 56 LBS IN WEIGHT.

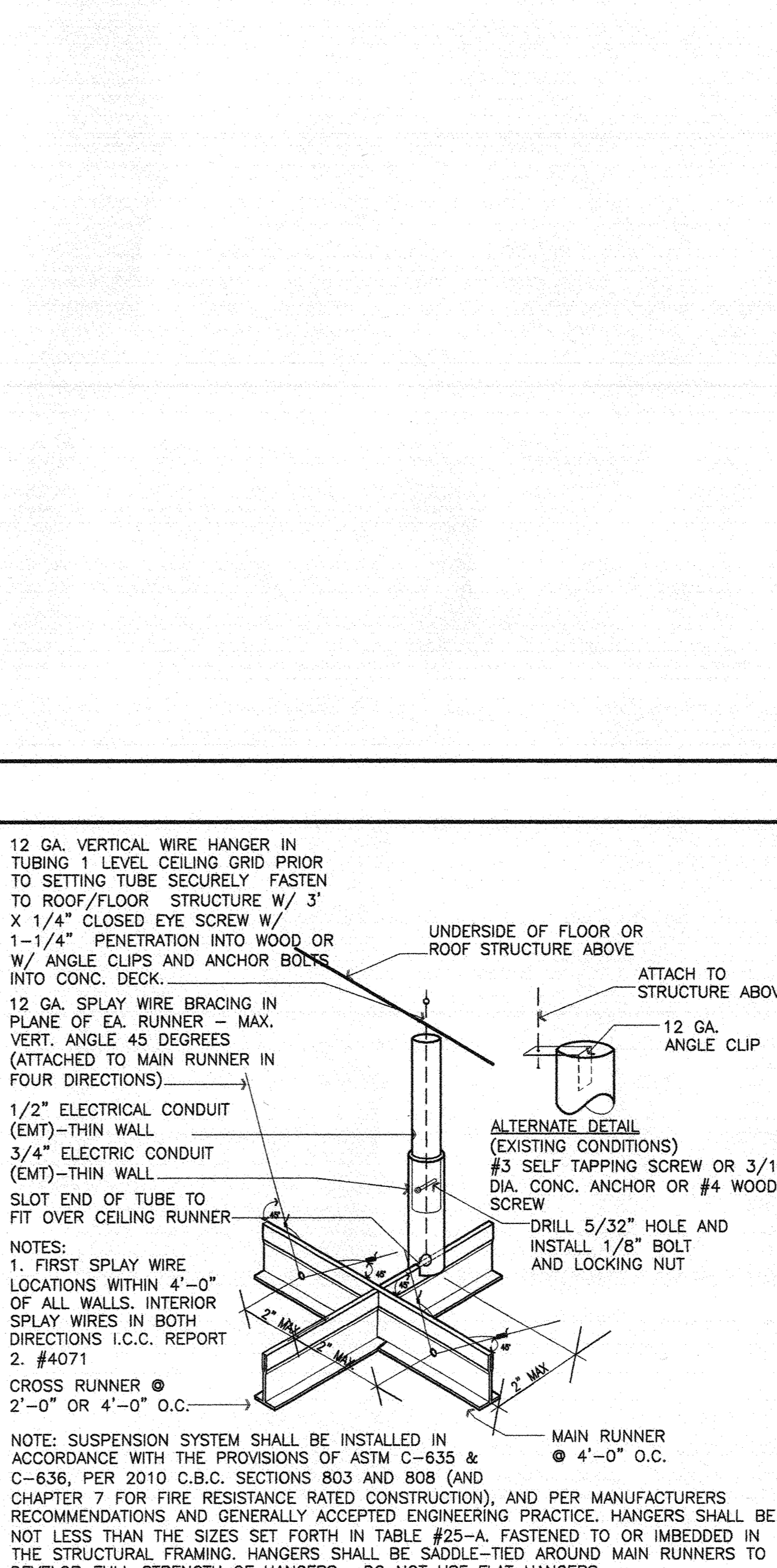
ICC APPROVAL:
THE CEILING SYSTEM SHALL HAVE A VALID ICC EVALUATION REPORT.

RUNNERS AND CROSS RUNNERS:
MAIN RUNNERS AND CROSS RUNNERS SHALL BE ATTACHED TO WALL ANGLES AT TWO (2) ADJACENT WALLS ONLY, AT THE OTHER TWO WALLS NO DIRECT ATTACHMENT IS PERMITTED.

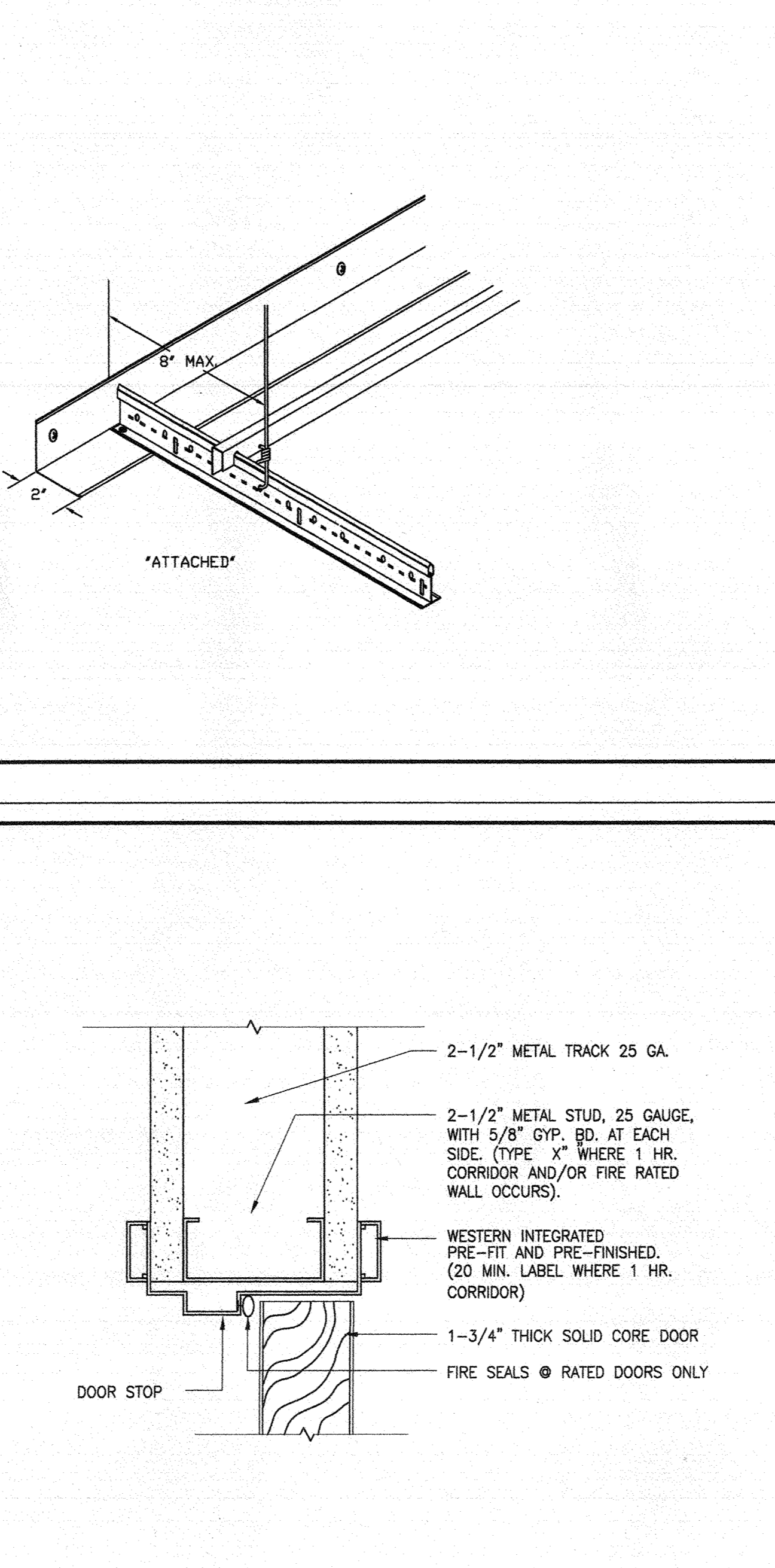
**COMPRESSION STRUT SIZES
METAL STUD SIZES**

SIZE	ALLOWABLE LENGTH (L)	SIZE	ALLOWABLE LENGTH (L)
3/8" 25 GA MTL STUD	0'-0" TO 5'-0"	1/2" DIA. EMT	0'-0" TO 3'-0"
6" 18 GA MTL STUD	5'-0" TO 8'-0"	3/4" DIA. EMT	2'-6" TO 4'-6"
2 : 3/8" 18 GA MTL STUD CONNECT W/ TO FLANGE WITH SCREWS AT 24" O.C.	8'-0" TO 15'-0"	1 1/4" DIA. EMT	4'-6" TO 6'-6"
		1 1/2" DIA. EMT	7'-0" TO 9'-0"

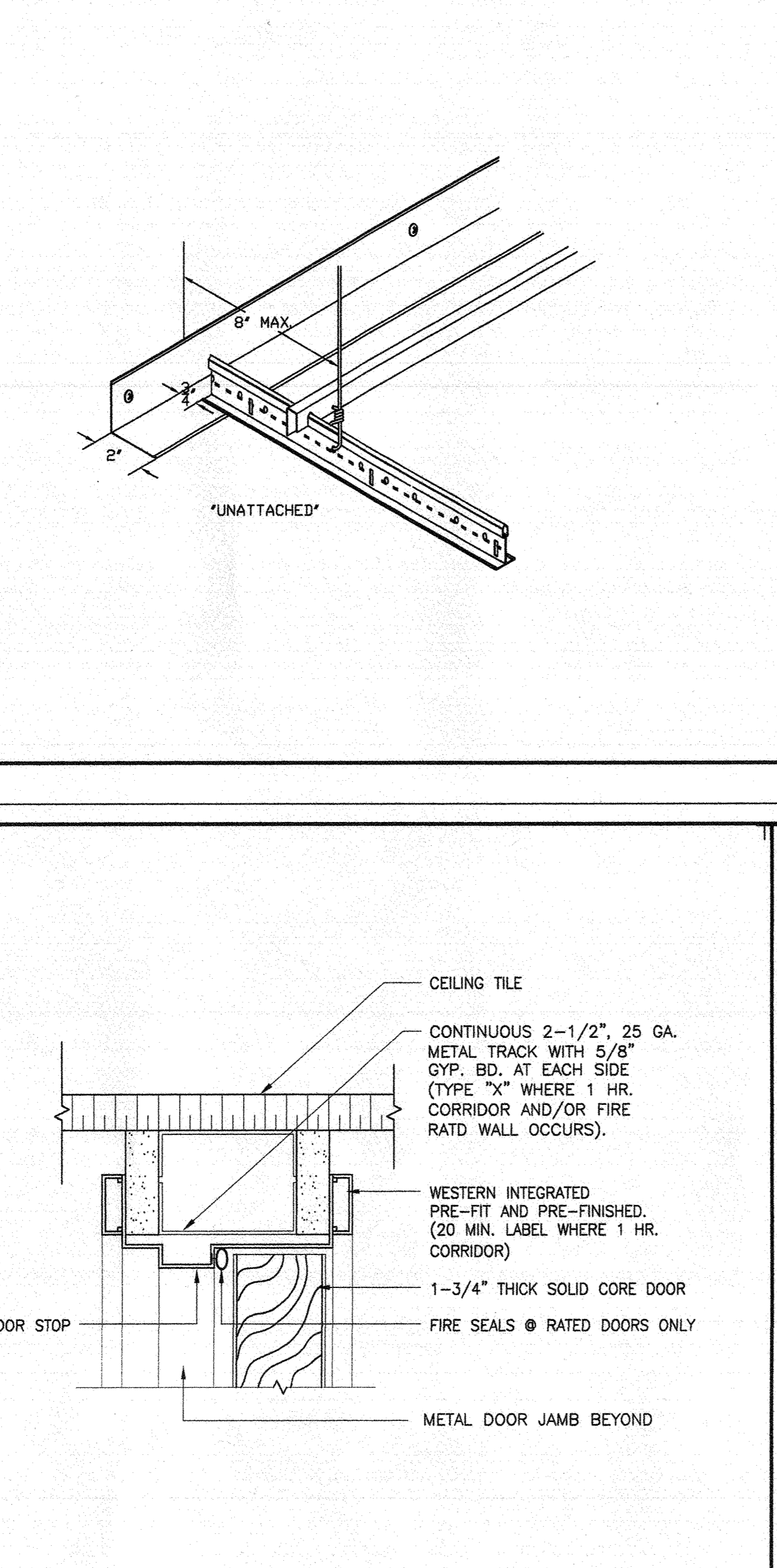
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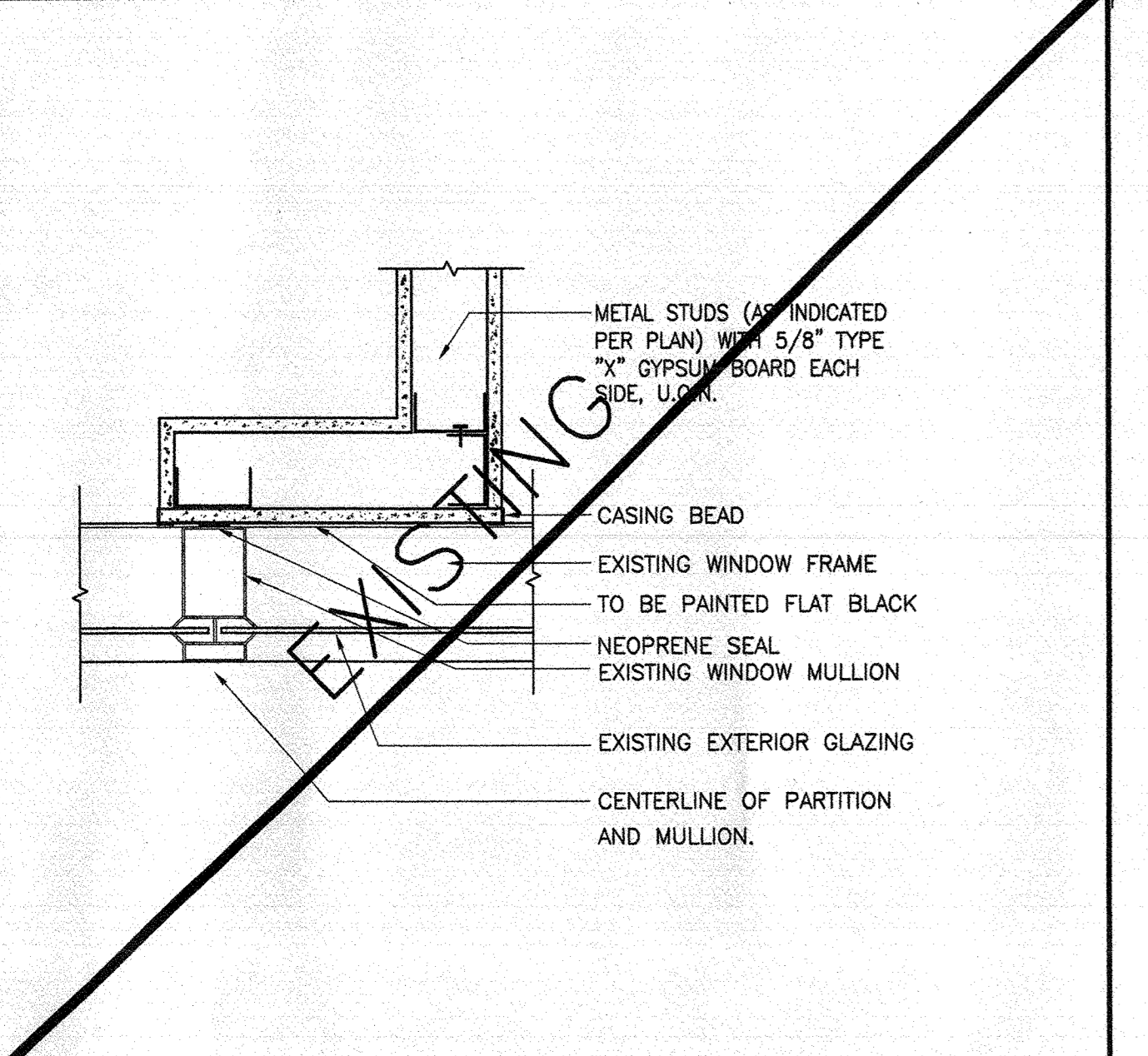
12 COMPRESSION STRUT DETAIL
SCALE: N.T.S.



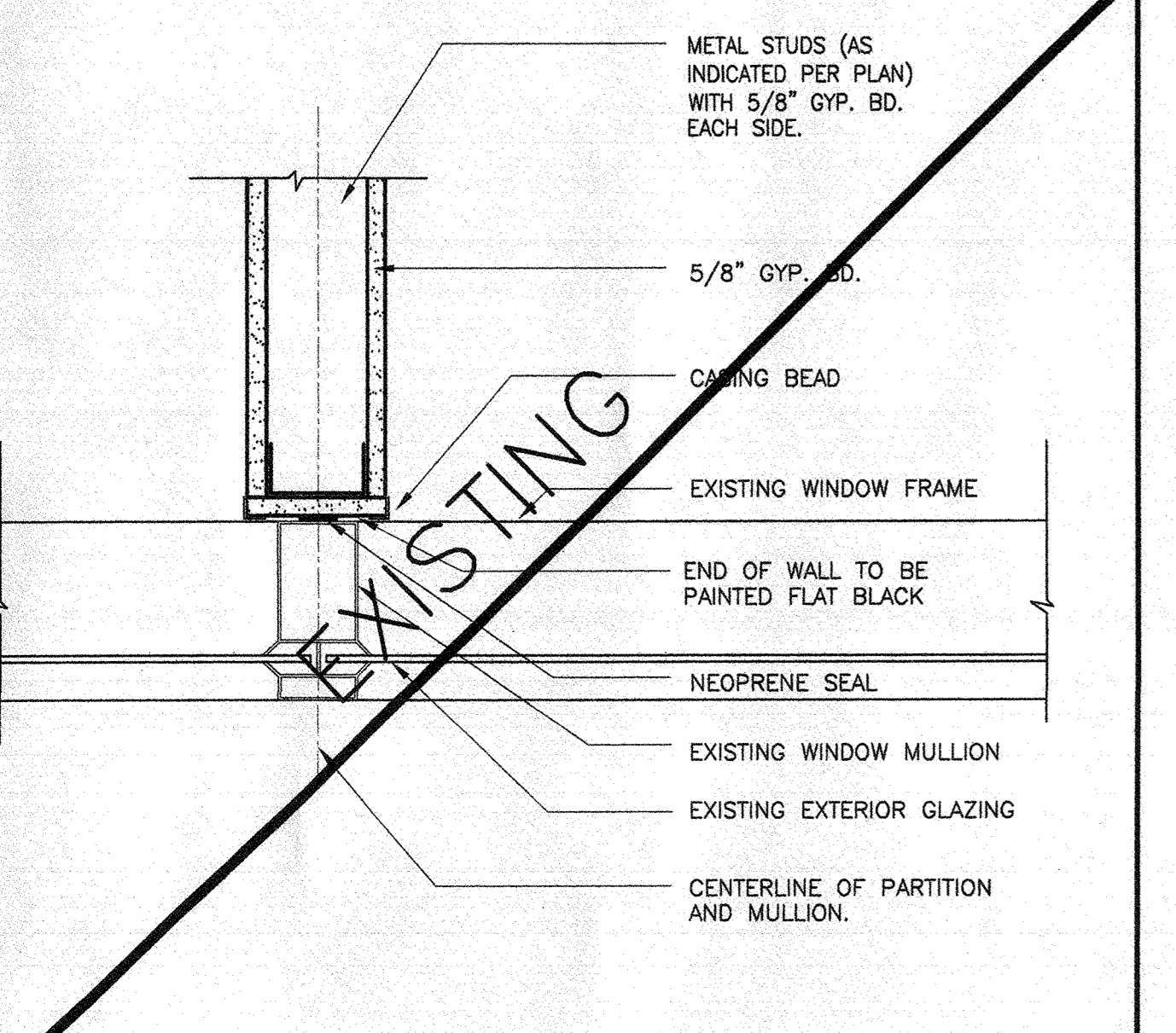
13 DOOR JAMB DETAIL
SCALE: 6" = 1'-0"



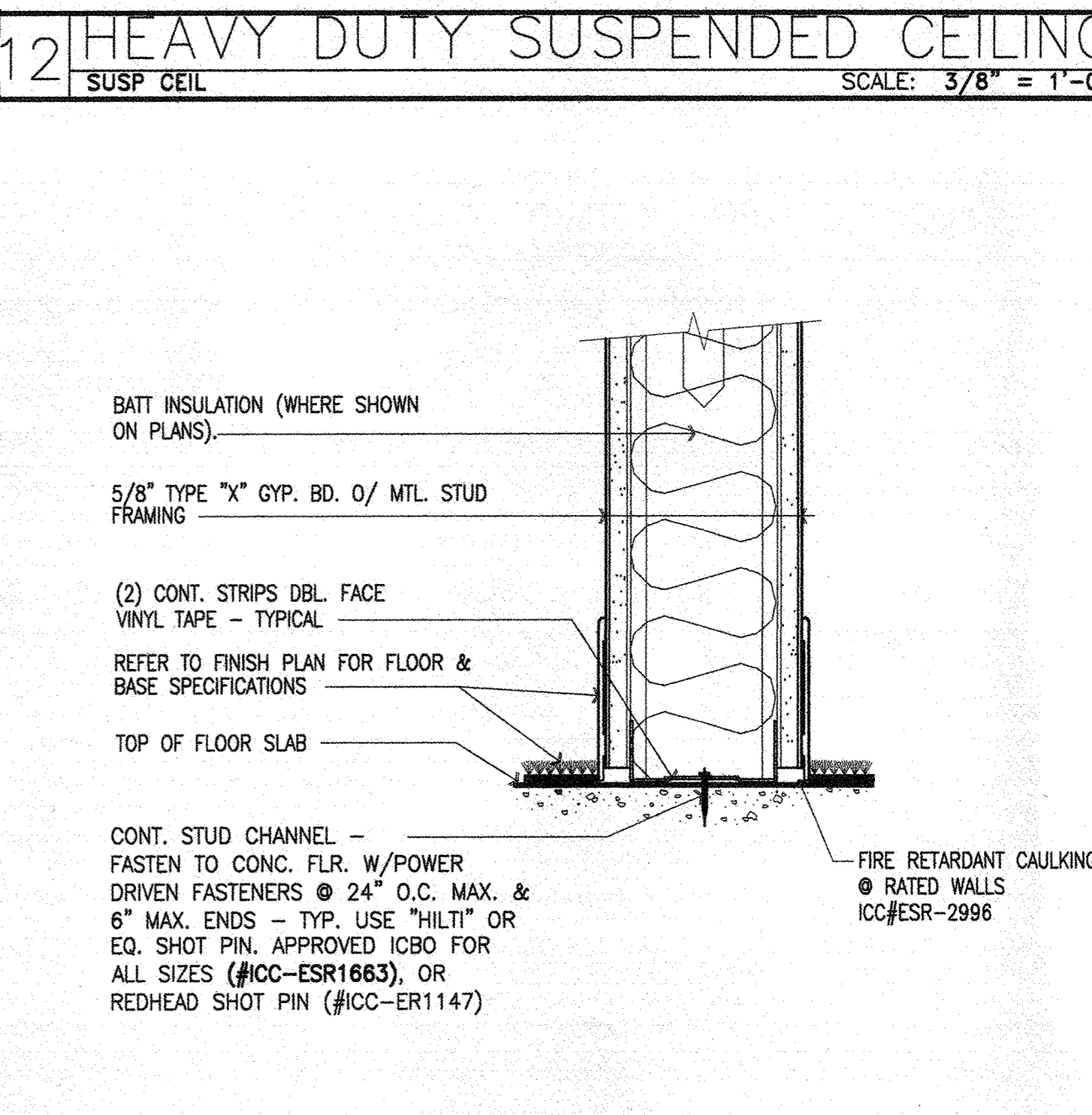
14 INTERIOR DOOR HEAD DETAIL
SCALE: 6" = 1'-0"



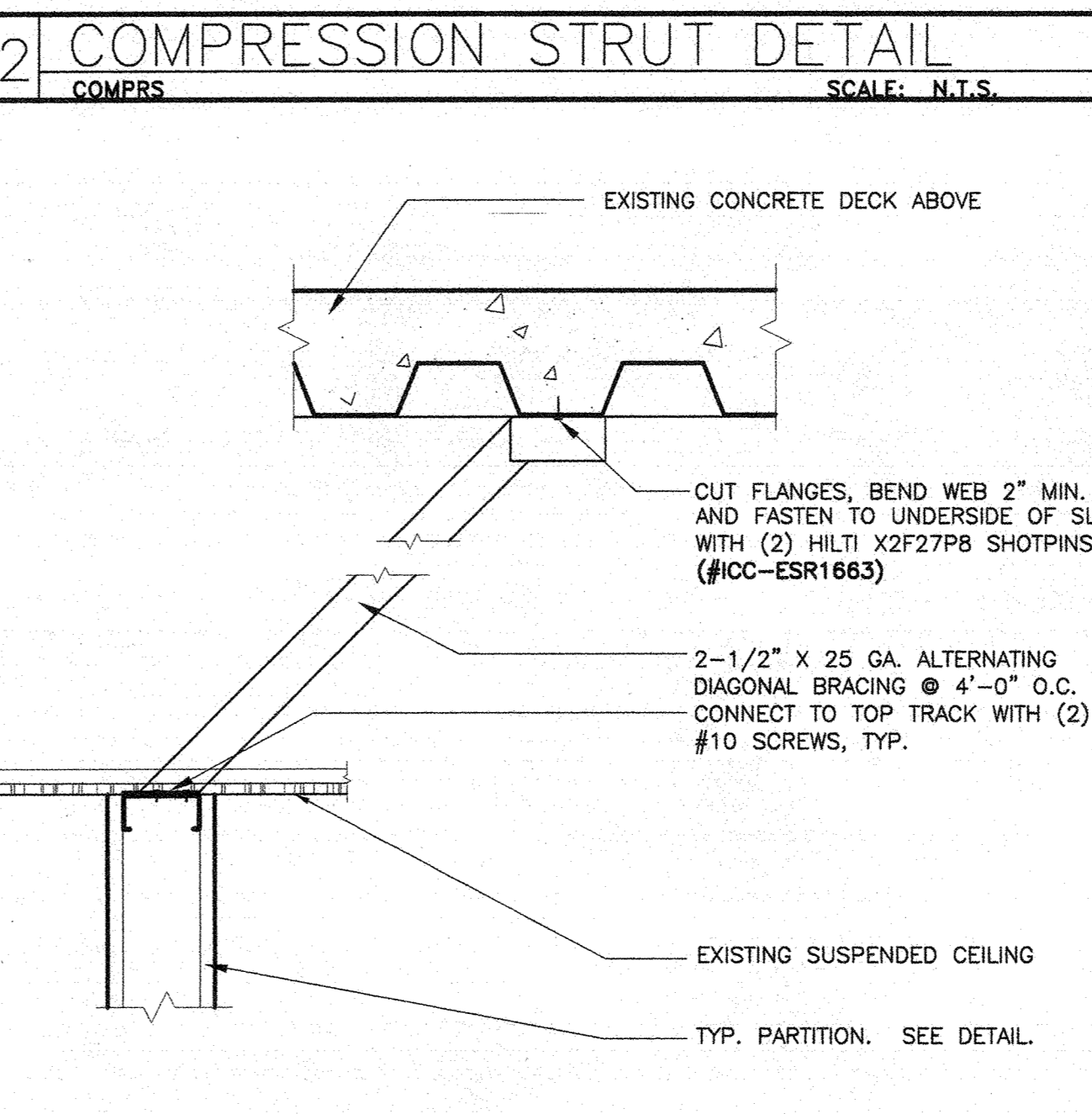
20 STD. PARTITION @ MULLION DGLG.
SCALE: 1-1/2" = 1'-0"



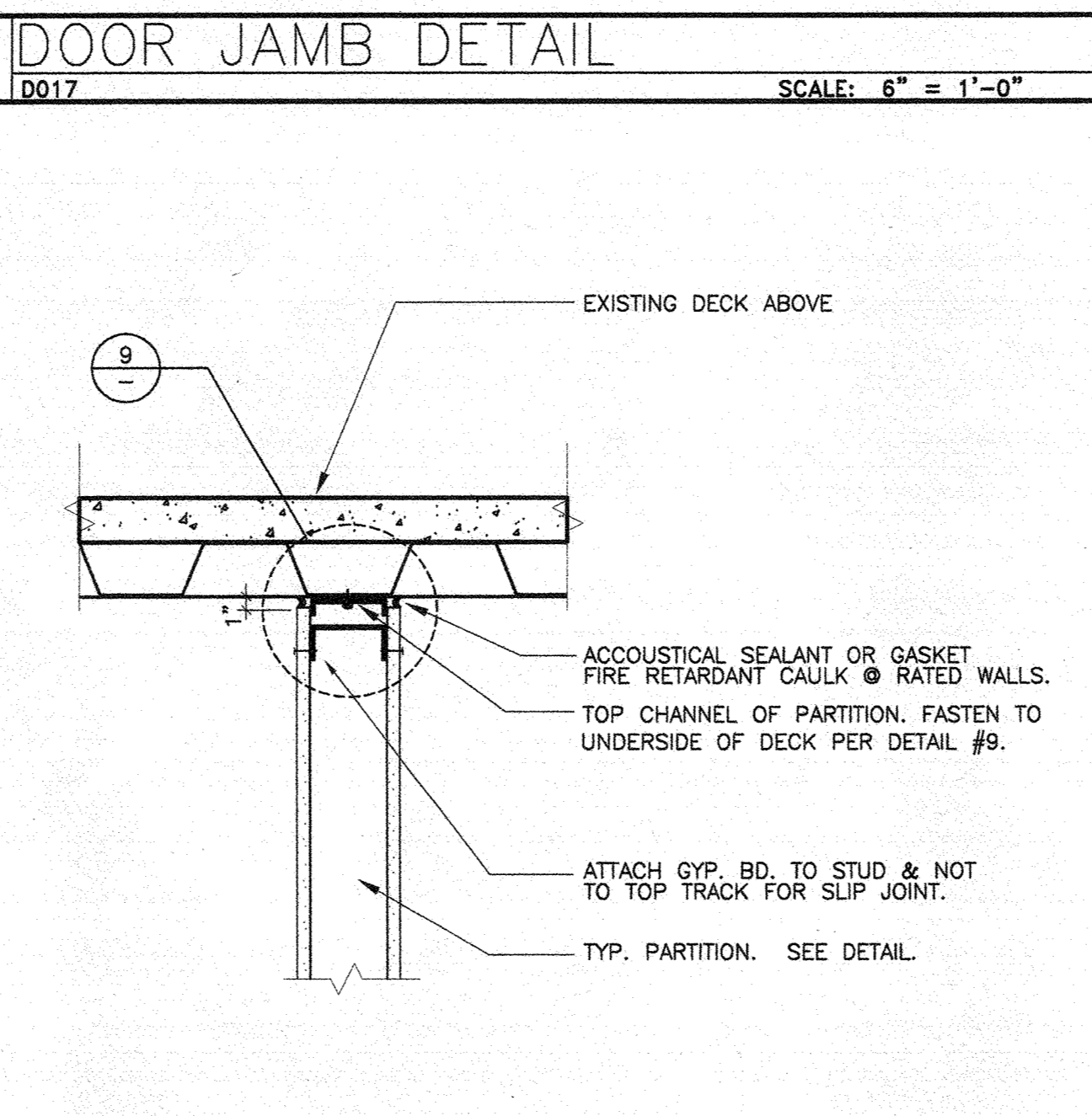
15 STD. PARTITION @ MULLION
SCALE: 3" = 1'-0"



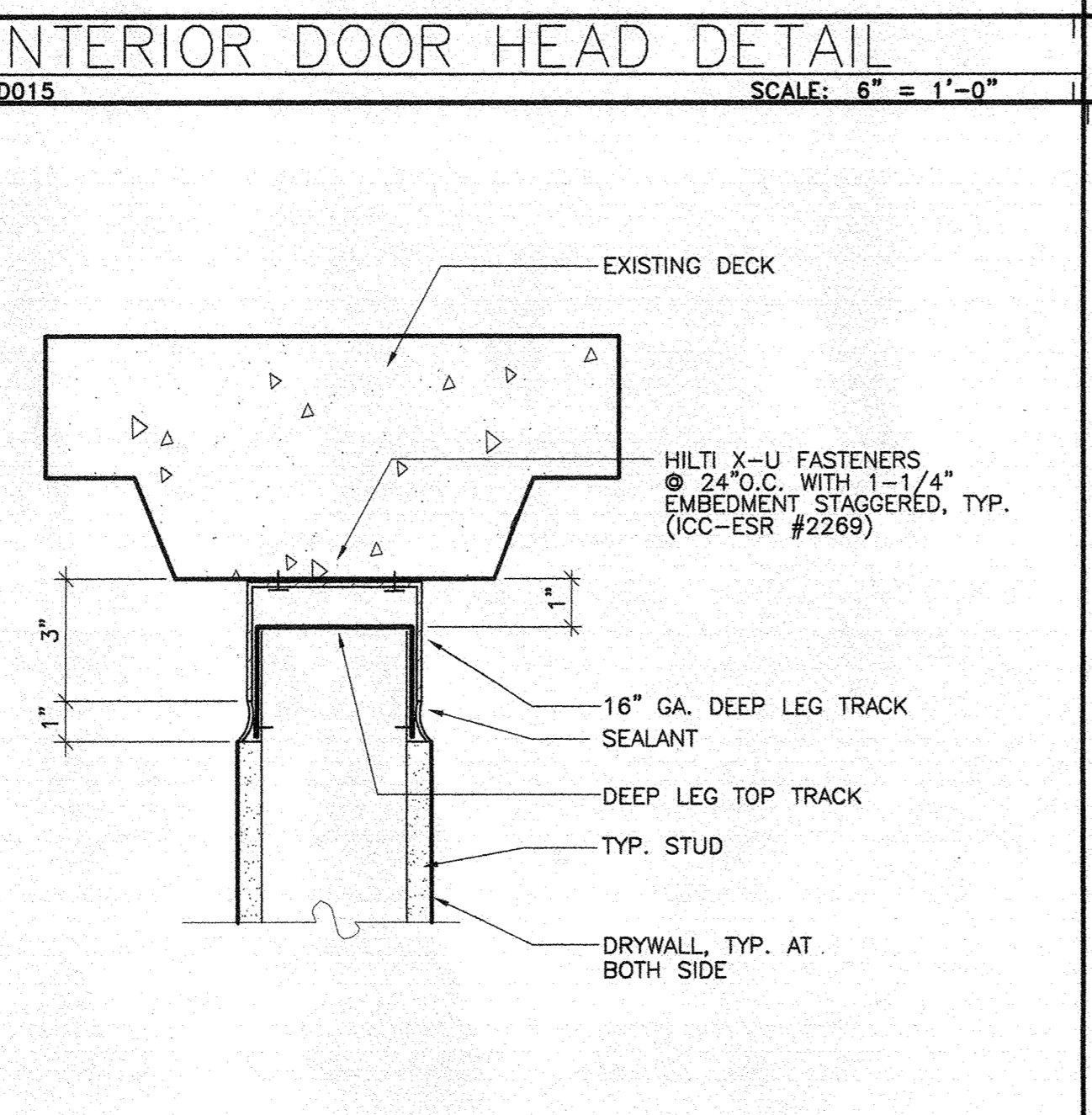
12 HEAVY DUTY SUSPENDED CEILING
SCALE: 3/8" = 1'-0"



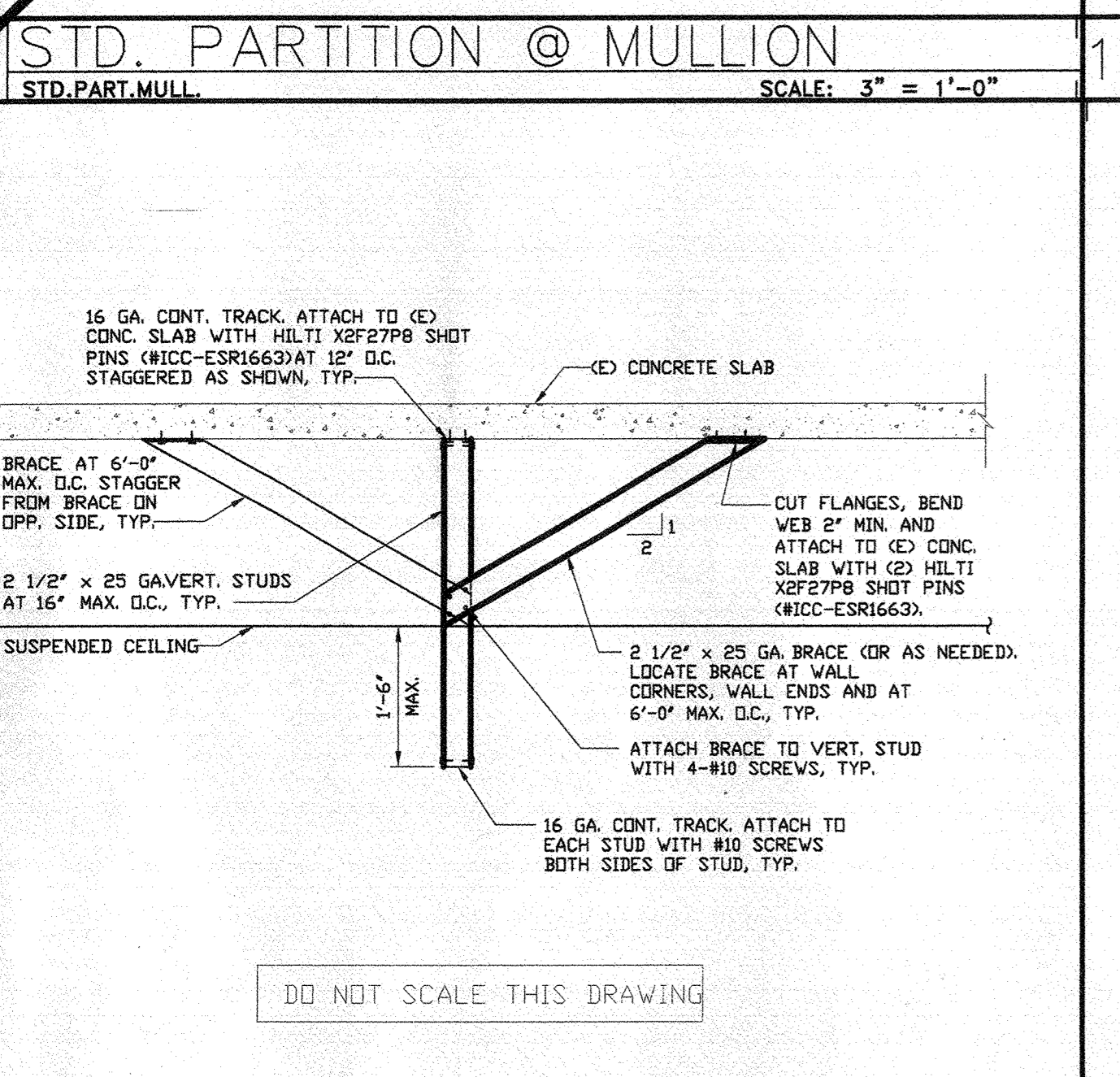
8 PARTITION TO DECK DETAIL
SCALE: 1-1/2" = 1'-0"



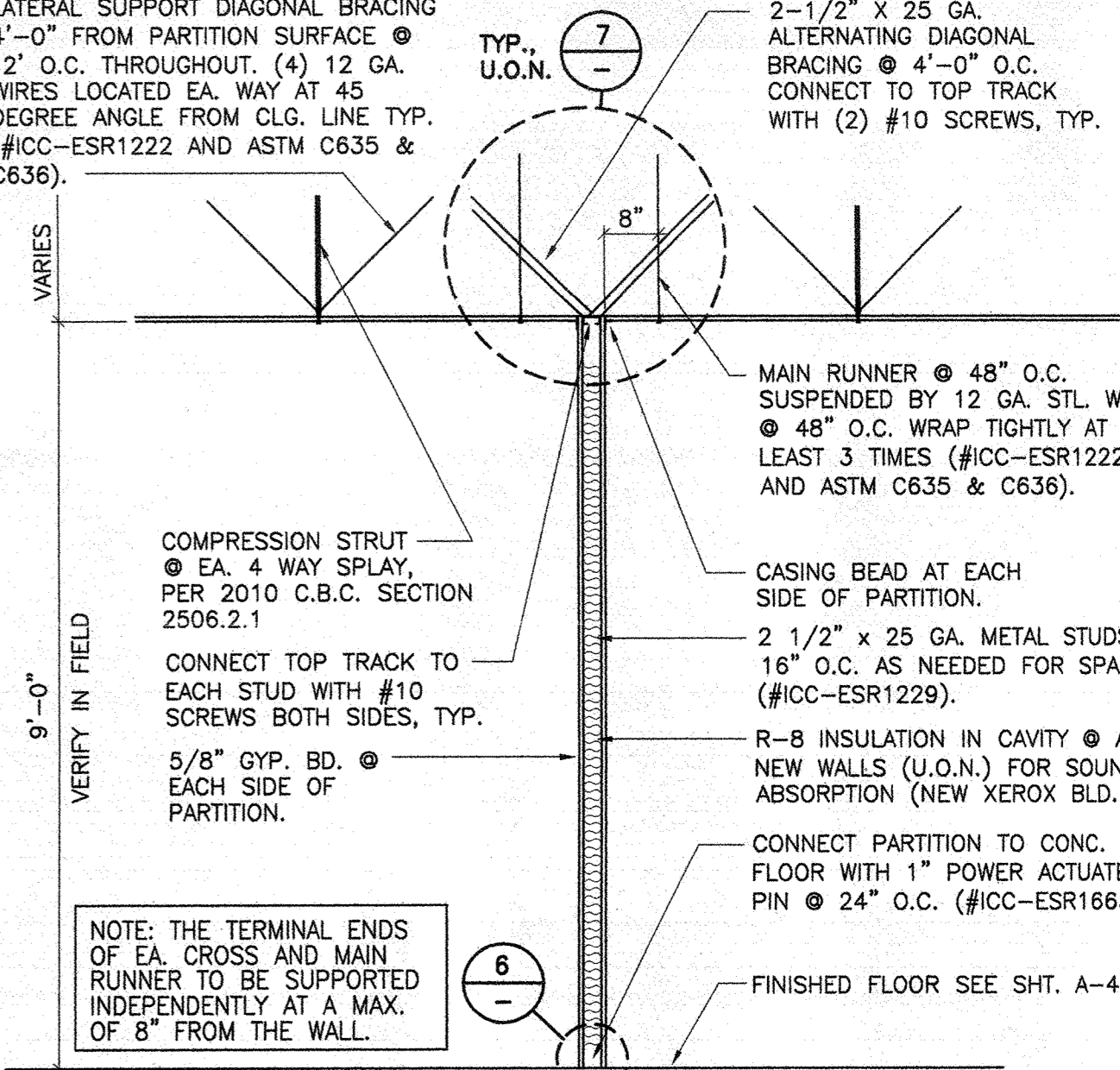
7 PARTITION BRACE DETAIL
SCALE: 1-1/2" = 1'-0"



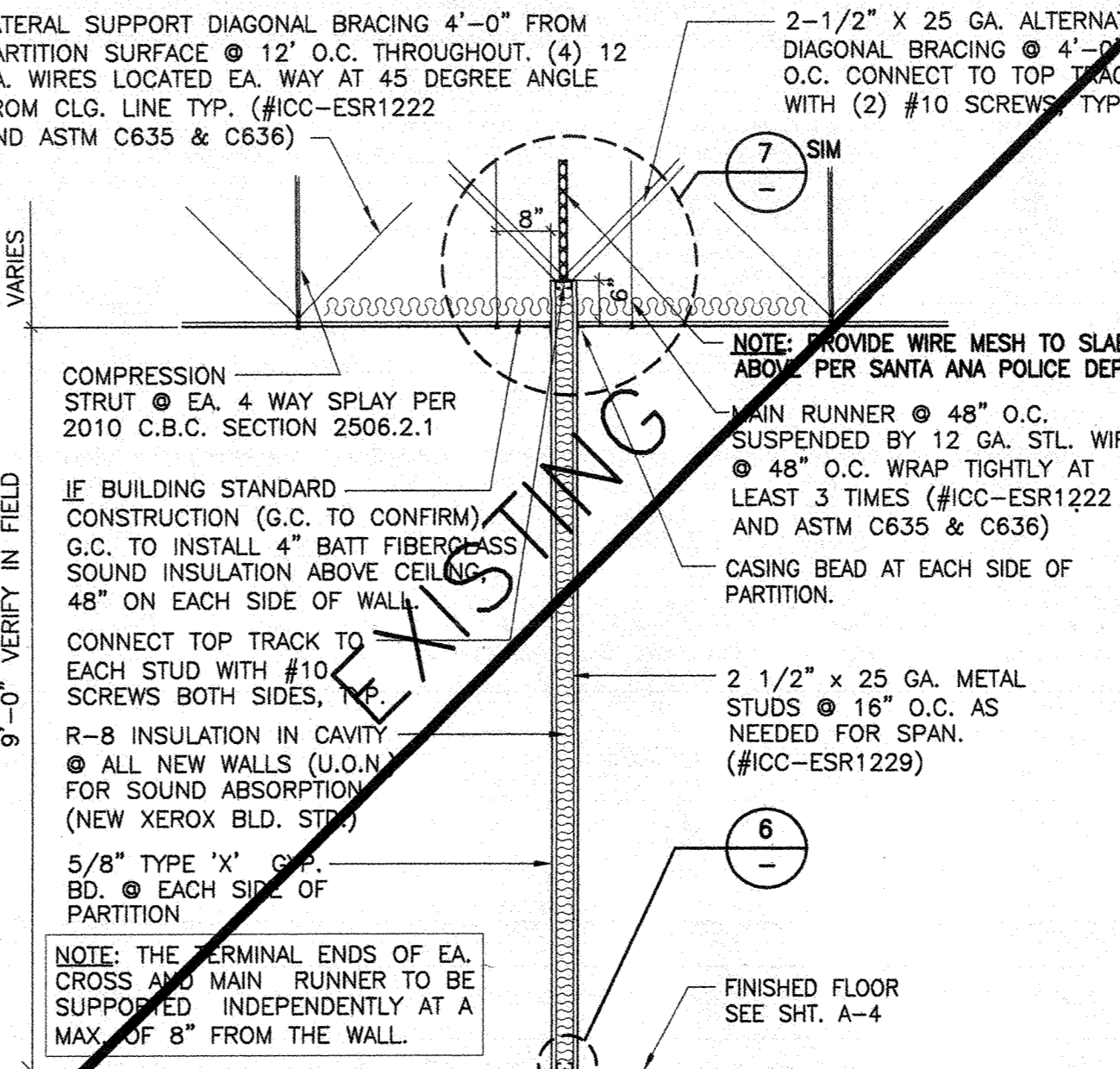
9 SLIP TRACK DETAIL
SCALE: 3" = 1'-0"



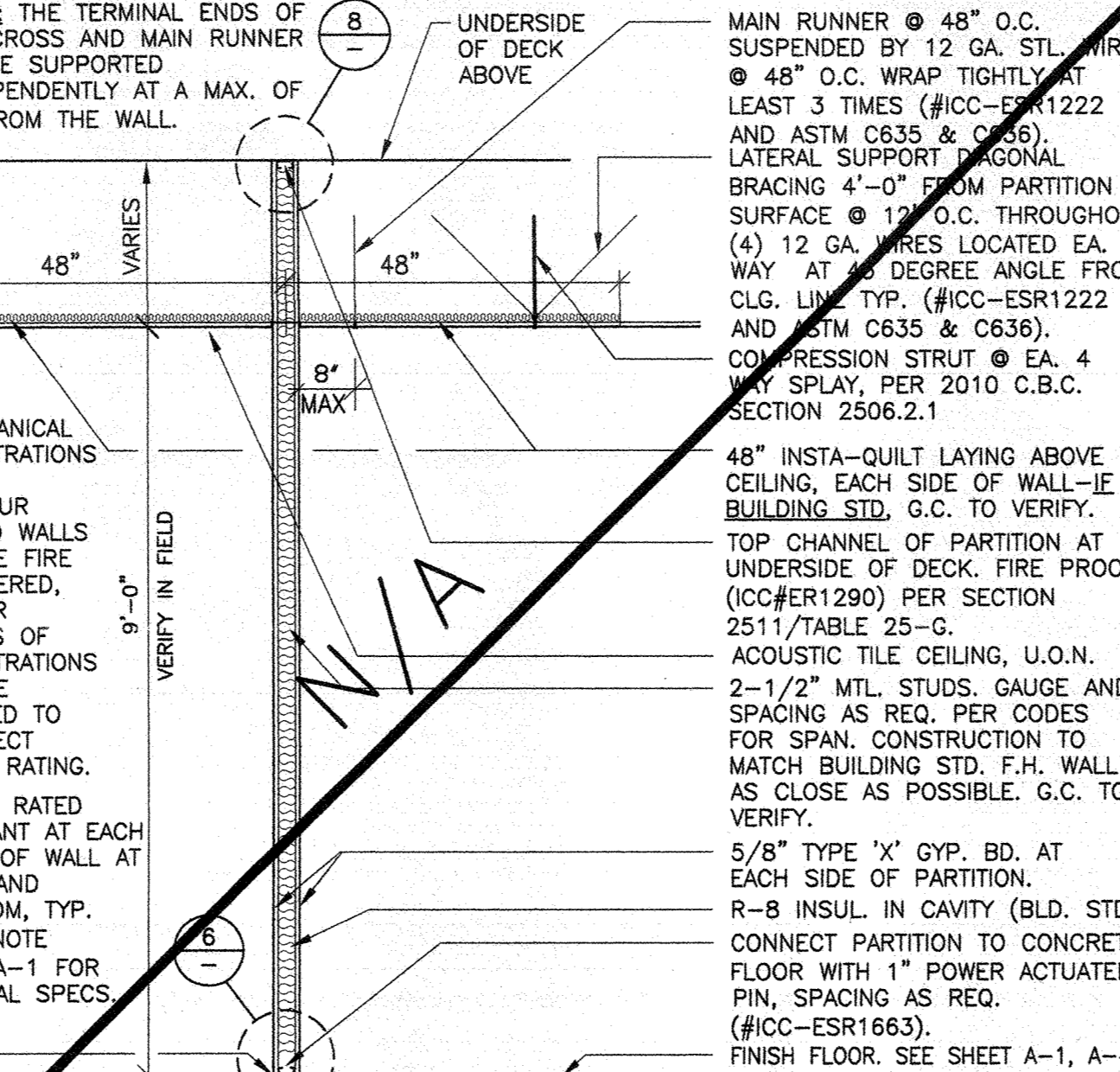
10 WALL BRACING @ GLAZING
SCALE: 3/4" = 1'-0"



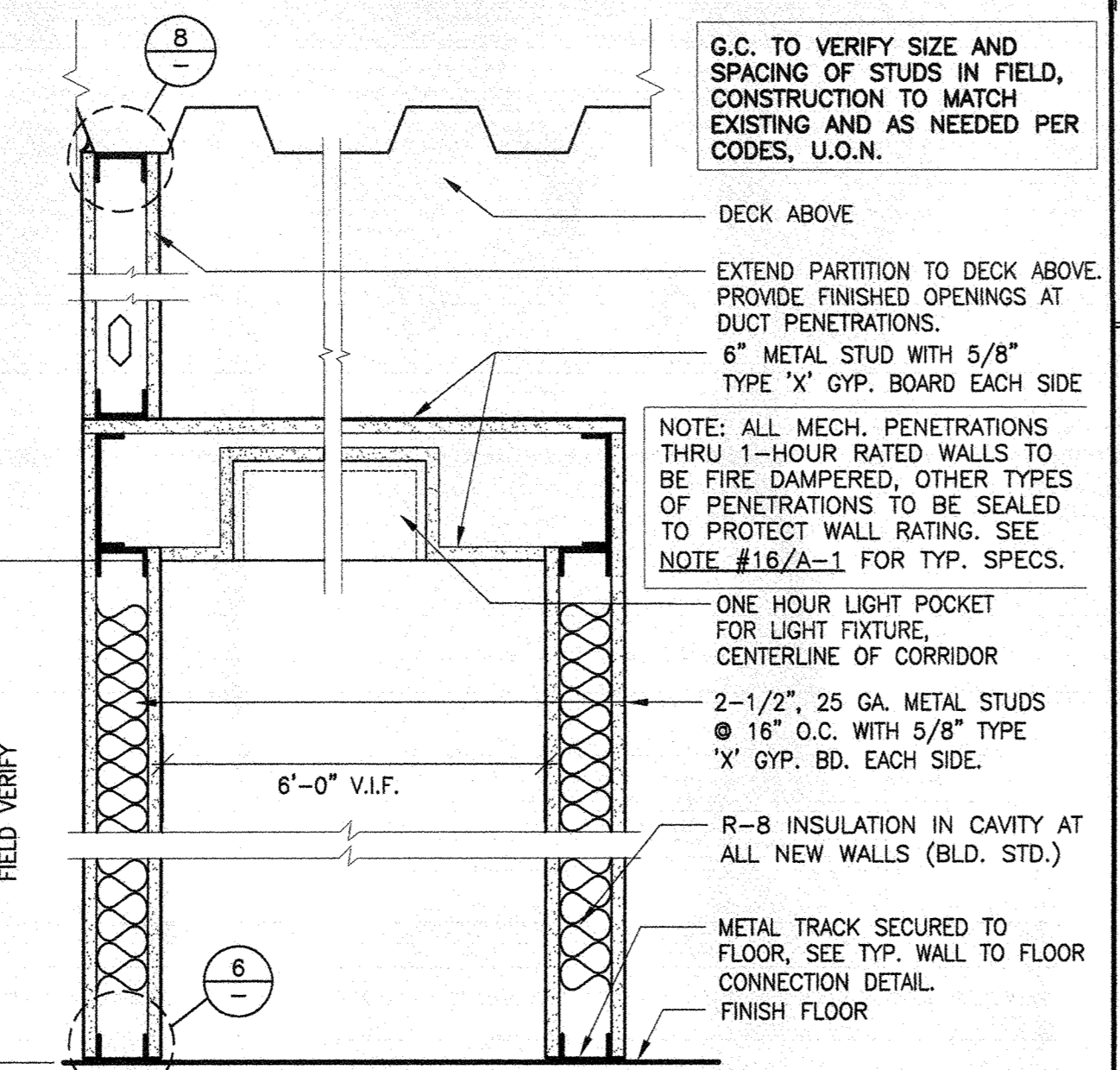
6 PARTITION TO SLAB CONNECTION
SCALE: 1" = 1'-0"



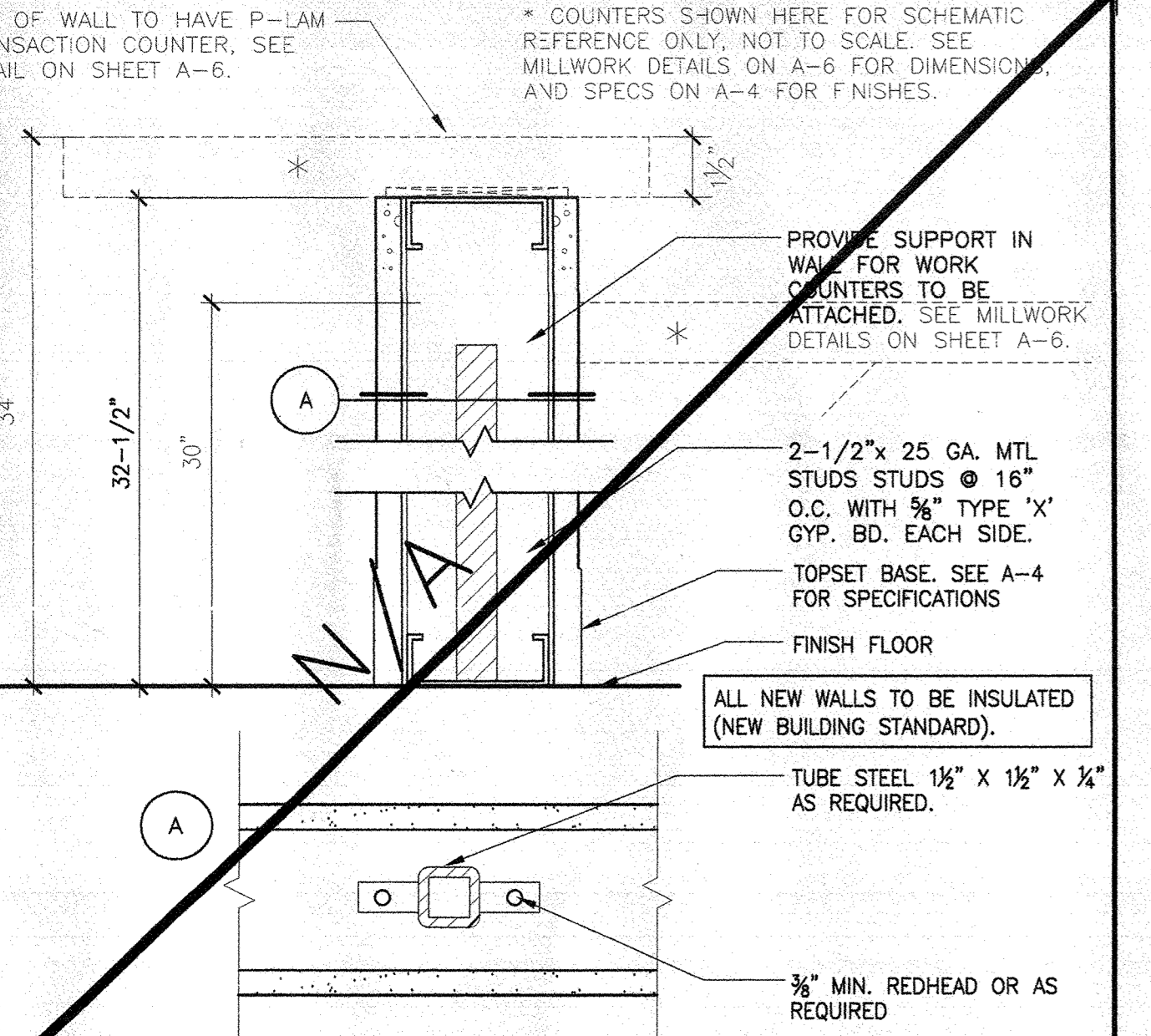
8 PARTITION TO DECK DETAIL
SCALE: 1-1/2" = 1'-0"



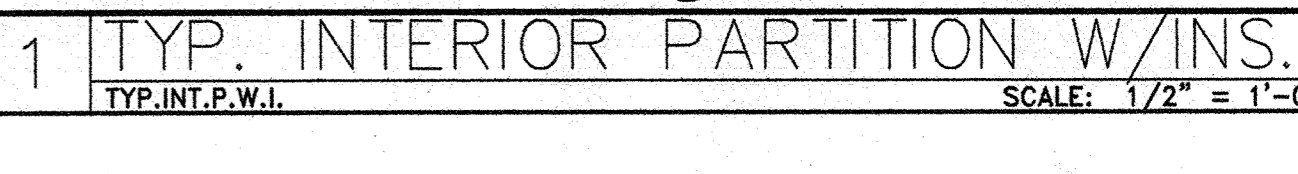
7 PARTITION BRACE DETAIL
SCALE: 1-1/2" = 1'-0"



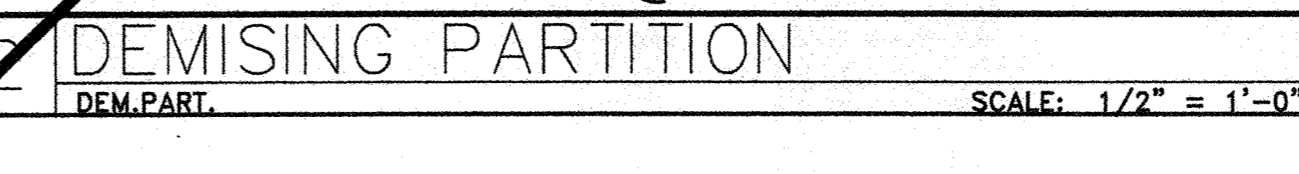
9 SLIP TRACK DETAIL
SCALE: 3" = 1'-0"



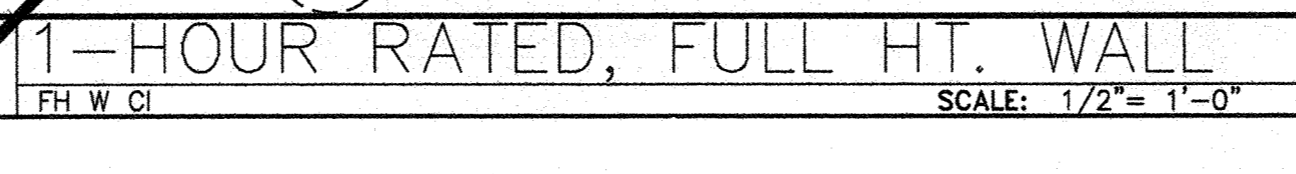
10 WALL BRACING @ GLAZING
SCALE: 3/4" = 1'-0"



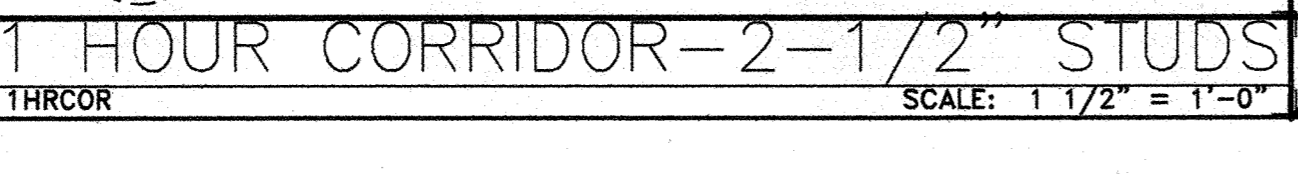
1 TYP. INTERIOR PARTITION W/INS.
SCALE: 1/2" = 1'-0"



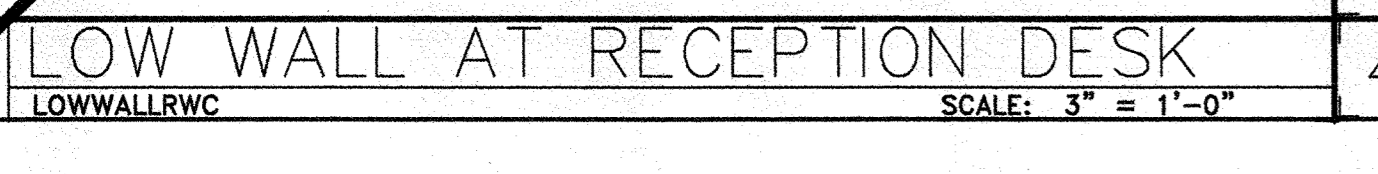
7 1-HOUR RATED, FULL HT. WALL
SCALE: 1/2" = 1'-0"



7 1-HOUR RATED, FULL HT. WALL
SCALE: 1/2" = 1'-0"



4 1 HOUR CORRIDOR-2-1/2" STUDS
SCALE: 1 1/2" = 1'-0"



5 LOW WALL AT RECEPTION DESK
SCALE: 3" = 1'-0"



1851 E. First St.
Santa Ana, Ca. 92705

ADELSON, TESTAN,
BRUNDO & JIMENEZ

SUITE 100 (EXPANSION)

AGREED:
ACCEPTED THIS DAY OF _____, 2012
TENANT: _____
BY: _____
TITLE: _____
COMMENT: _____

UPON SIGNING THIS DRAWING ALL OF MY REQUIREMENTS HAVE BEEN ADDRESSED AND I HAVE FULL AUTHORITY TO BIND MY ORGANIZATION TO THIS PLAN. ANY CHANGES TO THIS PLAN AFTER THIS DATE WILL BE AN ADDITIONAL DESIGN/CONSTRUCTION COST TO ME THE TENANT.

Table with 3 columns: NO., DESCRIPTION, DATE

Table with 3 columns: NO., DESCRIPTION, DATE

Table with 3 columns: NO., DESCRIPTION, DATE

Table with 3 columns: NO., DESCRIPTION, DATE

Table with 3 columns: NO., DESCRIPTION, DATE

INTERIOR PLANNING & DESIGN
SPACES
P & D INC.

17780 FITCH, SUITE 150 / IRVINE, CA 92614
949.724.1499 / www.spaces-oc.com

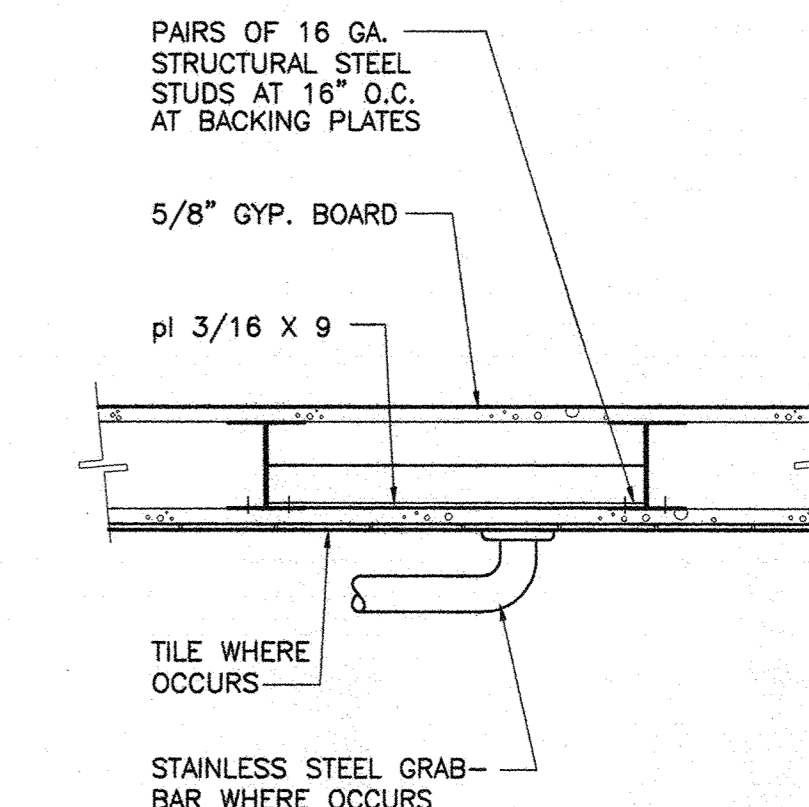
SQUARE FOOTAGE
USABLE: 628 SF

FIRST FLOOR
REFERENCE ONLY
EXISTING RR
ACCESS, SIGN
DETAILS
Sheet Title

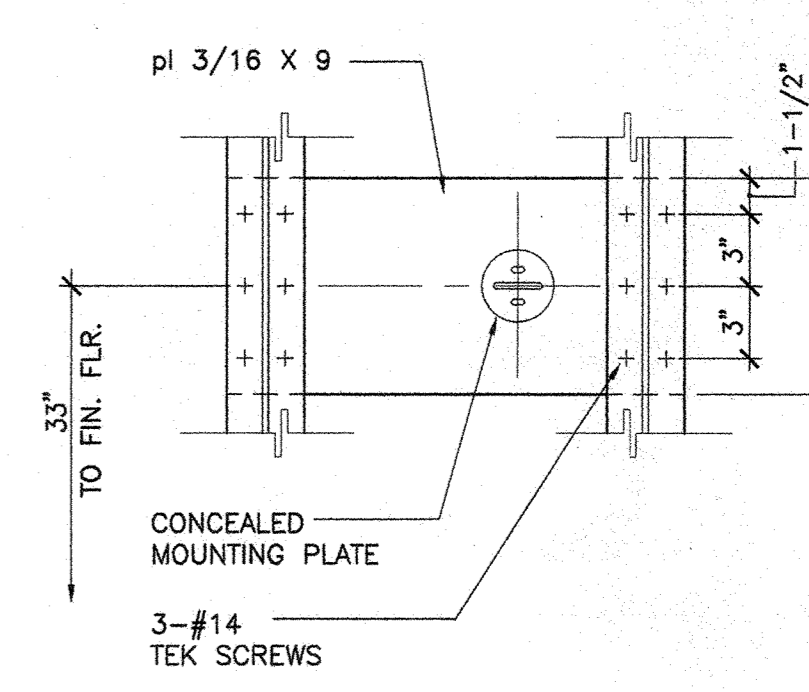
Project Number 2068.642

Sheet Number ADA-1

JAN 31 2012



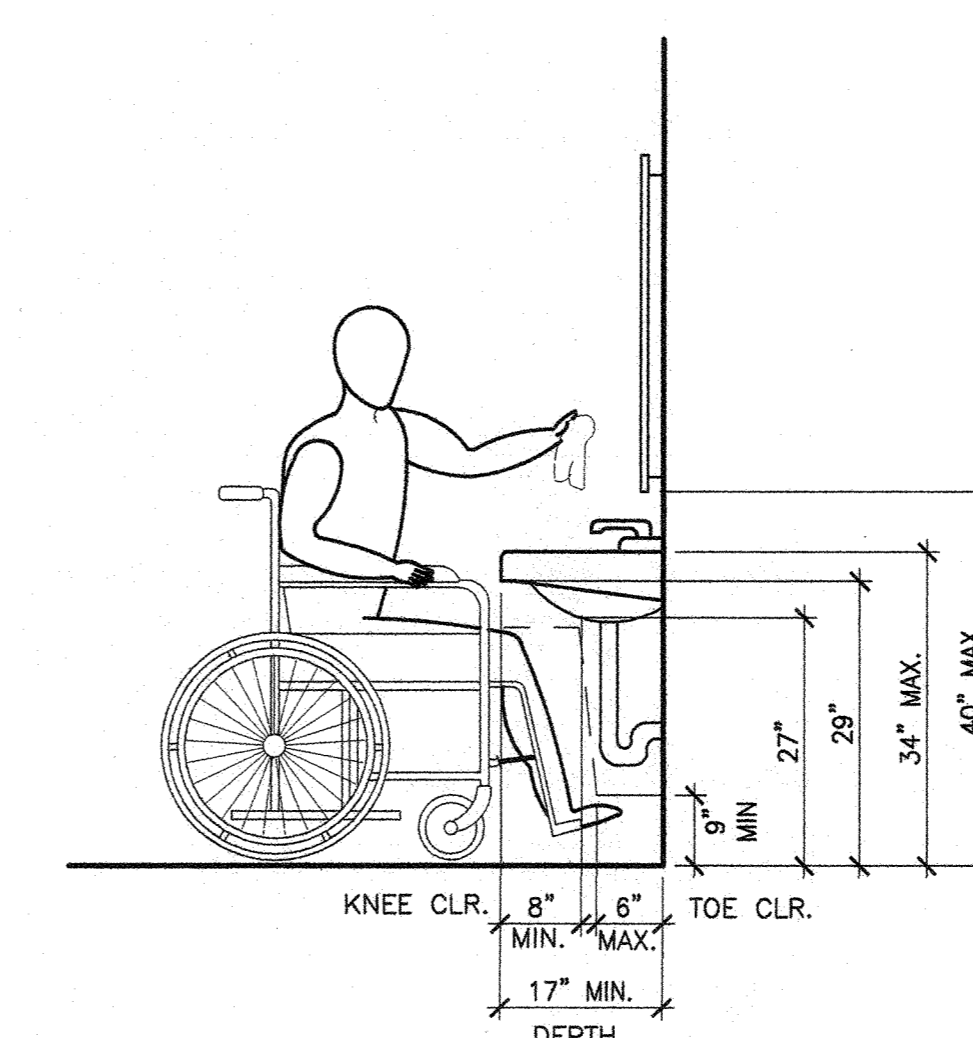
SECTION



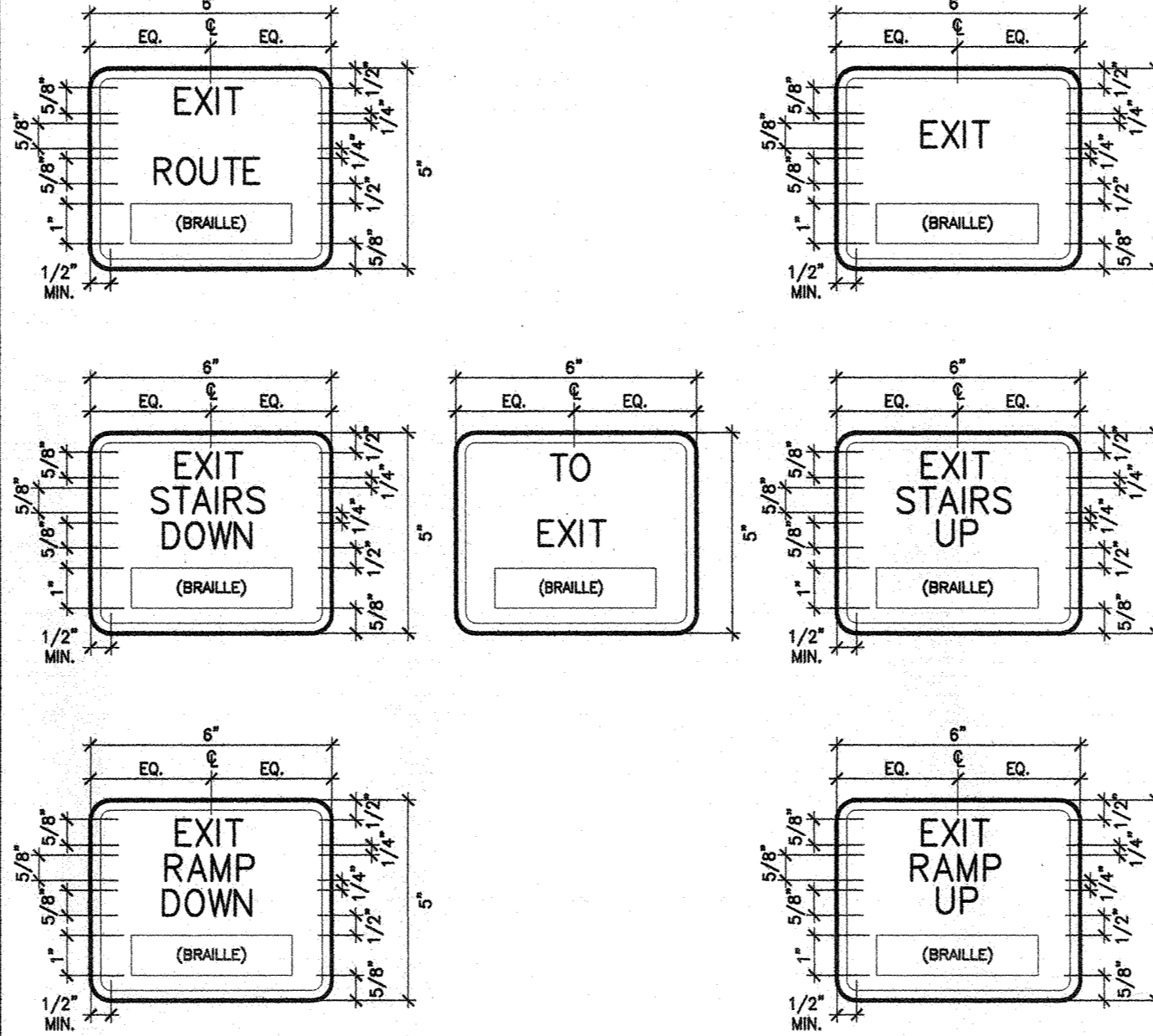
PLAN SECTION

NOTES:

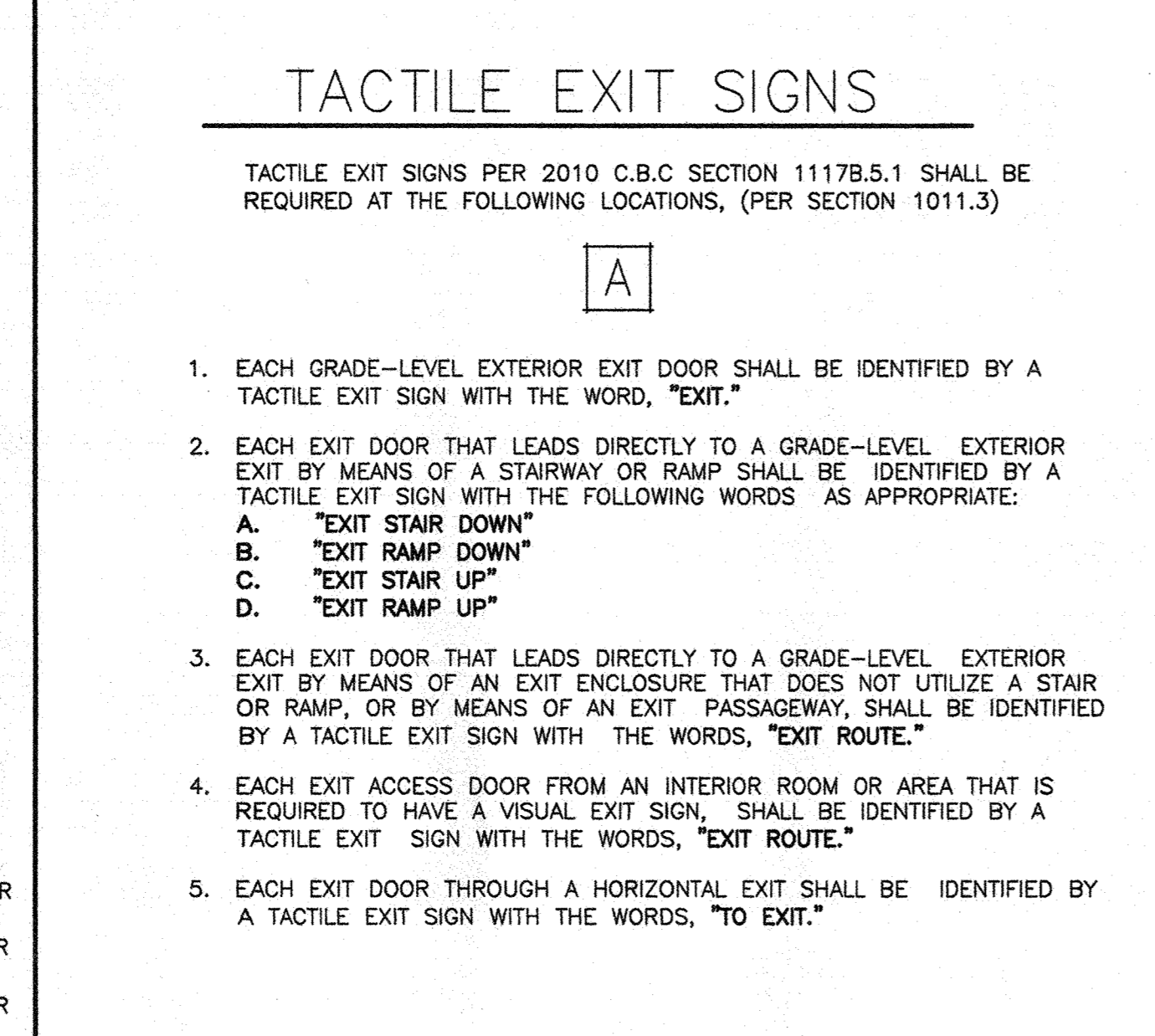
- A. MINIMUM 30" X 48" CLEAR SPACE IS PROVIDED IN FRONT OF SINK THAT ALLOWS FORWARD APPROACH. (2010 C.B.C. SEC. 1115B.4.3.3)
- B. REQUIRED CLEAR SPACE ADJOINS OR OVERLAPS AN ACCESSIBLE ROUTE AND EXTENDS 19" MAX. UNDER LAVATORY. (2010 C.B.C. SEC. 1115B.4.3.3)
- C. LAVATORIES ADJACENT TO SIDE WALL SHALL HAVE 18" MIN. FROM WALL TO CENTER OF LAV. (2010 C.B.C. SEC. 1115B.4.3.2)
- D. SINK IS A MAXIMUM OF 6 1/2" DEEP.
- E. KNEE CLEARANCE UNDER SINK IS A MINIMUM OF 30" WIDE, A 27" MIN. VERTICAL CLEARANCE MUST BE PROVIDED FROM THE FINISH FLOOR TO BOTTOM OF SINK, WITH A 29" MAXIMUM VERTICAL CLEARANCE TO BOTTOM OF APRON/COUNTER. (2010 C.B.C. SEC. 1115B.4.3.2)
- F. WATER SUPPLY AND DRAIN PIPES UNDER LAVATORIES AND SINKS SHALL BE INSULATED OR OTHERWISE COVERED TO PROTECT AGAINST CONTACT. (2010 C.B.C. SEC. 1115B.4.3.4)
- G. NO SHARP OR ABRASIVE SURFACES ARE ALLOWED UNDER LAVATORIES AND SINKS. (2010 C.B.C. SEC. 1115B.4.3.4)
- H. FAUCETS ARE LEVER TYPE, ELECTRONICALLY ACTIVATED OR APPROVED SELF CLOSING VALVES (MIN. 10 SECOND OPEN FLOW).
- I. FAUCETS ARE OPERABLE WITH ONE HAND AND DO NOT REQUIRE TIGHT GRASPING, PINCHING, OR TWISTING OF THE WRIST. (2010 C.B.C. SEC. 1115B.4.3.1)
- J. 5 LBS. MAXIMUM FORCE REQUIRED TO ACTIVATE CONTROLS. (2010 C.B.C. SEC. 1115B.4.3.1)
- K. MIRROR SHALL BE MOUNTED SO BOTTOM EDGE IS NO HIGHER THAN 40" TO FLOOR. (2010 C.B.C. SEC. 1115B.8.1)



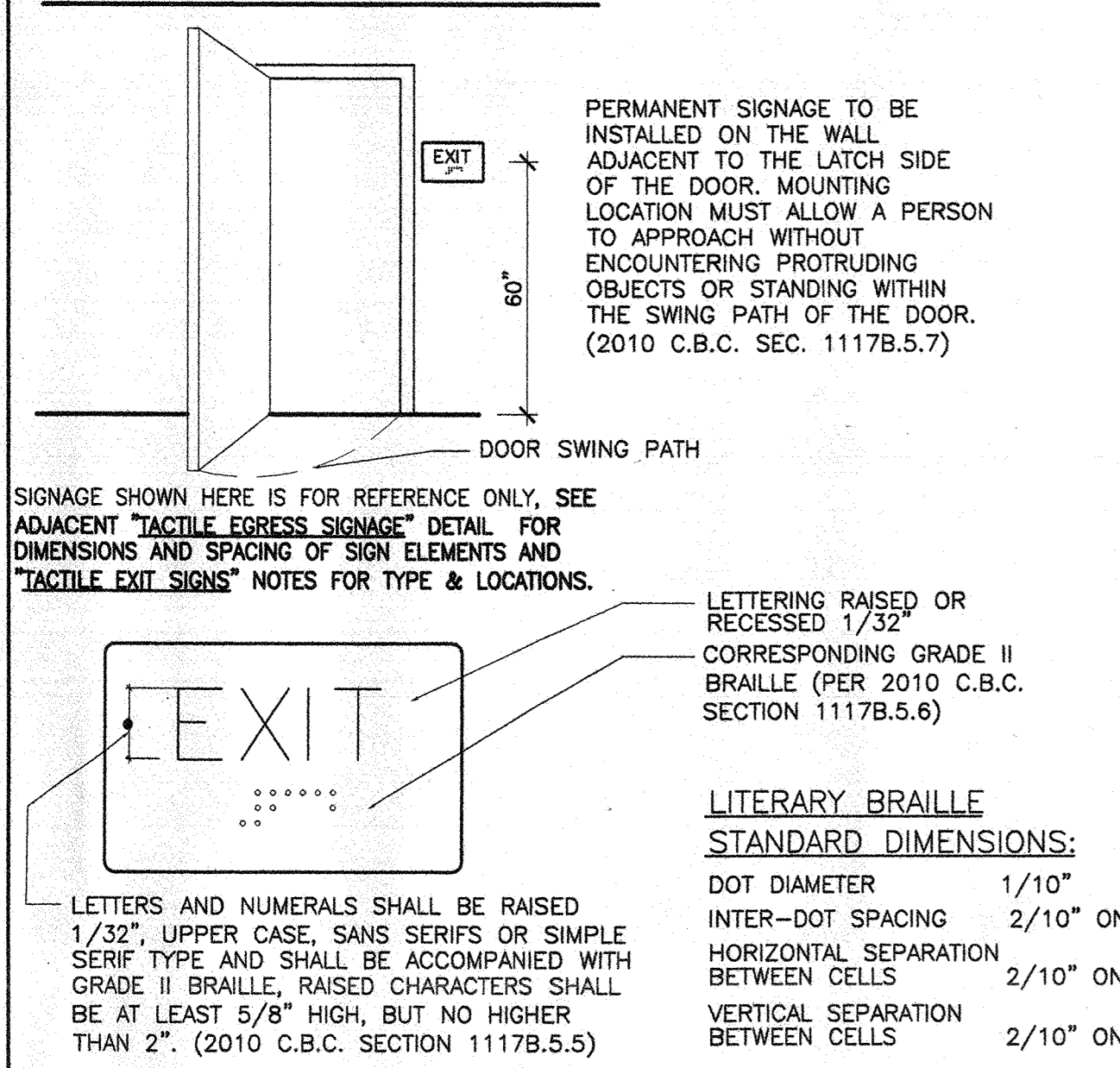
LAVATORY CLEARANCES



18 TACTILE EGRESS SIGNAGE
TACT.EG.SIGN. SCALE: 3" = 1'-0"

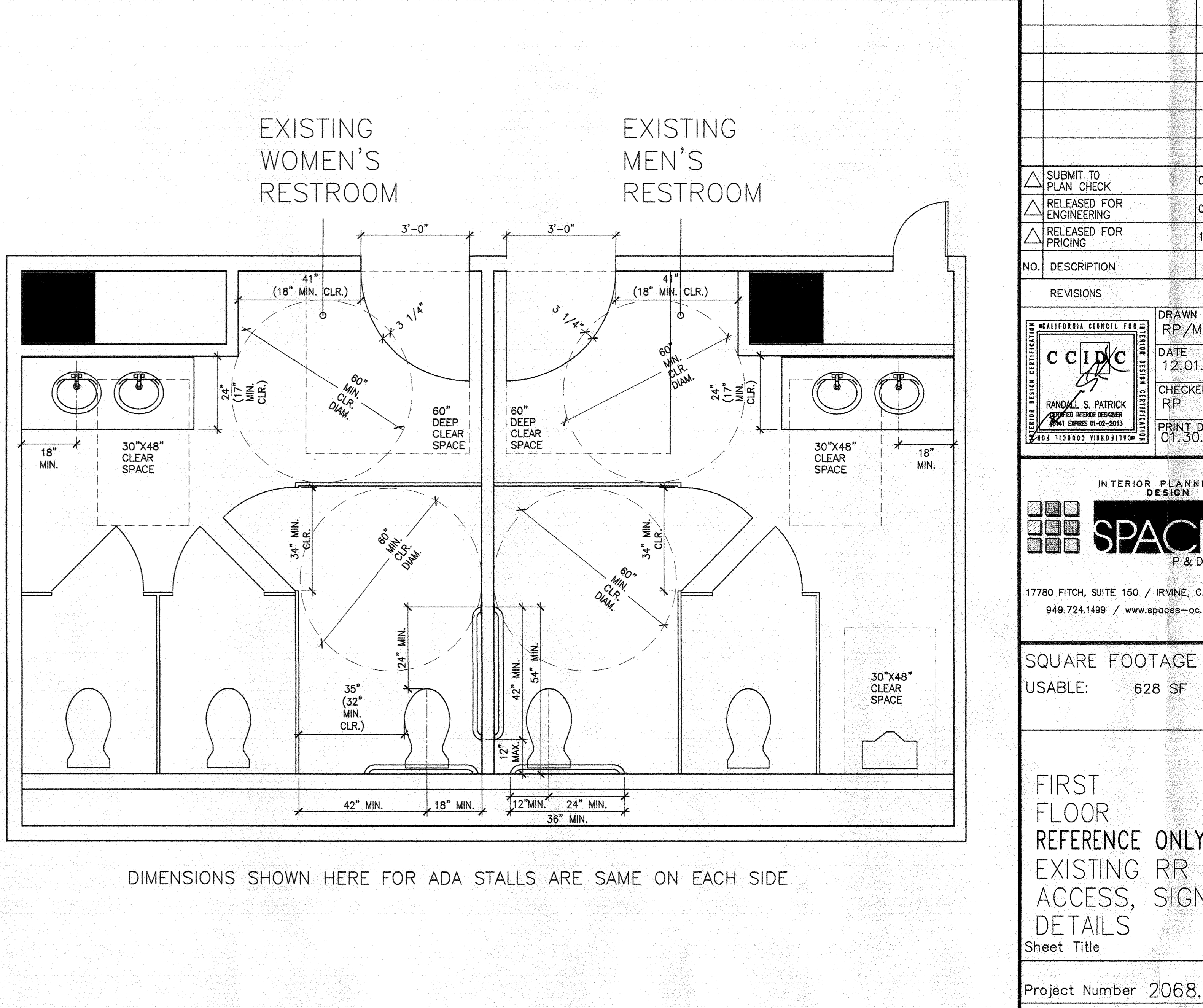


19 TACTILE EXIT SIGNS
TACT.EXIT.SIGN. SCALE: NOT TO SCALE



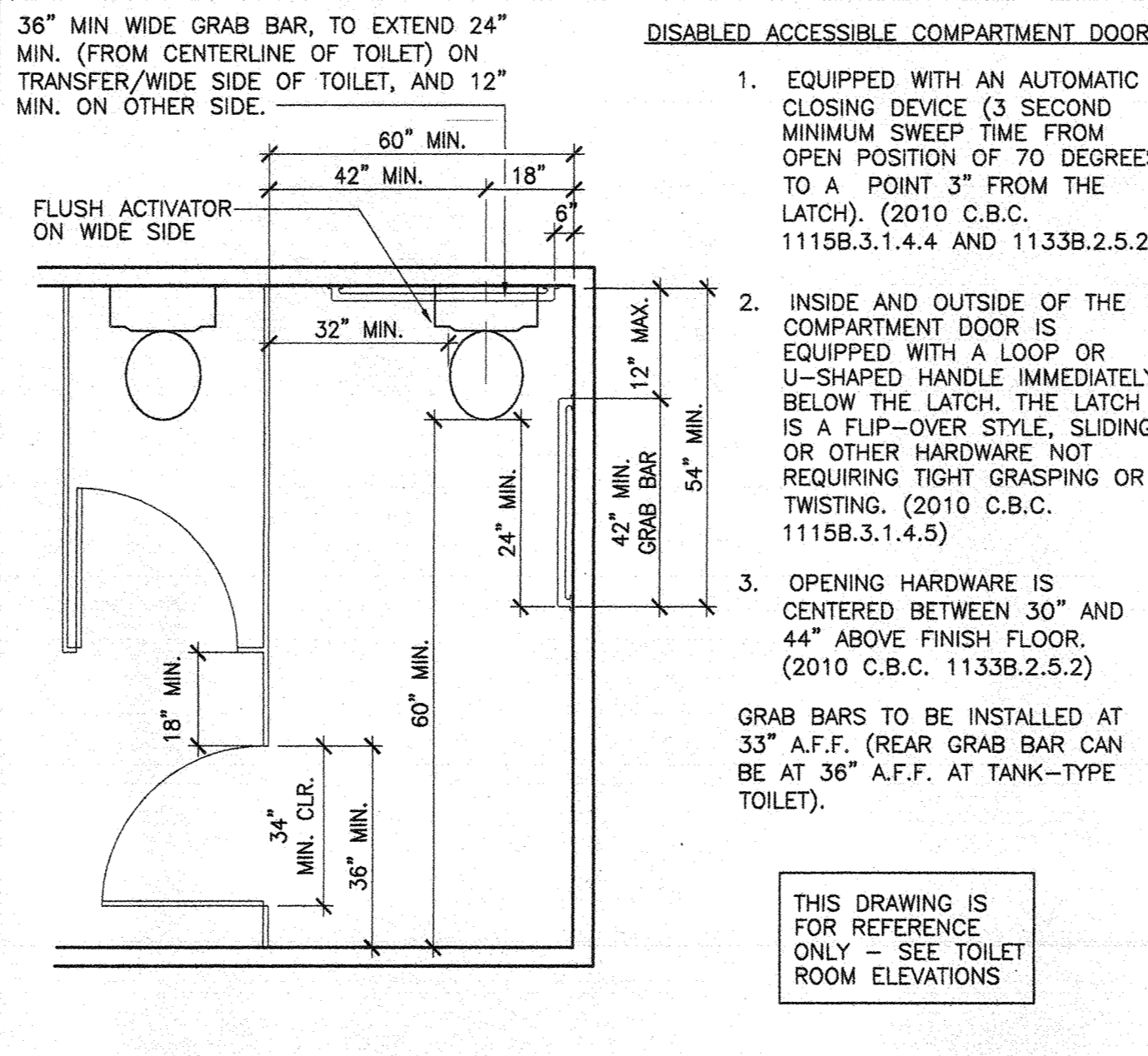
20 INTERIOR TACTILE EXIT SIGNAGE
EXIT SIGNAGE SCALE: N.T.S.

11 GRAB BAR BACKING
DEF/ADA/DET/GRABBARSEC SCALE: 1-1/2" = 1'-0"



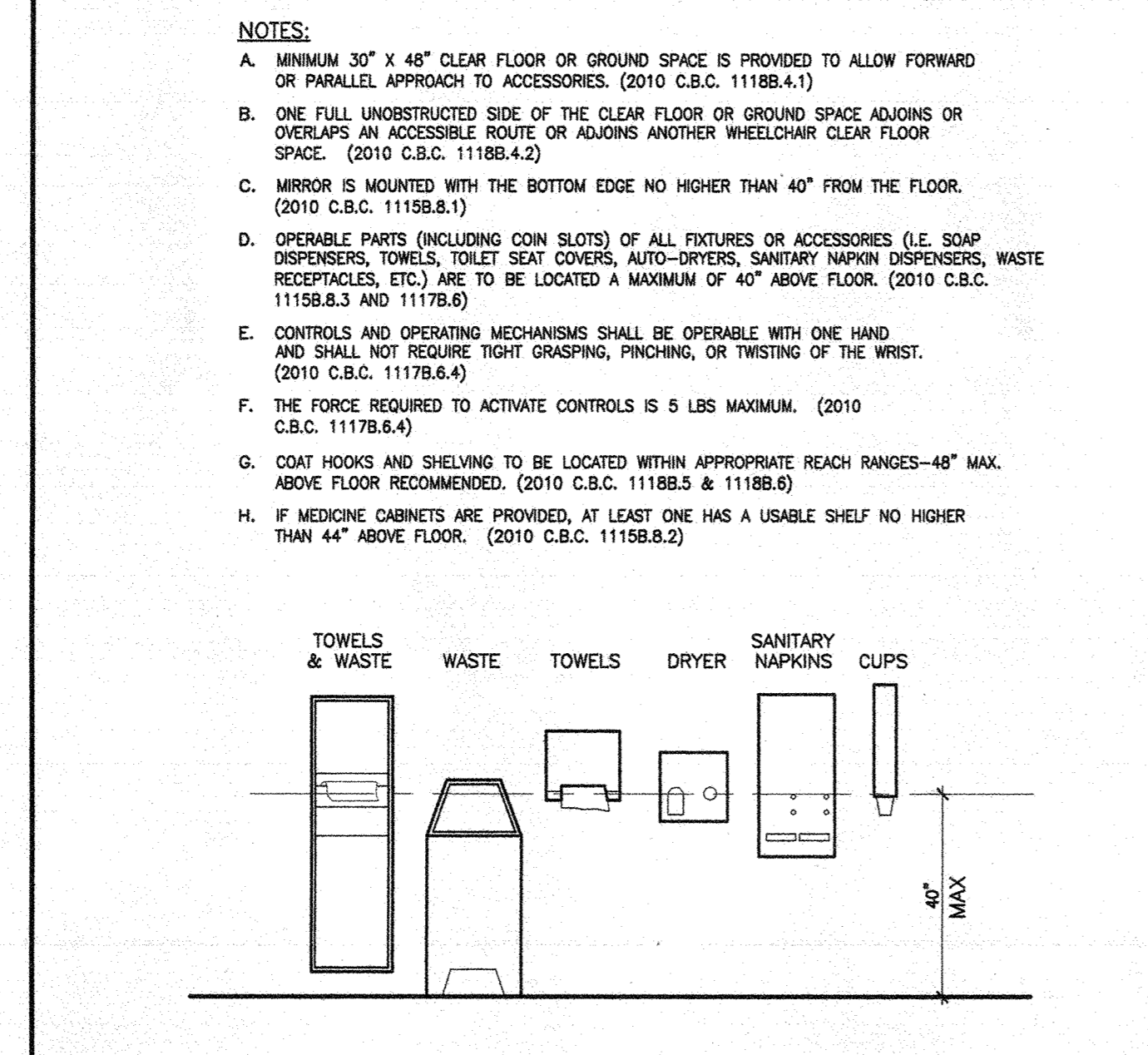
2 ENLARGED PLAN OF EXISTING 1ST FLOOR ADA-COMPLIANT RESTROOMS
RR DET. SCALE: 1/2" = 1'-0"

12 SINKS
ADA10 SCALE: N.T.S.

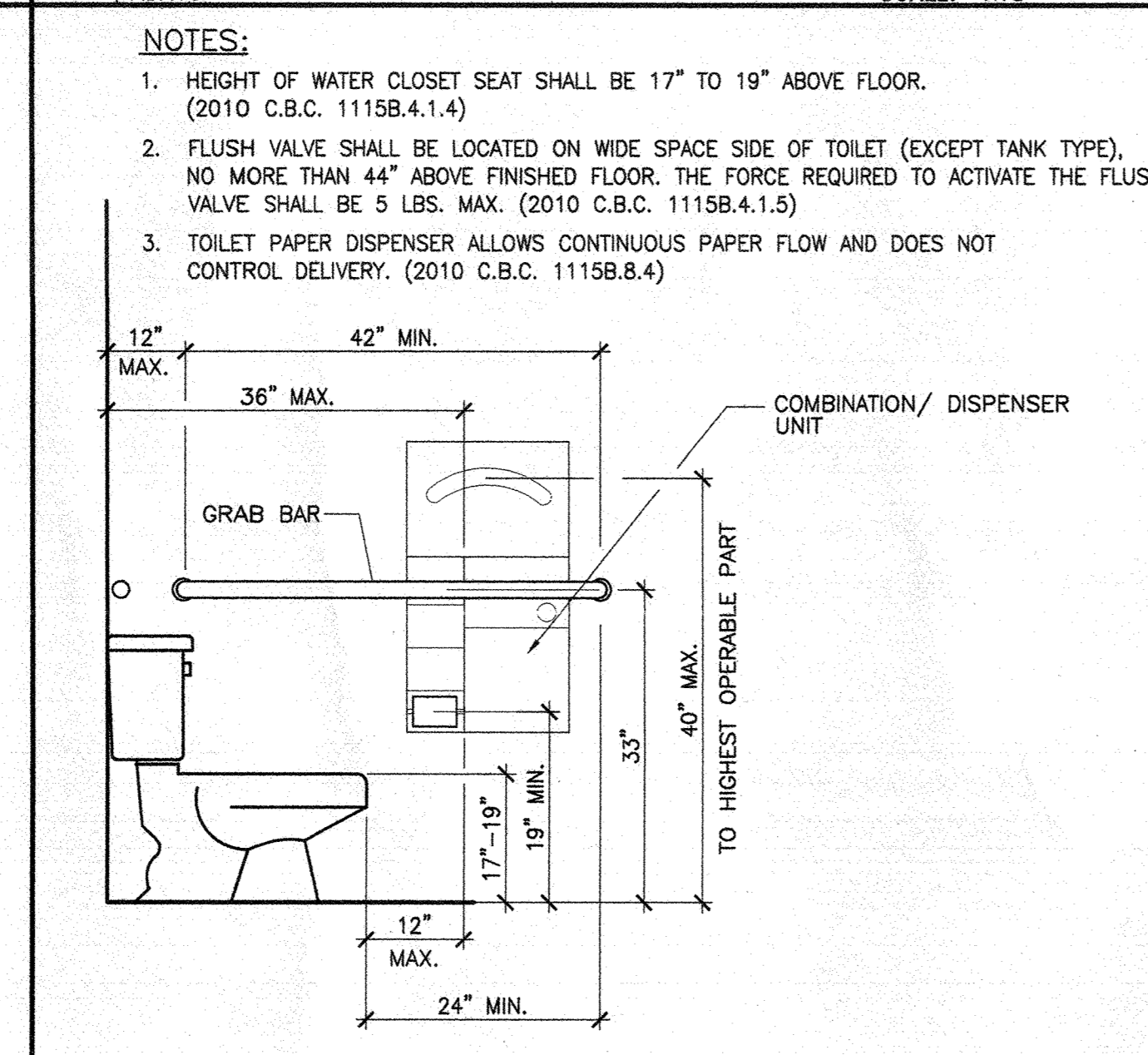


8 ACCESSIBLE STALL
ADA5 SCALE: N.T.S.

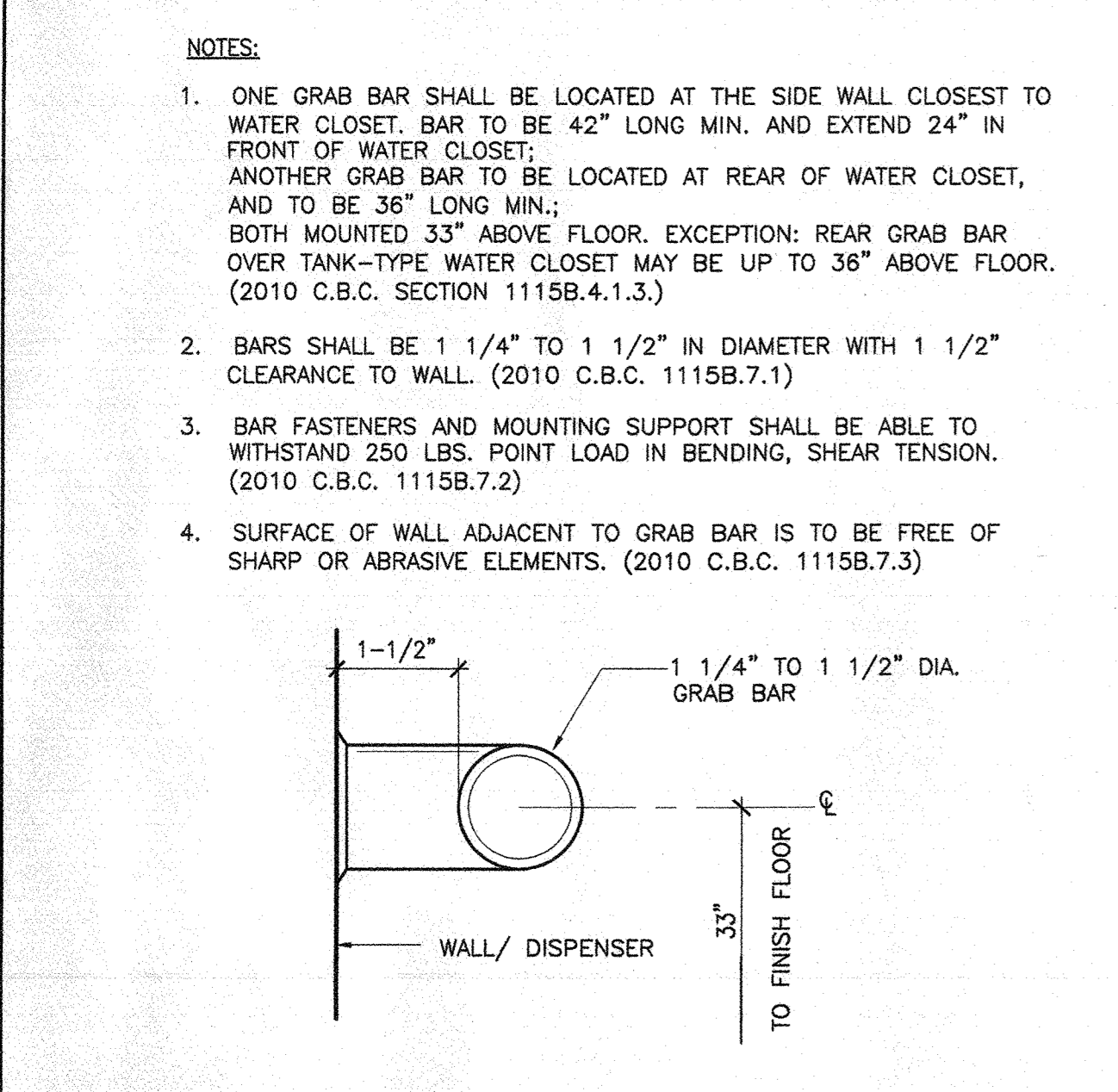
14 TOILET SIGNAGE
ADA1 SCALE: N.T.S.



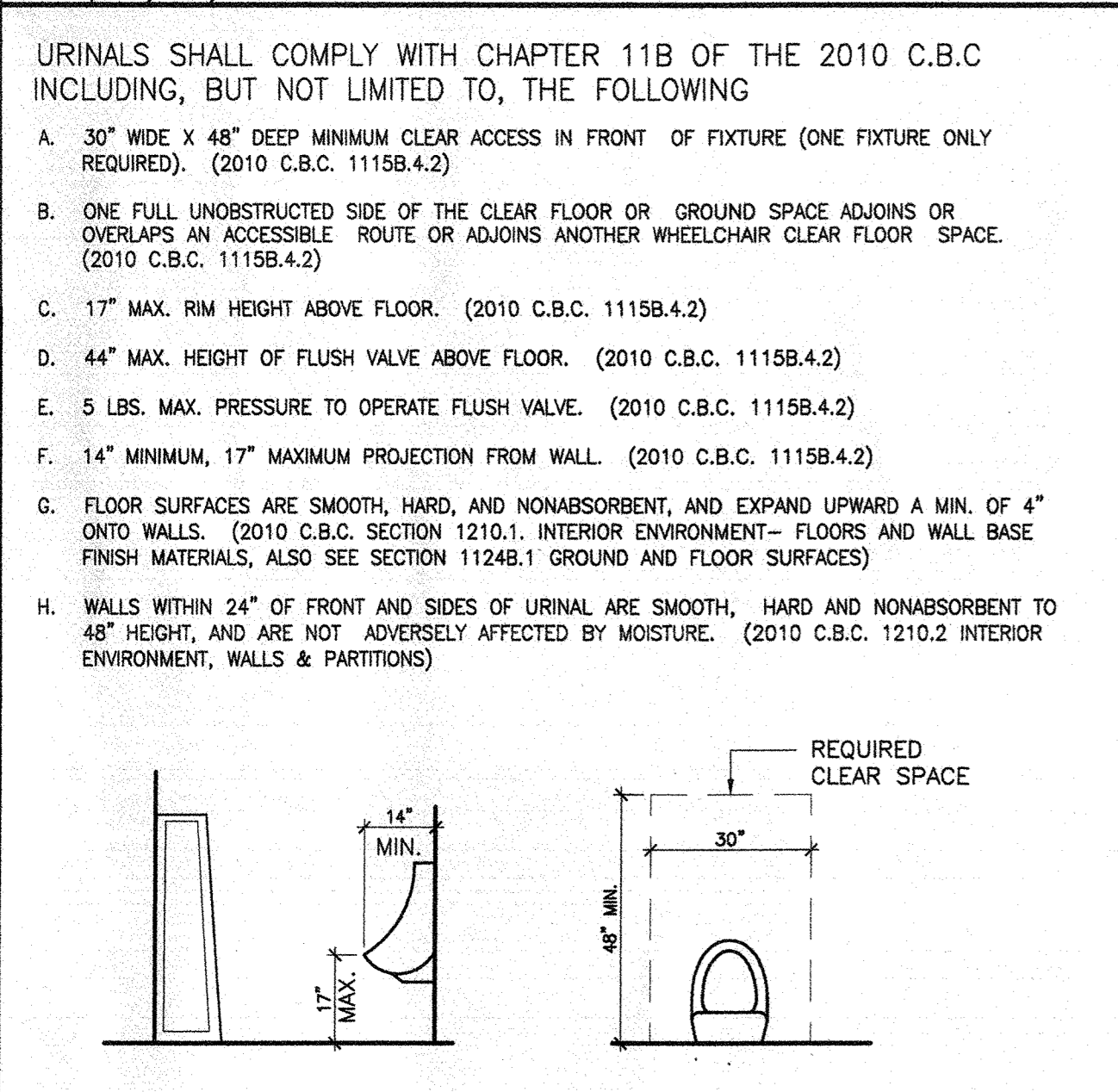
9 TOILET ROOM ACCESSORIES
ADA15 SCALE: N.T.S.



15 TYPICAL SECTION @ LAVATORY
TYPLAVSEC SCALE: 1/2" = 1'-0"



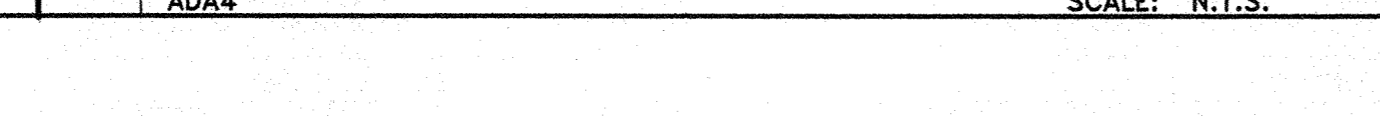
10 GRAB BAR DETAIL
DEF/ADA/DETAILS SCALE: N.T.S.



5 URINALS
ADA20 SCALE: N.T.S.



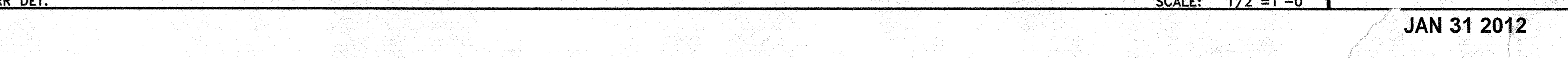
4 TYPICAL ADA DIMENSIONS
ADA4 SCALE: N.T.S.



3 RESTROOM WALL HC SIGNAGE
ADA2 SCALE: N.T.S.



2 ENLARGED PLAN OF EXISTING 1ST FLOOR ADA-COMPLIANT RESTROOMS
RR DET. SCALE: 1/2" = 1'-0"



JUAN RAMOS
1230 W. 6th ST.
SANTA ANA CA 92703

JOSE
7/14/37

CITY OF SANTA ANA
REVISED

K. AL Revision to 10123778
on 3-6-12, to change Floor Sh
to OSB. KA 3-15-12

FRAMING

1. ALL LUMBER SHALL BE DOUGLAS FIR LARCH (19% MAXIMUM MOISTURE CONTENT AT THE TIME OF CONSTRUCTION U.N.O.) AND SHALL BE STAMPED WITH A TRADE OF THE FOLLOWING GRADES BY AN APPROVED GRADING AGENCY.
2. LUMBER GRADES
6X & 8X POSTS/BEAMS/HEADERS: #1 DFL
4X BEAMS AND HEADERS: #2 DFL
2X JOISTS/ RAFTERS: #2 DFL
STUDS: STUD GRADE
TOP PLATES: DFL CONSTRUCTION STANDARD, STANDARD OR BETTER.
ALL MUD SILLS TO BE P.T. DFL

3. STRUCTURAL PLYWOOD SHALL BE GRADE A.P.A. PS1-95 AND SHALL TYPE SHEATHING C-D GRADE WITH EXTERIOR GLUE. SHEATHING PANEL 24 INCHES IN ANY DIMENSION SHALL NOT BE USED IN SHEAR WALLS FLOOR, OR ROOF DIAPHRAGM.

ROOF: (U.N.O.)

USE 15/32" APA RATED SHEATHING EXP. I WITH A MIN. PANEL INDE REFER TO NER 108 FOR INSTALLATION AND CONDITIONS OF USE.

B.N.: 8d COMMON NAIL @ 6" O.C.

E.N.: 8d COMMON NAIL @ 6" O.C.

F.N.: 8d COMMON NAIL @ 12" O.C.

J.C. FLOOR: (U.N.O.) USE 3/4" OSB 7 & 6 APA RATED STUD-1 PL

~~USE 23/32" APA RATED STUD-1 FLOOR TAG EXP. I WITH A MIN. PANEL INDE.~~
24". REFER TO NER 108 FOR INSTALLATION AND CONDITIONS OF USE.

B.N.: 10d COMMON NAIL @ 6" O.C.

E.N.: 10d COMMON NAIL @ 6" O.C.

F.N.: 10d COMMON NAIL @ 12" O.C.

4. ALL POST SHALL BE 4X WIDTH OF BEAM MINIMUM (U.N.O.)
5. STRUCTURAL MEMBER SHALL NOT BE CUT FOR PIPES, SEWERS, ETC. UNLESS SPECIALLY NOTED OR DETAILED. PLUMBER AND ELECTRICIAN SHALL CHECK STRUCTURAL PLANS FOR ALL DUCTS, SLEEVES, ETC. INTERFERENCE WITH STRUCTURAL MEMBERS.
6. HOLES FOR BOLTS SHALL BE 1/32" TO 1/16" LARGER THAN NOMINAL BOLTS DIAMETER. ALL BOLTS BEARING ON WOOD SHALL HAVE WASHERS UNDER HEAD AND NUTS. ALL BOLTS SHALL BE RETIGHTED PRIOR TO APPLICATION OF PLASTER, PLYWOOD, ETC.
7. CALIFORNIA BUILDING CODE-TABLE 23-IV-B BALLOON FRAMED WALLS (NON-BEARING) STUD HEIGHTS:
2X4 @ 16" O.C. MAXIMUM 14'-0" HEIGHT
2X6 @ 16" O.C. MAXIMUM 20'-0" HEIGHT
NO MULTIPLES OF 2X4'S ARE ALLOWED TO SPAN MORE THAN 14'-0" BEARING WALLS EXCEEDING 10'-0" MUST BE DESIGNED CASE BY CASE.
8. BEARING WALLS AND EXTERIOR WALLS SUPPORTING LOADS FROM TWO STORIES ABOVE SHALL BE 3X4 @ 16" O.C. (U.N.O.) 2X6 MAY BE USED IN

TYPE

A

B

C

D