

Historic Resources Commission Special Meeting Agenda

March 25, 2021

4:30 P.M.

In light of COVID-19, this meeting will be conducted in a virtual environment. There will be no in-person meeting location for the community to attend public meetings.

Meetings will be held in virtual setting via Zoom.

Join from your computer: <https://zoom.us/j/98595631805>

Join from your mobile phone via Zoom App. Meeting ID: 98595631805

Dial in from a mobile phone or landline. (669) 900- 6833; Meeting ID: 98595631805

For viewing only: www.youtube.com/cityofsantaanavideos/live

For detailed participation and commenting options, please review the instructions provided at the end of this agenda.

To download or view each item, select either Download PDF or View Item Details to the right of the agenda title.



ALBERTA CHRISTY, Chair
Ward 4 Representative

GINELLE HARDY
Citywide Representative

TIM RUSH, Vice Chair
Ward 2 Representative

DWAYNE SHIPP
Ward 5 Representative

KEITH CARPENTER
Ward 1 Representative

EDWARD MURASHIE
Ward 3 Representative
SANDRA PENA SARMIENTO
Ward 6 Representative

MARK MCLOUGHLIN
Planning Commission Rep.

VINCE FRAZIER
Comm. Redev. & Housing
Commission Rep.

MINH THAI
Executive Director

John Funk
Legal Counsel

ALI PEZESHKPOUR
Principal Planner

SARAH BERNAL
Recording Secretary



In compliance with the Americans with Disabilities Act (ADA), if you need special assistance to participate in this Meeting, contact Michael Ortiz, City ADA Program Coordinator, at (714) 647-5624. Notification 48 hours prior to the Meeting will enable the City to make reasonable arrangements to assure accessibility to this meeting. The City Council agenda and supporting documentation can be found on the City's website – www.santa-ana.org/city-meetings.

CALL TO ORDER

Commissioners: Alberta Christy, Chairperson
Tim Rush, Vice Chairperson
Keith Carpenter
Vince Frazier
Ginelle Hardy
Mark McLoughlin
Edward Murashie
Sandra Peña Sarmiento
Dwayne Shipp

Staff: Minh Thai, Executive Director
John Funk, Senior Asst City Attorney
Ali Pezeshkpour, Principal Planner
Sarah Bernal, Recording Secretary

ROLL CALL

PLEDGE OF ALLEGIANCE

PUBLIC COMMENTS (non-agenda items)

CONSENT CALENDAR ITEMS

a. Minutes

Recommended Action: Approve the Minutes from the October 29, 2020 meeting.

b. Excused absences

Recommended Action: Excused absent commissioners.

c. Historic Property Preservation Agreement No. 2020-18 (Mills Act) for the Property Located at 824 North Garfield Street

Recommended Action: Recommend that the City Council authorize the City Manager and Clerk of the Council to execute a Historic Property Preservation Agreement (Mills Act) with Bradley Lewis Owen and Santiago Munoz Jr. for the property located at 824 North Garfield Street, subject to non-substantive changes approved by the City Manager and City Attorney (Exhibit 1).

d. City of Santa Ana Certified Local Government (CLG) 2019-2020 Annual Report

Recommended Action: Receive and File.

COMMUNICATION DISCLOSURE: Commissioner disclosure regarding agendized projects.

PUBLIC HEARING: APPEAL OF HISTORIC RESOURCES COMMISSION ACTIONS: The Commission decision on the below matter/s is/are final unless appealed within 10 days of the decision by any interested party or group (refer to the Basic Meeting Information page for more information). **NOTICE:** For item no. 2, legal notice was published in the Orange County Reporter on October 16, 2020 and notices were mailed at least 10 days prior. For item nos. 1, 3 and 4, legal notice was published in the Orange County Reporter on March 12, 2021 and notices were mailed at least 10 days prior.

1. Historic Exterior Modification No. 2020-11 – Jill Arabe, Case Planner

Location: 524 W 19th Street (historically known as the Dixon House) located in the Single Family Residential (R-1) zoning district.

Request: The applicant is requesting approval of an historic exterior modification to allow exterior modifications to the above-mentioned property.

Environmental Impact: In accordance with the California Environmental Quality Act, the recommended action is exempt from further review under Section 15331, Class 31, as this action is designed in a manner consistent with the Secretary of Interior's Standards. Categorical Exemption No. ER-2021-10 will be filed for this project.

Recommended Action: Adopt a resolution approving a Certificate of Appropriateness for Historic Exterior Modification Application No. 2020-11.

2. Public Hearing – Historic Resources Commission Application No. 2020-09, Historic Register Categorization No. 2020-08, and Historic Property Preservation Agreement No. 2020-11 for Property Located at 2042 North Victoria Drive

Recommended Action: 1. Adopt a resolution approving Historic Resources Commission Application No. 2020-09 and Historic Register Categorization No. 2020-08 (Exhibit 1). 2. Recommend that the City Council authorize the City Manager and Clerk of the Council to execute the attached Mills Act agreement with Andres and Lynda Matzkin, subject to non-substantive changes approved by the City Manager and City Attorney (Exhibit 2).

3. Public Hearing – Historic Resources Commission Application No. 2021-01, Historic Register Categorization No. 2021-01, and Historic Property Preservation Agreement No. 2021-01 for Property Located at 2014 North Flower Street

Recommended Action: 1. Adopt a resolution approving Historic Resources Commission Application No. 2021-01 and Historic Register Categorization No. 2021-01 (Exhibit 1). 2. Recommend that the City Council authorize the City Manager and Clerk of the Council to execute the attached Mills Act agreement with Chad Barker, subject to non-substantive changes approved by the City Manager and City Attorney (Exhibit 2).

4. Public Hearing – Historic Resources Commission Application No. 2021-14, Historic Register Categorization No. 2021-14, and Historic Property Preservation Agreement No. 2021-20 for Property Located at 520 West Nineteenth Street

Recommended Action: 1. Adopt a resolution approving Historic Resources Commission Application No. 2021-14 and Historic Register Categorization No. 2021-14 (Exhibit 1). 2. Recommend that the City Council authorize the City Manager and Clerk of the Council to execute the attached Mills Act agreement with Robert M. and Connie J. Yoakum, subject to non-substantive changes approved by the City Manager and City Attorney (Exhibit 2).

STAFF COMMENTS

COMMISSIONER COMMENTS

ADJOURNMENT

The next meeting of the Historic Resources Commission is scheduled for May 6, 2021 at 4:30 p.m. via Zoom.

**ACTION MINUTES OF THE ADJOURNED SPECIAL MEETING OF THE
HISTORIC RESOURCES COMMISSION
OF THE CITY OF SANTA ANA**

OCTOBER 29, 2020

CALLED TO ORDER

COUNCIL CHAMBER
22 CIVIC CENTER PLAZA
SANTA ANA, CALIFORNIA
4:35 P.M.

PLEDGE OF ALLEGIANCE

ROLL CALL

COMMISSIONERS Present:
ALBERTA CHRISTY, *Chair*
GINELLE HARDY
LAURENCE HITTERDALE
EDWARD MURASHIE
SANDRA PENA-SARMIENTO
FELIX RIVERA (*arrived at 6:20 p.m.*)
TIM RUSH
PHIL SCHAEFER, *Vice Chair*

COMMISSIONERS Absent:

STAFF Present:
MINH THAI, *Executive Director*
VINCE FREGOSO, *Planning Manager*
JOHN FUNK, *Assistant City Attorney*
JILL ARABE *Senior Planner*
PEDRO GOMEZ, *Associate Planner*
SARAH BERNAL, *Recording Secretary*

PUBLIC COMMENTS (on non-agenda items): None.

CONSENT CALENDAR

ADMINISTRATIVE MATTERS

A. MINUTES FROM THE SPECIAL MEETING HELD ON JULY 30, 2020

MOTION: Approve Minutes.

MOTION: SCHAEFER **SECOND:** RUSH

VOTE: **AYES:** CHRISTY, HARDY, HITTERDALE, MURASHIE, RUSH,
PENA-SARMIENTO, SCHAEFER (7)

NOES: NONE (0)
ABSTAIN: NONE (0)
ABSENT: RIVERA (1)

B. EXCUSED ABSENCES

MOTION: Excuse absent commission members.

MOTION: SCHAEFER **SECOND:** HARDY

VOTE: **AYES:** CHRISTY, HARDY, HITTERDALE, MURASHIE, RUSH,
RIVERA, PENA-SARMIENTO, SCHAEFER (8)

NOES: NONE (0)

ABSTAIN: NONE (0)

ABSENT: NONE (0)

AGREEMENTS

Item E pulled for separate action

C. **HISTORIC PROPERTY PRESERVATION AGREEMENT NO. 2020-16 (MILLS ACT) FOR THE PROPERTY LOCATED AT 2214 NORTH HELIOTROPE DRIVE** — Jill Arabe, Case Planner

MOTION: Recommend that the City Council authorize the City Manager and Clerk of the Council to execute a Historic Property Preservation Agreement (Mills Act) with Ryan Bruce and Amy Bruce for the property located at 2214 North Heliotrope Drive, subject to non-substantive changes approved by the City Manager and City Attorney

D. **HISTORIC PROPERTY PRESERVATION AGREEMENT NO. 2020-17 (MILLS ACT) FOR THE PROPERTY LOCATED AT 888 NORTH MAIN STREET** — Jill Arabe, Case Planner

Representative spoke in support.

MOTION: Recommend that the City Council authorize the City Manager and Clerk of the Council to execute a Historic Property Preservation Agreement (Mills Act) with 888 TOWER APARTMENTS, LLC, for the property located at 888 North Main Street, subject to non-substantive changes approved by the City Manager and City Attorney

E. **HISTORIC PROPERTY PRESERVATION AGREEMENT NO. 2020-01 (MILLS ACT) FOR THE PROPERTY LOCATED AT 1330 SOUTH BROADWAY** — Jill Arabe, Case Planner

***Pulled for separate action.**

LOCATION: 920 North Louise Street (historically known as the Clem-Koentopp House) located in the Single Family Residential (R-1) zoning district.

REQUEST: The applicant is requesting approval of a historic resources commission application historic register categorization, and historic property preservation agreement to allow the placement and categorization in the Santa Ana Register of Historical Properties as Key for the above-mentioned property and to execute a historic property preservation agreement with the City of Santa Ana.

Case Planner Gomez provided a staff presentation.

Recording Secretary provided summary on written communication received.

Chair Christy opened the Public Hearing. The applicant spoke in support of the matter. There were no other speakers and the Public Hearing was closed.

MOTIONS:

- a) Adopt a resolution approving Historic Resources Commission Application No. 2020-10 and Historic Register Categorization No. 2020-09; and
- b) Recommend that the City Council authorize the City Manager and Clerk of the Council to execute the attached Mills Act agreement with Valerie J. Boulter, subject to non-substantive changes approved by the City Manager and City Attorney

MOTION:	RUSH	SECOND:	
VOTE:	AYES:		CHRISTY, HARDY, HITTERDALE, MURASHIE, RUSH, PENA-SARMIENTO, SCHAEFER (7)
	NOES:		NONE (0)
	ABSTAIN:		NONE (0)
	ABSENT:		RIVERA (1)

4. **HISTORIC RESOURCES COMMISSION APPLICATION NO. 2020-02, HISTORIC REGISTER CATEGORIZATION NO. 2020-01, AND HISTORIC PROPERTY PRESERVATION AGREEMENT NO. 2020-02-** Pedro Gomez, Case Planner

LOCATION: 936 West River Lane (historically known as the Harold T. Segerstrom House) located in the Single Family Residential (R-1) zoning district.

REQUEST: The applicant is requesting approval of a historic resources commission application, historic register categorization, and historic property preservation agreement to allow the placement and categorization in the Santa Ana Register of Historical Properties as Landmark for the above-mentioned property and to execute a historic property preservation agreement with the City of Santa Ana.

MOTION:

- a) Adopt a resolution approving Historic Resources Commission Application No. 2020-03 and Historic Register Categorization No. 2020-02; and
- b) Recommend that the City Council authorize the City Manager and Clerk of the Council to execute the attached Mills Act agreement with Kevin A. and Lauren L. Marshall, subject to non-substantive changes approved by the City Manager and City Attorney.

MOTION: HARDY

SECOND: MURASHIE

MUVOTE: AYES: CHRISTY, HARDY, HITTERDALE, MURASHIE, RUSH, RIVERA, PENA-SARMIENTO, SCHAEFER (8)

NOES: NONE (0)

ABSTAIN: NONE (0)

ABSENT: NONE (0)

6. **HISTORIC RESOURCES COMMISSION APPLICATION NO. 2020-04, HISTORIC REGISTER CATEGORIZATION NO. 2020-03, AND HISTORIC PROPERTY PRESERVATION AGREEMENT NO. 2020-06-** Pedro Gomez, Case Planner

LOCATION: 2320 North Heliotrope Drive (historically known as the W.S. Spicer House) located in the Single Family Residential (R-1) zoning district.

REQUEST: The applicant is requesting approval of a historic resources commission application, historic register categorization, and historic property preservation agreement to allow the placement and categorization in the Santa Ana Register of Historical Properties as Contributive for the above-mentioned property and to execute a historic property preservation agreement with the City of Santa Ana.

Case Planner Gomez provided a staff presentation.

Recording Secretary provided summary on written communication received.

Chair Christy opened the Public Hearing. There were no speakers and the Public Hearing was closed.

MOTION:

- a) Adopt a resolution approving Historic Resources Commission Application No. 2020-04 and Historic Register Categorization No. 2020-03; and
- b) Recommend that the City Council authorize the City Manager and Clerk of the Council to execute the attached Mills Act agreement with Matthew D. and Leigh A. Mohler, subject to non-substantive changes approved by the City Manager and City Attorney

LOCATION: 2042 N Victoria Drive (historically known as the Hamilton-Schoppert House) located in the Single Family Residential (R-1) zoning district.

REQUEST: The applicant is requesting approval of a historic resources commission application, historic register categorization, and historic property preservation agreement to allow the placement and categorization in the Santa Ana Register of Historical Properties as Contributive for the above-mentioned property and to execute a historic property preservation agreement with the City of Santa Ana.

Case Planner Gomez provided a staff presentation. Concern was expressed regarding the architectural style of the property. Assistant City Attorney advised Commission that the application can either be approved, subject to modification of the architectural style, or the matter can be continued.

MOTIONS: Continue the matter to the next regular meeting on January 7, 2021.

MOTION: SCHAEFER **SECOND:** RUSH

VOTE: AYES: CHRISTY, MURASHIE, RUSH, PENA-SARMIENTO,
SCHAEFER (5)

NOES: HARDY, HITTERDALE (2)

ABSTAIN: NONE (0)

ABSENT: RIVERA (1)

9. **HISTORIC RESOURCES COMMISSION APPLICATION NO. 2020-11, HISTORIC REGISTER CATEGORIZATION NO. 2020-10, AND HISTORIC PROPERTY PRESERVATION AGREEMENT NO. 2020-13 - Pedro Gomez, Case Planner**

LOCATION: 1805 North Louise Street (historically known as the Young-Keeler House) located in the Single Family Residential (R-1) zoning district.

REQUEST: The applicant is requesting approval of a historic resources commission application, historic register categorization, and historic property preservation agreement to allow the placement and categorization in the Santa Ana Register of Historical Properties as Contributive for the above-mentioned property and to execute a historic property preservation agreement with the City of Santa Ana.

Case Planner Gomez provided a staff presentation.

Recording Secretary provided summary on written communication received.

Chair Christy opened the Public Hearing. The applicant spoke in support of the matter. There were no other speakers and the Public Hearing was closed.

MOTION: HARDY

SECOND: SCHAEFER

VOTE: AYES:

CHRISTY, HARDY, HITTERDALE, MURASHIE, RUSH,
RIVERA, PENA-SARMIENTO, SCHAEFER (8)

NOES: NONE (0)

ABSTAIN: NONE (0)

ABSENT: NONE (0)

11. **HISTORIC RESOURCES COMMISSION APPLICATION NO. 2020-05, HISTORIC REGISTER CATEGORIZATION NO. 2020-04, AND HISTORIC PROPERTY PRESERVATION AGREEMENT NO. 2020-07-** Pedro Gomez, Case Planner

LOCATION: 2447 North Heliotrope Drive (historically known as the M.E. LeSourd House) located in the Single Family Residential (R-1) zoning district.

REQUEST: The applicant is requesting approval of a historic resources commission application, historic register categorization, and historic property preservation agreement to allow the placement and categorization in the Santa Ana Register of Historical Properties as Key for the above-mentioned property and to execute a historic property preservation agreement with the City of Santa Ana.

Case Planner Gomez provided a staff presentation.

Recording Secretary reported that no written communication was received.

Chair Christy opened the Public Hearing. The applicant spoke in support of the matter. There were no other speakers and the Public Hearing was closed.

Commission expressed concern regarding the overgrown vegetation in the front yard. The applicant addressed concerns regarding overgrown vegetation; amenable to modifying the vegetation in order to view the primary elevation from the street.

MOTIONS:

- a) Adopt a resolution approving Historic Resources Commission Application No. 2020-05 and Historic Register Categorization No. 2020-04; and
- b) Recommend that the City Council authorize the City Manager and Clerk of the Council to execute the attached Mills Act agreement with Sara Camm-Turrietta and Tracie Turrietta, subject to non-substantive changes approved by the City Manager and City Attorney

MOTION: HARDY

SECOND: SCHAEFER

VOTE: AYES:

CHRISTY, HARDY, HITTERDALE, MURASHIE, RUSH,
RIVERA, PENA-SARMIENTO, SCHAEFER (8)

NOES: NONE (0)

ABSTAIN: NONE (0)

ABSENT: NONE (0)

*****END OF BUSINESS CALENDAR*****

COMMENTS

12. STAFF MEMBER COMMENTS:

Planning Manager Fregoso:

- Provided an update on the Historic Resources Commission memo recommendations.
- Announced that he will be retiring in December 2020.

Executive Director Thai:

- Congratulated Planning Manager Fregoso on his retirement.

13. COMMISSION MEMBER COMMENTS

Commissioner Pena-Sarmiento:

- Thanked staff.
- Commented on the Historic Preservation Element on the General Plan Update; formulate a pipeline to commemorate and recognize historical properties

Commissioner Hitterdale

- Thanked staff
- Congratulated Planning Manager Fregoso on his retirement.

Commissioner Rivera

- Thanked staff

Commissioner Hardy

- Thanked staff
- Congratulated Planning Manager Fregoso on his retirement.

Commissioner Murashie

- Thanked staff
- Happy Holidays

Commissioner Schaefer

- Congratulated Planning Manager Fregoso on his retirement.
- Happy to have served on the Commission

- Thanked staff
- Congratulated applicants and award winners

Vice Chair Rush

- Congratulated Planning Manager Fregoso on his retirement.
- Happy with the reduced application fees
- Congratulated the applicants

Chair Christy

- Thanked staff and Commissioner for their efforts
- Congratulated the applicants
- Requested plaques be placed on historical properties
- Happy Holidays

ADJOURNED IN MEMORY OF ROB RICHARDSON

7:46 P.M. The next meeting of the Historic Resources Commission will be on January 7, 2021 at 4:30 p.m.

/s/ Sarah Bernal
Recording Secretary



**City of Santa Ana
20 Civic Center Plaza, Santa Ana, CA 92701
Historic Resources Commission Staff Report
March 25, 2021**

Topic: HPPA No. 2020-18 - Ayers House

RECOMMENDED ACTION

Recommend that the City Council authorize the City Manager and Clerk of the Council to execute a Historic Property Preservation Agreement (Mills Act) with Bradley Lewis Owen and Santiago Munoz Jr. for the property located at 824 North Garfield Street, subject to non-substantive changes approved by the City Manager and City Attorney (Exhibit 1).

EXECUTIVE SUMMARY

Bradley Lewis Owen and Santiago Munoz Jr. are requesting approval to execute a Mills Act Agreement with the City of Santa Ana at an existing residence located at 824 North Garfield Street that is currently listed on the Santa Ana Register of Historical Properties.

DISCUSSION

Project Location and Site Description

The subject property, known as the Ayers House, consists of an existing single-story Bungalow/Craftsman style residence that is approximately 980 square feet in size on a 5,625-square-foot residential lot (Exhibit 2). The Ayers House was listed in the National Register of Historic Places in 1999 as a contributor to the French Park Historic District. The home was subsequently added to the Santa Ana Register of Historical Properties in 2002 and categorized as "Contributive."

Analysis of the Issues

Ordinance No. NS-2382 authorized the Historic Resources Commission to execute Historic Property Preservation Agreements (HPPA), commonly known as Mills Act agreements for eligible properties. The property is listed on the Santa Ana Register of Historical Properties and categorized as Contributive, making it eligible for a Mills Act agreement. The agreement provides monetary incentives to the property owner in the

form of a property tax reduction in exchange for the owner's voluntary commitment to maintain the property in a good state of repair as necessary to maintain its character and appearance. Once recorded, the agreement generates a different valuation method in determining the property's assessed value, resulting in tax savings for the owner. Aside from the tax savings, the benefits include:

- Long term preservation of the property and visual improvement to the neighborhood
- Allows for a mechanism to provide for property rehabilitation
- Provides additional incentive for potential buyers to purchase historic structures
- Discourages inappropriate alterations to the property

In 2002, the Historic Resources Commission placed the Ayers House on the historical register and within the "contributive" category because it "contributes to the overall character and history" of the French Park neighborhood through its style and type, is a "good example" of the Bungalow/Craftsman style and "has not been substantially altered." In addition, the Ayers House was deemed architecturally significant as a representative example of a small Craftsman bungalow from the first decade of the twentieth century and as an important contributor to the French Park Historic District. Character-defining features of the Ayers House determined architecturally significant include, but are not limited to: gabled roof with rafter tails and broad eaves, attached porch with battered posts, and massing; materials (wood) and finishes (siding); roof configuration; massing; porch; windows and window surrounds; and architectural details.

Since its listing on the Historic Register in 2002, the property owner has replaced the roof; changed out of one window and one man-door; remodeled the existing bathroom and kitchen; repaired siding on the residence and garage; and installed solar panels. The property has no identified unauthorized modifications. Upon consideration of the application, it is recommended that the City enter into a Historic Property Preservation Agreement.

ENVIRONMENTAL IMPACT

Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15331 of the CEQA Guidelines (Class 31 – Historical Resource Restoration/Rehabilitation) as these actions are designed to preserve historic resources. Based on this analysis, a Notice of Exemption, Environmental Review No. 2021-05 will be filed for this project.

FISCAL IMPACT

The Historic Property Preservation Agreement will reduce the Property Tax revenue account 01102002-50011 to the City by an estimated \$394.94 annually, for a period of not less than ten years.

HPPA No. 2020-18 - Ayers House
March 25, 2021
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EXHIBIT(S)

- 1 - Mills Act Agreement
- 2 - 500' Radius Map
- 3 - Site Photos – 824 North Garfield Street

Submitted By:
Pedro Gomez, AICP, Associate Planner

Approved By:
Minh Thai, Executive Director of Planning and Building Agency, Planning and Building
Agency

RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:

City of Santa Ana
20 Civic Center Plaza (M-30)
Santa Ana, CA 92702
Attn: Clerk of the Council

FREE RECORDING PURSUANT TO GOVERNMENT CODE § 27383

HISTORIC PROPERTY PRESERVATION AGREEMENT

This Historic Property Preservation Agreement (“Agreement”) is made and entered into by and between the City of Santa Ana, a charter city and municipal corporation duly organized and existing under the Constitution and laws of the of the State of California (hereinafter referred to as “City”), and **Bradley Lewis Owen and Santiago Munoz Jr., As Trustees of the Bradley Lewis Owen and Santiago Munoz Jr. Trust, dated January 30, 2015**, (hereinafter collectively referred to as “Owner”), owner of real property located at **824 North Garfield Street, Santa Ana, California**, in the County of Orange and listed on the Santa Ana Register of Historical Properties.

RECITALS

- A. The City Council of the City of Santa Ana is authorized by California Government Code Section 50280 et seq. (known as the “Mills Act”) to enter into contracts with owners of qualified historical properties to provide for appropriate use, maintenance, rehabilitation and restoration such that these historic properties retain their historic character and integrity.
- B. The Owner possesses fee title in and to that certain qualified real property together with associated structures and improvements thereon, located at **824 North Garfield Street, Santa Ana, CA, 92701** and more particularly described in Exhibit “A,” attached hereto and incorporated herein by reference, and hereinafter referred to as the “Historic Property”.
- C. The Historic Property is officially designated on the Santa Ana Register of Historical Properties pursuant to the requirements of Chapter 30 of the Santa Ana Municipal Code.
- D. City and Owner, for their mutual benefit, now desire to enter into this Agreement which defines and limits the use and alteration of this Historic Property in order to enhance and maintain its value as a cultural and historical resource for Owner and for the community; to prevent inappropriate alterations to the Historic Property and to ensure that repairs, additions, new building, and other changes are appropriate; and to ensure that rehabilitation and maintenance are carried out in an exemplary manner.

- E. Owner and City intend to carry out the purposes of California Government Code, Chapter 1, Part 5 of Division 1 of Title 5, Article 12, Section 50280 et seq., which will enable the Historic Property to qualify for an assessment of valuation as a restricted historical property pursuant to Article 1.9, Sec. 439 et seq., Chapter 3 Part 2 of Division 1 of the California Tax and Revenue Code.

NOW, THEREFORE, the City of Santa Ana and the Owner of the Historic Property agree as follows:

1. Effective Date and Terms of Agreement.

This Agreement shall be effective and commence on **May 5, 2021**, and shall remain in effect for a term of ten (10) years thereafter. Each year, upon the anniversary of the effective date of this Agreement, such initial term will automatically be extended as provided in California Government Code Sections 50280 through 50290 and in Section 2, below.

2. Renewal.

a. Each year on the anniversary of the effective date of this Agreement, a year shall automatically be added to the initial ten (10) year term of this Agreement unless written notice of nonrenewal is served as provided herein.

b. If the Owner or the City desire(s) in any year not to renew the Agreement, the Owner or City shall serve written notice of nonrenewal of the Agreement on the other party. Unless such notice is served by the Owner to the City at least ninety (90) days prior to the annual renewal date, or served by the City to the Owner at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the term of the Agreement as provided herein.

c. Within 30 days from receipt of City's notice of nonrenewal, the Owner may file a written protest of City's decision of nonrenewal. The City may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to the Owner of nonrenewal.

d. If either the Owner or the City serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, either from its original execution or from the last renewal of the Agreement, whichever may apply.

3. Standards and Conditions for Historic Property.

During the term of this Agreement, the Historic Property shall be subject to the following conditions, requirements and restrictions:

a. Owner shall maintain the Historic Property in a good state of repair and shall preserve, maintain, and, where necessary, restore or rehabilitate the property and its character-defining features described in the "Historical Property Description" attached hereto, marked as Exhibit B, notably the general architectural form, style, materials, design, scale, proportions,

organization of windows, doors, and other openings, textures, details, mass, roof line, porch and other aspects of the appearance of the exterior to the satisfaction of the City.

b. All changes to the Historic Property shall comply with applicable City plans and regulations, and conform to the rules and regulations of the Office of Historic Preservation of the State Department of Parks and Recreation, namely the U.S. Secretary of the Interior's Standards and Guidelines for Historic Preservation Projects. These guidelines are attached hereto, marked as Exhibit C, and incorporated herein by this reference. Owner shall continually maintain the Historic Property in the same or better condition.

c. A view corridor enabling the general public to see the Historic Property from the public right-of-way shall be maintained, and Owner shall not be permitted to block the view corridor to the property with any new structure, such as walls, fences or shrubbery, so as to prevent the viewing of the historic landmark by the public.

d. The following are prohibited: demolition of the Historic Property or destruction of character-defining features of the building or site; removal of trees and other major vegetation unless removal is approved by a rehabilitation plan approved by the Historic Resources Commission; paving of yard surface; exterior alterations or additions unless approved by the Historic Resources Commission and such alterations are in keeping with the Secretary of Interior's Standards; deteriorating, dilapidated or unrepaired structures such as fences, roofs, doors, walls, and windows; storage of junk, trash, debris, discarded or unused objects such as cars, appliances, or furniture; and other unsightly by decoration, structure or vegetation which is unsightly by reason of its height, condition, or inappropriate location.

e. Owner shall allow reasonable periodic inspection by prior appointment, as needed or at least every five (5) years after the initial inspection, of the interior and exterior of the Historic Property by representatives of the City of Santa Ana, the County Assessor, the State Department of Parks and Recreation, and the State Board of Equalization, to determine the Owner's compliance with the terms and provisions of this Agreement.

4. Furnishing of Information.

The Owner hereby agrees to furnish the City with any and all information requested which may be necessary or advisable to determine compliance with the terms and provisions of this Agreement.

5. Cancellation.

a. The City, following a duly noticed public hearing by the City Council as set forth in Government Code Section 50280, et. seq., may cancel this Agreement if it determines that the Owner have breached any of the conditions of this Agreement, or has allowed the property to deteriorate to the point that it no longer meets the standards for a qualified Historic Property, or if the City determines that the Owner have failed to restore or rehabilitate the property in the manner specified in Section 3 of this Agreement. If a contract is cancelled for these reasons, the Owner shall pay a cancellation fee to the County Auditor as set forth in Government Code

Section 50286. This cancellation fee shall be a percentage (currently set at twelve and one-half (12 ½) percent by Government Code Section 50286) of the current fair market value of the property at the time of the cancellation, as determined by the county assessor, without regard to any restriction imposed pursuant to this Agreement.

b. If the Historic Property is destroyed by earthquake, fire, flood or other natural disaster such that in the opinion of the City Building Official more than sixty (60) percent of the original fabric of the structure must be replaced, this Agreement shall be canceled immediately because, in effect, the historic value of the structure will have been destroyed. No fee shall be imposed in the case of destruction by acts of God or natural disaster.

c. If the Historic Property is acquired by eminent domain and the City Council determines that the acquisition frustrates the purpose of this Agreement, this Agreement shall be cancelled and no fee imposed, as specified in Government Code Section 50288.

6. Enforcement of Agreement.

a. In lieu of and/or in addition to any provisions to cancel the Agreement as referenced herein, City may specifically enforce, or enjoin the breach of, the terms of the Agreement. In the event of a default, under the provisions to cancel the Agreement by Owner, the City shall give written notice to Owner by registered or certified mail, and if such a violation is not corrected to the reasonable satisfaction of the City Manager or designee within thirty (30) days thereafter, or if not corrected within such a reasonable time as may be required to cure the breach or default, or default cannot be cured within thirty (30) days (provided that acts to cure the breach or default may be commenced within thirty (30) days and shall thereafter be diligently pursued to completion by Owner), then City may, without further notice, declare a default under the terms of this Agreement and may bring any action necessary to specifically enforce the obligations of Owner growing out of the terms of this Agreement, apply to any court, state or federal, for injunctive relief against any violation by Owner or apply for such relief as may be appropriate.

b. City does not waive any claim of default by the Owner if City does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for in this Agreement or in City's regulations governing historic properties are available to City to pursue in the event that there is a breach of this Agreement. No waiver by City of any breach or default under this Agreement shall be deemed to be a waiver of any other subsequent breach thereof or default hereunder.

7. Binding effect of Agreement.

a. Owner hereby subjects the Historic Property, located at **824 North Garfield Street**, Assessor Parcel Number, **398-042-12**, and more particularly described in Exhibit A, in the City of Santa Ana, to the covenants, conditions, and restrictions as set forth in this Agreement.

b. City and Owner hereby declare their specific intent that the covenants, conditions and restrictions as set forth herein shall be deemed covenants running with the land and shall

pass to and be binding upon Owner's successors and assigns in title or interest to the Historic Property. Every contract, deed, or other instrument hereinafter executed, covering or conveying the Historic Property or any portion thereof, shall conclusively be held to have been executed, delivered, and accepted subject to the tenants, restrictions, and reservations expressed in this Agreement regardless of whether such covenants, conditions and restrictions are set forth in such contract, deed, or other instrument.

8. No Compensation.

Owner shall not receive any payment from City in consideration of the obligation imposed under this Agreement, it being recognized that the consideration for the execution of this Agreement is the substantial public benefit to be derived therefrom and the advantage that will accrue to Owner as a result of the effect upon the assessed value of the Property on the account of the restrictions on the use and preservation of the Property.

9. Notice.

Any notice required by the terms of this Agreement shall be sent to the address of the respective parties as specified below or at other addresses that may be later specified by the parties hereto.

City: City of Santa Ana
20 Civic Center Plaza (M-30)
Santa Ana, CA 92702
Attn: Clerk of the Council

Owners: Bradley Lewis Owen and Santiago Munoz Jr.
824 North Garfield Street
Santa Ana, CA 92701

10. General Provisions.

a. None of the terms, provisions, or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors, or assigns, nor shall such terms, provisions or conditions cause them to be considered joint ventures or members of any joint enterprise.

b. The Owner agrees to and shall indemnify and hold the City and its elected and appointed officials, officers, agents, and employees harmless from liability for damage or claims for damage for personal injuries, including death, and claims for property damage which may arise from the direct or indirect use or operations of the Owner or those of his or her contractor, subcontractor, agent, employee, or other person acting on his or her behalf which relates to the use, operation, and maintenance of the Historic Property. The Owner hereby agrees to and shall defend the City and its elected and appointed officials, officers, agents, and employees with respect to any and all actions for damages caused by, or alleged to have been caused by, reason of the Owner's activities in connection with the Historic Property.

c. This hold harmless provision applies to all damages and claims for damages suffered, or alleged to have been suffered, and costs of defense incurred, by reason of the operations referred to in this Agreement regardless of whether or not City prepared, supplied, or approved the plans, specifications or other documents for the Historic Property.

d. All of the agreements, rights, covenants, conditions, and restrictions contained in this Agreement shall be binding upon and shall inure to the benefit of the parties herein, their heirs, successors, legal representatives, assigns, and all persons acquiring any part or portion of the Historic Property, whether by operation of law on in any manner whatsoever.

e. In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations, or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to court costs and other relief ordered by the court.

f. In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be effected thereby.

g. This Agreement shall be construed and governed in accordance with the laws of the State of California, with venue in Orange County.

11. Recordation.

No later than twenty (20) days after the parties execute and enter into this Agreement, the City shall cause this Agreement to be recorded in the office of the County Recorder of the County of Orange.

12. Amendments.

This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.

13. Effective Date

This Agreement shall be effective on the day and year first written above in Section 1.

{Signature page follows}

ATTEST:

CITY OF SANTA ANA

DAISY GOMEZ
Clerk of the Council

KRISTINE RIDGE
City Manager

OWNER

Date: _____

By: _____
BRADLEY LEWIS OWEN
TRUSTEE OF THE BRADLEY LEWIS
OWEN AND SANTIAGO MUNOZ JR.
TRUST, DATED JANUARY 30, 2015

Date: _____

By: _____
SANTIAGO MUNOZ JR.
TRUSTEE OF THE BRADLEY LEWIS
OWEN AND SANTIAGO MUNOZ JR.
TRUST, DATED JANUARY 30, 2015

APPROVED AS TO FORM:

RECOMMENDED FOR APPROVAL:

SONIA CARVALHO
City Attorney

By: _____
JOHN M. FUNK
Assistant City Attorney

MINH THAI
Executive Director
Planning and Building Agency

**EXHIBIT A
LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

THE REAL PROPERTY SITUATED IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: LOT 27 AND THE SOUTHERLY HALF OF LOT 28 IN BLOCK 74, TOWN OF SANTA ANA EAST, IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER MAP RECORDED AS L.A. BOOK 1, PAGES 93 AND 94 OF MAPS, IN THE OFFICE OF THE ORANGE COUNTY RECORDER.

Assessor's Parcel Number: 398-042-12

Exhibit C

Exterior work shall be reviewed by the Historic Resources Commission and subject to the U.S. Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, as follows:

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
2. The distinguishing original qualities or character of a building, structure or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from the other buildings or structures.
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
8. Every reasonable effort shall be made to protect and reserve archaeological resources affected by, or adjacent to any project.
9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with

size, scale, color, material and character of the property, neighborhood, or environment.

10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations need to be removed in the future, the essential form and integrity of the structure would be unimpaired.

EXECUTIVE SUMMARY

AYERS HOUSE
824 North Garfield Street
Santa Ana, CA 92701

NAME	Ayers House			REF. NO.
ADDRESS	824 North Garfield Street			
CITY	Santa Ana	ZIP	92701	ORANGE COUNTY
YEAR BUILT	1909	LOCAL REGISTER CATEGORY: Contributive		
HISTORIC DISTRICT	French Park	NEIGHBORHOOD	French Park	
NATIONAL REGISTER CRITERIA FOR EVALUATION	C	NATIONAL REGISTER STATUS CODE	1D	

Location: Not for Publication Unrestricted

Prehistoric Historic Both

ARCHITECTURAL STYLE: Bungalow/Craftsman

Closely related to the English Arts and Crafts Movement, American Bungalow/Craftsman architecture was popularized by *The Craftsman* magazine and architects such as Charles and Henry Greene of Pasadena. It drew from the wood building traditions of Japan and Switzerland as well as the medieval themes favored by the Arts and Crafts philosophers. Craftsman architecture stressed honesty of form, materials, and workmanship, eschewing applied decoration in favor of the straightforward expression of structure. A new appreciation of nature was evident in horizontal lines that reached out to embrace the landscape and the incorporation of capacious porches into building plans. Primarily a residential style, Craftsman architecture can be identified by low pitched gable and hipped roofs with exposed rafters and beams in deep overhangs; wood lap or shingle siding and an occasional use of stucco; extensive use of stone or brick as a secondary material; horizontal emphasis apparent in roof lines, headers, and battered porch supports; and broadly proportioned wood framed windows, often clustered in bands. Craftsman homes were built from circa 1902 until the early 1920s.

SUMMARY/CONCLUSION:

The Ayers House was listed in the National Register of Historic Places in 1999 as a contributor to the French Park Historic District. Under the regulations implementing the California Register of Historical Resources, the building is also listed in the California Register. It also qualifies for listing in the Santa Ana Register of Historical Property under Criterion 1 as representative of the distinguishing characteristics of the Bungalow/Craftsman style from the first decade of the twentieth century. Additionally, the house has been categorized as "Contributive" because it "contributes to the overall character and history" of the French Park neighborhood through its style and type, is a "good example" of the Bungalow/Craftsman style and "has not been substantially altered" (Municipal Code, Section 30-2.2).

EXPLANATION OF CODES:

- **National Register Criteria for Evaluation:** (From Appendix 7 of Instructions for Recording Historical Resources, Office of Historic Preservation)
C: that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction.
- **National Register Status Code:** (From Appendix 2 of Instructions for Recording Historical Resources, Office of Historic Preservation)
1D: Contributor to a listed district.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 3 Resource name(s) or number (assigned by recorder) *Ayers House*

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*b. USGS 7.5' Quad *TCA 1725*

*c. Address *824 North Garfield Street*

*e. Other Locational Data: Assessor's Parcel Number *398-042-12* Santa Ana East Lot: *27* Block: *74*(and SLY 1/2 Lot: *28* Block *74*)

*a. County *Orange County*

Date:

City *Santa Ana*

Zip *92701*

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)

A front-facing gable caps this symmetrical, one-story Craftsman bungalow. A triangular, vertically lathed vent distinguishes the gable peak and rafter tails project beneath deep eaves. The east-facing house is clapboard sided and edged with corner boards. Tripartite windows of double-hung sash bordered by double-hung sidelights are north and south of the center entrance. Window and door surrounds are plain. A broad shed roof with center gable covers the attached porch. Clapboard sheathes the porch gable face. Battered posts on stucco-covered pedestals with concrete caps support sturdy porch roof beams. Concrete steps with stuccoed stair walls lead to a porch entrance flanked by heavy, squared, concrete-capped pedestals. A wooden, vertical slat balustrade encloses the porch space. A scalloped, red brick border topped by a white picket fence surrounds the front yard. The building appears to be mostly original except for the metal security door and picket fence.

*P3b. Resource Attributes: (list attributes and codes) *HP2. Single-family Property*

*P4. Resources Present: Building Structure Object Site District Element of District Other

P5a. Photo



*P5b. Photo: (view and date)

East elevation

May 2002

*P6. Date Constructed/Age and

Sources: historic

1909/ Source: National Register nomination.

*P7. Owner and Address:

*P8. Recorded by:

Leslie J. Heumann, Peter C. Moruzzi

SAIC

*35 S. Raymond Ave. # 204
Pasadena, CA 91105*

*P9. Date Recorded:

June 7, 2002

*P10. Survey Type:

Intensive Survey Update

*P11. Report Citation: (Cite survey report and other sources, or enter "none")

Les, Kathleen. "Historic Resources Inventory French Park District," September 1979.

Marsh, Diann. "French Park Historic District." National Register Nomination Form, February 1998.

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or #: *Ayers House*

- B1. Historic Name: *Ayers House*
- B2. Common Name: *Same*
- B3. Original Use: *Single-family Residence*
- B4. Present Use: *Single-family Residence*

*B5. Architectural Style: *Bungalow/Craftsman*

*B6. Construction History: (Construction date, alterations, and date of alterations): *Constructed in 1909.*

May 11, 1921. Garage.

May, 1922. Residence alterations.

July 8, 1985. Demolish existing garage, construct new garage.

July 8, 1985. Repair existing structure.

October 25, 1988. Legalize unpermitted partition wall in bathroom, subfloor, floor cover, laundry, wood siding, doors windows, gates.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features:

None.

B9a. Architect: *Unknown*

b. Builder: *Unknown*

*B10. Significance: Theme *Residential Architecture*

Area *Santa Ana*

Period of Significance: *circa 1880-1946* Property Type: *Single-family Residence*

Applicable Criteria: *C*

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

The Ayers House is architecturally significant as a representative example of a small Craftsman bungalow from the first decade of the twentieth century. It is also important as a contributor to the French Park Historic District. According to earlier research, the house was built for the retired Emmon Ayers. One year later, Charles and Carrie Preston resided in the home, staying for four years. Sylvester and Ida Deck were owners from 1912 until the late 1920s. Mr. Deck, a carpenter, was also the owner of a pool hall located at 412 North Main Street (Marsh, 1998).

(See Continuation Sheet 3 of 3.)

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

- City of Santa Ana Building Permits*
- Santa Ana History Room Collection, Santa Ana Public Library*
- Sanborn Maps*

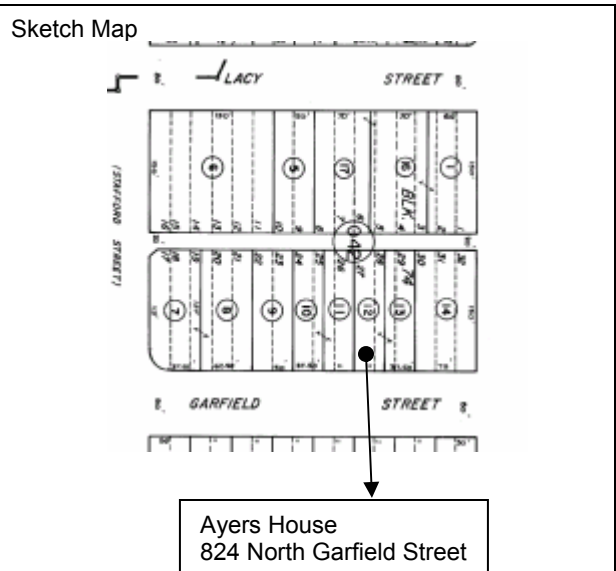
(See Continuation Sheet 3 of 3.)

B13. Remarks:

*B14. Evaluator: *Leslie J. Heumann*

*Date of Evaluation: *June 7, 2002*

(This space reserved for official comments.)



***B10. Significance (continued):**

Santa Ana was founded by William Spurgeon in 1869 as a speculative town site on part of the Spanish land grant known as Rancho Santiago de Santa Ana. In 1877, Spurgeon, along with James McFadden and James Fruit, formed the Western Development Company with the intention of bringing the Southern Pacific Railroad from its then terminus in Anaheim into Santa Ana. Thinking to capitalize on commercial growth around the railroad, the partners purchased 160 acres adjacent to the eastern city boundary at French Street. Although they were successful in luring the Southern Pacific to a new depot on Fruit Street in Santa Ana in 1878, the expected commercial development of "Santa Ana East" never materialized. Early growth and development of the town continued to be centered further west around Fourth and Main Streets, with the result that the legacy of Santa Ana East is an angled street plan whose intersection with the original city is marked by a small, triangular parcel, developed in the 1890s as Flatiron Park, now known as French Park. Santa Ana continued to grow, stimulated by the arrival of the Santa Fe Railroad in 1886. Following its incorporation as a city in 1886, Santa Ana was recognized as one of the leading communities in the area in 1889 when it became the seat of the newly created County of Orange.

Beginning in the 1880s and continuing well into the twentieth century, the area around the park began to be developed with many of the finest homes in Santa Ana. Examples of Victorian era, turn of the century, and Craftsman homes were built along the tree-lined streets. By the 1920s, most streets in the neighborhood were fully developed, although a few revival styled single family homes and duplexes were built during the 1920s, and a handful of apartments constructed in the 1930s. From the nineteenth century onwards, residents were a "Who's Who" of early Santa Ana, and included bankers, attorneys, doctors, businessmen, ranchers, teachers and others active in the civic and social life of the city.

Once known as the "Nob Hill" of Santa Ana, French Park declined in the 1940s and 1950s as some homes were converted into rooming houses and others were allowed to deteriorate. In the 1960s and 1970s some houses were demolished and the properties redeveloped with multi-family housing. However, a grass roots preservation effort begun in the late 1970s led to the establishment of a local historic district in 1984 and the listing of the neighborhood in the National Register of Historic Places in 1999.

The Ayers House was listed in the National Register of Historic Places in 1999 as a contributor to the French Park Historic District. It is therefore listed in the California Register of Historical Resources and is located within the boundaries of the locally designated historic district. It also qualifies for listing in the Santa Ana Register of Historical Property under Criterion 1 as representative of the distinguishing characteristics of the Bungalow/Craftsman style from the first decade of the twentieth century. Additionally, the house has been categorized as "Contributive" because it "contributes to the overall character and history" of the French Park neighborhood through its style and type, is a "good example" of the Bungalow/Craftsman style and "has not been substantially altered." Characteristic Craftsman features include gabled roof with rafter tails and broad eaves, attached porch with battered posts, and massing. Character-defining exterior features of the Ayers House that should be preserved include, but may not be limited to: materials (wood) and finishes (siding); roof configuration; massing; porch; windows and window surrounds; and architectural details such as rafter tails.

***B12. References (continued):**

- Harris, Cyril M. American Architecture: An Illustrated Encyclopedia. New York, WW Norton, 1998.*
Marsh, Diann. Santa Ana, An Illustrated History. Encinitas, Heritage Publishing, 1994.
McAlester, Virginia and Lee. A Field Guide to American Houses. New York: Alfred A. Knopf, 1984.
National Register Bulletin 16A. "How to Complete the National Register Registration Form." Washington DC: National Register Branch, National Park Service, US Dept. of the Interior, 1991.
Office of Historic Preservation. "Instructions for Recording Historical Resources." Sacramento: March 1995.
Whiffen, Marcus. American Architecture Since 1780. Cambridge: MIT Press, 1969.



HPPA-2020-18
AYERS HOUSE
824 NORTH GARFIELD STREET
SITE PHOTOS
EXHIBIT 3



**City of Santa Ana
20 Civic Center Plaza, Santa Ana, CA 92701
Historic Resources Commission Staff Report
March 25, 2021**

Topic: Certified Local Government 2019-2020 Annual Report

RECOMMENDED ACTION

Receive and File.

EXECUTIVE SUMMARY

Certified Local Government historic preservation programs are required to submit an annual report to the State Office of Historic Preservation and the National Park Service to summarize the achievement and activities of the local agency prior to the annual March 31, 2021 deadline.

DISCUSSION

Background

The National Historic Preservation Act provides for the establishment of Certified Local Government Programs (CLG) to encourage the direct participation of local governments in the identification, evaluation, registration, and preservation of historic properties within their jurisdictions. In addition, the program promotes the integration of local preservation interests into local planning and decision-making processes. The program is a partnership among local governments, the State of California Office of Historic Preservation (OHP), and the National Park Service (NPS), which is responsible for administering the National Historic Preservation Program.

With City Council endorsement in 2001, the City of Santa Ana applied for and was accepted into the CLG program. Each year, CLG communities are required to submit an annual report to assist OHP in tracking the local preservation program's ongoing activities. The Santa Ana CLG Annual Report (Exhibit 1) will be submitted to California OHP prior to the March 31, 2021 deadline. The report summarizes the achievement and activities of Santa Ana's Historic Preservation Program during the October 1, 2019 through September 30, 2020 timeframe. These achievements include five Mills Act

Agreements, seven certificates of appropriateness, continued efforts on the Draft Historic Preservation Element, and the Historic Resources Commission's efforts to advise and make recommendations to the City Council, to enhance historic resource preservation within the City.

The annual report also identifies goals for the Santa Ana Historic Program for 2020-2021 such as complying with state legislation requiring inspection of Mills Act properties (Every 5 years), establishing Design Guidelines for historic properties; and undergoing Historic Contexts and Surveys. In addition, the City's goals include addressing Historic Resources Commission and City Council directives for mid-term and long-term actions, including but not limited to: 1) updating design guidelines; 2) identifying neighborhoods as Historic Sensitive Areas (HSA); 3) providing workshops and conducting outreach in order to develop policies and guidelines for each HSA; 4) developing a Tree Preservation Ordinance; and 5) Developing a Local District Designation Program (develop goals, policies, procedures, etc.)

ENVIRONMENTAL IMPACT

There is no environmental impact associated with this action.

FISCAL IMPACT

There is no fiscal impact associated with this action.

EXHIBIT(S)

1. Draft 2019/2020 Annual CLG Report

Submitted By:
Pedro Gomez, AICP, Associate Planner

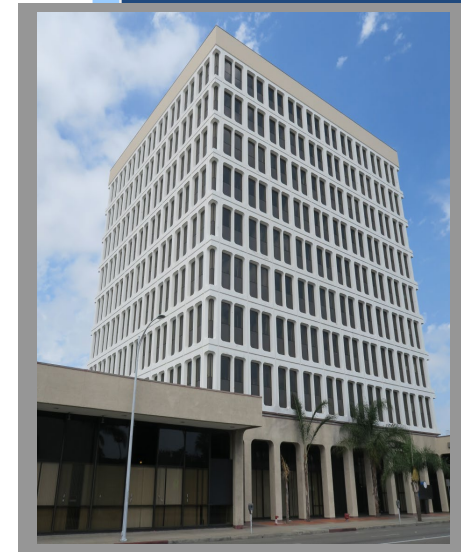
Approved By:
Minh Thai, Executive Director of Planning and Building Agency, Planning and Building Agency

CITY OF SANTA ANA, CALIFORNIA

2019-20

**ANNUAL CERTIFIED
LOCAL GOVERNMENT
REPORT**

OCTOBER 1, 2019 THROUGH SEPTEMBER 30, 2020



**City of Santa Ana
Planning Division
20 Civic Center Plaza M-20
Santa Ana, CA 92702
(714) 647-5804
www.santa-ana.org**

Certified Local Government Program -- 2019-2020 Annual Report

(Reporting period is from October 1, 2019 through September 30, 2020)

INSTRUCTIONS: This a Word form with expanding text fields and check boxes. It will probably open as Read-Only. Save it to your computer before you begin entering data. This form can be saved and reopened.

Because this is a WORD form, it will behave generally like a regular Word document except that the font, size, and color are set by the text field.

- Start typing where indicated to provide the requested information.
- Click on the check box to mark either yes or no.
- To enter more than one item in a particular text box, just insert an extra line (Enter) between the items.

Save completed form and email as an attachment to Lucinda.Woodward@parks.ca.gov. You can also convert it to a PDF and send as an email attachment. Use the Acrobat tab in WORD and select Create and Attach to Email. You can then attach the required documents to that email. If the attachments are too large (greater than 10mb total), you will need to send them in a second or third email.

Name of CLG
City of Santa Ana

Report Prepared by: **Pedro Gomez**

Date of commission/board review: **March 25, 2021**

MINIMUM REQUIREMENTS FOR CERTIFICATION

I. Enforce Appropriate State or Local Legislation for the Designation and Protection of Historic Properties.

A. Preservation Laws

1. What amendments or revisions, if any, are you considering to the certified ordinance? Please forward drafts or proposals.

REMINDER: Pursuant to the CLG Agreement, OHP must have the opportunity to review and comment on ordinance changes prior to adoption. Changes that do not meet the CLG requirements could affect certification status.

No changes proposed.

2. Provide an electronic link to your ordinance or appropriate section(s) of the municipal/zoning code.

https://library.municode.com/ca/santa_ana/codes/code_of_ordinances?nodeId=PTIITHCO_CH30PLHIARSI

Certified Local Government Program -- 2019-2020 Annual Report

(Reporting period is from October 1, 2019 through September 30, 2020)

B. New Local Landmark Designations (Comprehensive list of properties/districts designated under local ordinance, HPOZ, etc.)

1. During the reporting period, October 1, 2019 – September 30, 2020, what properties/districts have been locally designated?

Property Name/Address	Date Designated	If a district, number of contributors	Date Recorded by County Recorder
None	N/A		N/A

REMINDER: Pursuant to California Government Code § 27288.2, “the county recorder shall record a certified resolution establishing an historical resources designation issued by the State Historical Resources Commission or a local agency, or unit thereof.”

2. What properties/districts have been de-designated this past year? For districts, include the total number of resource contributors?

Property Name/Address	Date Removed	Reason
None	NA	NA

C. Historic Preservation Element/Plan

1. Do you address historic preservation in your general plan? No
 Yes, in a separate historic preservation element. Yes, it is included in another element.

Provide an electronic link to the historic preservation section(s) of the General Plan. <https://www.santa-ana.org/sites/default/files/pb/general-plan/documents/Revised%20Elements/LandUse%20-%209-1-20.pdf>

Certified Local Government Program -- 2019-2020 Annual Report

(Reporting period is from October 1, 2019 through September 30, 2020)

2. Have you made any updates to your historic preservation plan or historic preservation element in your community's general plan? Yes No If you have, provide an electronic link. Type here.
3. When will your next General Plan update occur? **The City of Santa Ana has embarked in a multi-year effort to provide a comprehensive General Plan Update, which will include a new Historic Preservation Element to affirm Santa Ana's commitment to preservation. The General Plan Update is anticipated to be complete by late 2021. Currently, the City has a Draft General Plan available for review: <https://www.santa-ana.org/general-plan/draft-documents>. The Draft Historic Preservation Element can be found here: <https://www.santa-ana.org/sites/default/files/pb/general-plan/documents/Public%20Review%20Draft/3%20-%20Historic%20Preservation%20Element.pdf>**

D. Review Responsibilities

1. Who takes responsibility for design review or Certificates of Appropriateness?

- All projects subject to design review go the commission.
- Some projects are reviewed at the staff level without commission review. What is the threshold between staff-only review and full-commission review? **Like-for-like changes can be reviewed administratively, as well as minor modifications on a non-primary elevation such as signs, exterior lighting, and restoration. All other projects require commission approval.**

2. California Environmental Quality Act

- What is the role of the staff and commission in providing input to CEQA documents prepared for or by the local government? **If the CEQA document involves a historic resource, it will be presented to the Historic Resources Commission for their input.**

What is the role of the staff and commission in reviewing CEQA documents for projects that are proposed within the jurisdiction of the local government? **Any CEQA document for projects within the jurisdiction of the local government is brought to the Historic Resources Commission in the form of a Study Session and to receive their input.**

Certified Local Government Program -- 2019-2020 Annual Report

(Reporting period is from October 1, 2019 through September 30, 2020)

3. Section 106 of the National Historic Preservation Act

- What is the role of the staff and commission in providing input to Section 106 documents prepared for or by; the local government? **Staff prepares Section 106 documents and if any historic structures may be affected, the document will be brought to the Historic Resources Commission for input.**
- What is the role of the staff and commission in reviewing Section 106 documents for projects that are proposed within the jurisdiction of the local government? **The Planning Division staff-person supporting the functions of the Historic Resources Commission prepares Section 106 documents for the City, and if any historic resource may be affected, the Historic Resources Commission is notified**

II. Establish an Adequate and Qualified Historic Preservation Review Commission by State or Local Legislation.

A. Commission Membership

Name	Professional Discipline	Date Appointed	Date Term Ends	Email Address
Alberta D. Christy	Other	12/2011	12/2022	achristy@aol.com
Ginelle A. Hardy	Graphic Artist	1/2017	12/2020	ginelleann@gmail.com
Laurence Hitterdale	Computer Science	2/2010	12/2020	larry@glendale.edu
Ed Murashie	Civil Engineer	1/2015	12/2020	emurashie@att.net
Tim Rush	Real Estate/Historian	2/2017	12/2022	timrush@bhscaprops.com
Phillip Schaefer	Architecture	7/2011	12/2020	PhilSchaefer1@gmail.com
Steven Nguyen	Other	12/2018	12/2019	Nguyensteven30@gmail.com
Mike Tardif	Urban Planning	**	Ongoing	mike@tardifsheetmetal.com
Felix Rivera	Other	*	Ongoing	Felix.Rivera@SAUSD.US
Sandra Pena Sarmiento	Artist/ Educator/ Arts Consultant	7/2020	12/2022	pocha@pocharte.com

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*Representative from the Planning Commission

**Representative from the Community Housing and Redevelopment Committee

Attach resumes and Statement of Qualifications forms for all members.

1. If you do not have two qualified professionals on your commission, explain why the professional qualifications not been met and how professional expertise is otherwise being provided. **N/A**
2. If all positions are not currently filled, why is there a vacancy, and when will the position will be filled? **N/A**

B. Staff to the Commission/CLG staff

1. Is the staff to your commission the same as your CLG coordinator? Yes No If not, who serves as staff?
2. If the position(s) is not currently filled, why is there a vacancy? **N/A**

Attach resumes and Statement of Qualifications forms for staff.

Name/Title	Discipline	Dept. Affiliation	Email Address
Pedro Gomez, AICP Associate Planner	Architecture/Urban and Regional Planning	Planning and Building Agency	Pgomez@santa-ana.org
Jill Arabe, AICP Senior Planner	Geography/Urban and Regional Planning	Planning and Building Agency	Jarabe@santa-ana.org
Ali Pezeshkpour, AICP Principal Planner	Community and Regional Development/Urban and Regional Planning	Planning and Building Agency	Apezeshkpour@santa-ana.org

C. Attendance Record

Please complete attendance chart for each commissioner and staff member. Commissions are required to meet four times a year, at a minimum. If you haven't met at least four times, explain why not.

Commissioner/Staff	Oct	Oct	Jan	Feb	Jun	July
Alberta D. Christy	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Ginelle A. Hardy	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Laurence Hitterdale	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>

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Ed Murashie	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Tim Rush	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Phillip Schaefer	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Steven Nguyen	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Mike Tardif	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Felix Rivera	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Sandra Pena Sarmiento	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>

D. Training Received

Indicate what training each commissioner and staff member has received. Remember it is a CLG requirement is that all commissioners and staff to the commission attend at least one training program relevant to your commission each year. It is up to the CLG to determine the relevancy of the training.

Commissioner/Staff Name	Training Title & Description (including method presentation, e.g., webinar, workshop)	Duration of Training	Training Provider	Date
Pedro Gomez	Advanced Topics in CEQA and Section 106	5.5 hours	<ul style="list-style-type: none"> Information regarding how city-wide surveys are used in local permit application and CEQA review process How documentation of a resource's significance, integrity, and character-defining features relates to evaluating project impacts under CEQA, CA Public Resources Code 5024, and Section 106 of the National Historic Preservation Act. 	November 8, 2019

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			<ul style="list-style-type: none"> Recent changes to the CEQA Guidelines and legal precedents to understand emerging trends and hot topics for historical resources in CEQA. 	
Pedro Gomez	Context Is Everything: How to Prepare and Use Historic Context Statements	2-3 Hours	<ul style="list-style-type: none"> Identifying what a Historic Context Statement is and isn't Learning how to advocate for and fund a Historic Context Statement How to apply best professional practices and the latest online archival sources to create a thorough, comprehensive Historic Context Statement Lessons learned from a panel of city planners, historic preservation consultants, and stakeholders in commissioning and using effective Historic Context Statements 	September 10, 2020

III. Maintain a System for the Survey and Inventory of Properties that Furthers the Purposes of the National Historic Preservation Act

A. Historical Contexts: initiated, researched, or developed in the reporting year (excluding those funded by OHP)

NOTE: California CLG procedures require CLGs to submit survey results, including historic contexts, to OHP. If you have not done so, submit a copy (PDF or link if available online) with this report.

Context Name	Description	How it is Being Used	Date Submitted to OHP
None	N/A	N/A	N/A

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B. New Surveys or Survey Updates (excluding those funded by OHP)

NOTE: The evaluation of a single property is not a survey. Also, material changes to a property that is included in a survey, is not a change to the survey and should not be reported here.

Survey Area	Context Based-yes/no	Level: Reconnaissance or Intensive	Acreage	# of Properties Surveyed	Date Completed	Date Submitted to OHP
None	N/A	N/A	N/A	N/A	N/A	N/A

How are you using the survey data? **Prior Surveys used to better assess properties as owners propose alterations or homeowners self-nominate their properties to be designated to the Santa Ana Register of Historical Properties**

C. Corrections or changes to Historic Property Inventory

Property Name/Address	Additions/Deletions to Inventory	Status Code Change From _ To_	Reason	Date of Change
No changes other than additions in Part I.B.	N/A	N/A	N/A	N/A

IV. Provide for Adequate Public Participation in the Local Historic Preservation Program

A. Public Education

What public outreach, training, or publications programs has the CLG undertaken? How were the commissioners and staff involved? Please provide copy of (or an electronic link) to all publications or other products not previously provided to OHP.

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Item or Event	Description	Date
<p>Public Hearing – Consideration Of Options Related to the Recommendations Proposed by the Historic Resources Commission</p>	<p>The Historic Resources Commission (HRC) conducted workshops with historic staff in July and October of 2019 and discussed issues the HRC desired to advise and make recommendations to the City Council, to enhance historic resource preservation within the City. The recommendations by the HRC address the following topics:</p> <ul style="list-style-type: none"> • Historic Resources Commission powers and duties; • Historic application fees; • Historically sensitive neighborhoods; • Historic resources protection and enforcement; and • Preservation of historic trees <p>The list of historic resources recommendations was presented at the City Council meeting for City Council’s consideration. The staff report and exhibits have been included as an attachment.</p>	<ul style="list-style-type: none"> • October 3, 2019 (Historic Resources Commission) • October 17, 2019 (Historic Resources Commission) • April 7, 2020 (City Council) • July 7, 2020 (City Council)
<p>Historic Awards Program – Public Outreach/Publication</p>	<p>3rd Annual Historic Preservation Awards program began with a press release in May 2020, soliciting nominations for projects that have been completed in the last five years. Categories included: 1) Restoration; 2) Rehabilitation; 3) Merit; 4) Historic Beautification; and 5) Historic Infill Design. In addition, staff coordinated with neighborhood associations and historic preservation groups. The nomination commenced on May 2020 and concluded on July 2020. Staff recommended the nomination of two commissioners to participate in the 2020 Historic Preservation Awards Ad Hoc Committee. The Ad Hoc Committee recommended two winners. Award winners were recognized at the City of Santa Ana City Council meeting. Video of the properties can be found here: https://www.santa-ana.org/pb/planning-division/historic-preservation</p>	<p>May 31, 2020 – October 3, 2020</p>

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ADDITIONAL INFORMATION FOR NATIONAL PARK SERVICE ANNUAL PRODUCTS REPORTS FOR CLGS

NOTE: OHP will forward this information to NPS on your behalf. Please read “Guidance for completing the Annual Products Report for CLGs” located at http://www.nps.gov/clg/2015CLG_GPRA/FY2013_BaselineQuestionnaireGuidance-May2015.docx.

A. CLG Inventory Program

During the reporting period (October 1, 2019-September 30, 2020) how many historic properties did your local government **add** to the CLG inventory? This is the total number of historic properties and contributors to districts (or your best estimate of the number) added to your inventory **from all programs**, local, state, and Federal, during the reporting year. These might include National Register, California Register, California Historic Landmarks, locally funded surveys, CLG surveys, and local designations.

Program area	Number of Properties added
Citywide – Santa Ana, CA	0 (667 total citywide)

B. Local Register (i.e., Local Landmarks and Historic Districts) Program

1. During the reporting period (October 1, 2019-September 30, 2020) did you have a local register program to create local landmarks and/or local districts (or a similar list of designations) created by local law? Yes No
2. If the answer is yes, then how many properties have been added to your register or designated from October 1, 2019 to September 30, 2020? **0 (667 Total)**

C. Local Tax Incentives Program

1. During the reporting period (October 1, 2019-September 30, 2020) did you have a Local Tax Incentives Program, such as the Mills Act? Yes No
2. If the answer is yes, how many properties have been added to this program from October 1, 2019 to September 30, 2020? **5**

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Name of Program	Number of Properties Added During 2019-2020	Total Number of Properties Benefiting From Program
Mills Act	5	307

D. Local “bricks and mortar” grants/loan program

1. During the reporting period (October 1, 2019-September 30, 2020) did you have a local government historic preservation grant and/or loan program for rehabilitating/restoring historic properties? Yes No
2. If the answer is yes, then how many properties have been assisted under the program(s) from October 1, 2019 to September 30, 2020? 0

Name of Program	Number of Properties that have Benefited
Rehabilitation Loan Program	None

E. Design Review/Local Regulatory Program

1. During the reporting period (October 1, 2019-September 30, 2020) did your local government have a historic preservation regulatory law(s) (e.g., an ordinance) authorizing Commission and/or staff review of local government projects or impacts on historic properties? Yes No
2. If the answer is yes, how many historic properties did your local government review for compliance with your local government’s historic preservation regulatory law(s) from October 1, 2019 to September 30, 2020? 7

F. Local Property Acquisition Program

1. During the reporting period (October 1, 2019-September 30, 2020) did you have a local program to acquire (or help to acquire) historic properties in whole or in part through purchase, donation, or other means? Yes No
2. If the answer is yes, then how many properties have been assisted under the program(s) from October 1, 2019 to September 30, 2020? N/A

Certified Local Government Program -- 2019-2020 Annual Report

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Name of Program	Number of Properties that have Benefited
N/A	N/A

IN ADDITION TO THE MINIMUM CLG REQUIREMENTS, OHP IS INTERESTED IN A SUMMARY OF LOCAL PRESERVATION PROGRAMS

- A. What are your most critical preservation planning issues? **The most critical preservation planning issues are making the Historic Preservation and Mills Act programs more accessible to larger parts of the community. In addition, preservation efforts in the City would be greatly enhanced by grant funding opportunities to prepare context statements, surveys, and creation of local historic districts. Lastly, the creation of policies that would enhance protection of the demolition or alteration of structures that have not been designated historic or surveyed, but that are over 50 years old and located within neighborhoods of potential historical significance.**

- B. What is the single accomplishment of your local government this year that has done the most to further preservation in your community? **Staff has continued work on establishing a separate Historic Preservation Element in the updated General Plan. The General Plan Update is anticipated to be complete by late 2021. Currently, the City has a Draft General Plan available for review: <https://www.santa-ana.org/general-plan/draft-documents>. The Draft Historic Preservation Element can be found here: <https://www.santa-ana.org/sites/default/files/pb/general-plan/documents/Public%20Review%20Draft/3%20-%20Historic%20Preservation%20Element.pdf>**

- C. What recognition are you providing for successful preservation projects or programs? **The third annual Historic Preservation Awards program was continued during the 2019-2020 reporting period to recognize and reward historic property owners who have rehabilitated or preserved historic resources. Two awards were granted this year and award winners were recognized at the February 2, 2021, City Council meeting. One of the two awards presented was for the Pacific Electric Sub-Station No. 14, which was originally constructed in 1907 and is architecturally and historically significant as the oldest standing structural feature of the Pacific Electric system in Orange County. The property was listed in the National Register of Historic Places in 1983 as an individual resource and is listed in the California Register of Historical Resources.**

Certified Local Government Program -- 2019-2020 Annual Report

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- D. How did you meet or not meet the goals identified in your annual report for last year? **Goals for the Santa Ana Historic Program for 2018-2019 included complying with state legislation requiring inspection of Mills Act properties (Every 5 years), establishing Design Guidelines for historic properties; assisting more homeowners with State historic tax credits; and undergoing Historic Contexts and Surveys. These goals were not completely met but actions were taken to further meet these goals. For example, based on recommendations from the HRC, the City of Santa Ana City Council gave historic staff direction to: 1) Implement a Heightened Administrative Review process for buildings within a Historically Sensitive Area (HSA) by requiring the completion of a Supplement Survey Form and a heightened review process for all applications for properties with buildings 50 years or older and located within the HSA; 2) Develop policies for identifying and characterizing neighborhoods where historic properties are concentrated for identification as a Historically Sensitive Area (HSA) to be incorporated as part of the general plan policies within the new Historical Cultural Element and any other applicable Element; 3) Complete a comprehensive update to the residential and historic properties sections of the Citywide Design Guidelines; 4) Establish a process for outreaching to the community and developing and establishing a local historic district designation program for implementation; 5) Reduce the fee for a Mills Act Agreement to \$2,500 and reduce the self-nomination application fee to \$500 as part of the Miscellaneous Fee Schedule for Fiscal Year 2020-2021; and 6) Prepare a Citywide Tree Preservation and Protection Ordinance.**
- E. What are your local historic preservation goals for 2020-2021? **Goals for the Santa Ana Historic Program for 2020-2021 will continue to include complying with state legislation requiring inspection of Mills Act properties (Every 5 years), establishing Design Guidelines for historic properties; and undergoing Historic Contexts and Surveys. Moreover, goals will be established to address City Council directives for mid-term and long-term actions, including but not limited to, 1) updating design Guidelines; 2) Identifying of neighborhoods as Historic Sensitive Areas (HSA); 3) Provide workshops/outreach with neighborhoods Develop policies and guidelines for each HSA; 4) Develop a Tree Preservation Ordinance; and 5) Begin to develop a Local District Designation Program (develop goals, policies, procedures, etc.)**
- F. So that we may better serve you in the future, are there specific areas and/or issues with which you could use technical assistance from OHP? **Grant writing workshops in order to be competitive in CLG Grant opportunities as well as understanding how we can take advantage of new State historic tax credit opportunities.**

Certified Local Government Program -- 2019-2020 Annual Report

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G. In what subject areas would you like to see training provided by the OHP? How you like would to see the training delivered (workshops, online, technical assistance bulletins, etc.)?

Training Needed or Desired	Desired Delivery Format
<ul style="list-style-type: none"> • Applying for State and Federal historic tax credits • New legislation as it relates to historic resources • Recent changes to the CEQA Guidelines and legal precedents for historical resources • Additional information on funding sources for Historic Context Statements and how to apply best professional practices 	<p>Workshops</p>

H. Would you be willing to host a training working workshop in cooperation with OHP? Yes No

G. Is there anything else you would like to share with OHP?

XII Attachments

- Resumes and Statement of Qualifications forms for **all** commission members/alternatives and staff
- Minutes from commission meetings
- Drafts of proposed changes to the ordinance
- Drafts of proposed changes to the General Plan
- Public outreach publications

Email to Lucinda.Woodward@parks.ca.gov



City of Santa Ana
20 Civic Center Plaza, Santa Ana, CA 92701
Historic Resources Commission Staff Report
March 25, 2021

Topic: HEMA No. 2020-11 – Dixon House (524 W 19th Street)

RECOMMENDED ACTION

Adopt a resolution approving a Certificate of Appropriateness for Historic Exterior Modification Application No. 2020-11.

EXECUTIVE SUMMARY

Christopher C. Cecil and Britiny L. Froemmling as joint tenants are requesting approval of Historic Exterior Modification Application (HEMA) No. 2020-11 to allow exterior modifications consisting of a patio deck and an addition to the Dixon House located at 524 W 19th Street. The property was listed on the Santa Ana Register of Historical Properties as “Contributive” in 2014.

DISCUSSION

Project Location and Site Description

The subject property is located on the south side of West 19th Street in the Floral Park neighborhood. The General Plan land use designation for the site is Low Density Residential (LR-7) and the zoning district is Single-Family Residential (R-1). The property consists of an existing one story Craftsman Bungalow styled residence that is approximately 1,278 square feet in size with a detached garage on a 0.17-acre residential lot.

The property is known as the Dixon House and is individually listed as No. 591 on the Santa Ana Register of Historical Properties; the property is categorized as “Contributive.” The Dixon House has distinctive architectural features of the Craftsman Bungalow style and was built in 1923 by W.H. Dixon. The Craftsman Bungalow house is characterized by its rectangular shaped plan and sheathed in wood clapboard siding. The structure has a broad front porch running the length of the front façade, and is symmetrical in design. The front entry is straddled with two tripartite windows, casement on each side of a picture

window with wood valance. The gable ends have simple planked attic vents. Character-defining features of the Dixon House that are identified in the Department of Parks and Recreation Historic Property Description include, but may not be limited to, exterior materials, wood windows and fenestration patterns, massing, and original front door.

Project Description

The proposed exterior modifications will include a 358-square-foot master bedroom suite and kitchen nook addition and an uncovered patio deck at the rear of the house. In order to accommodate the addition, the applicant is proposing to demolish walls of the existing kitchen and rear bedroom, along the south and west elevations, as well as remove and relocate existing windows from the south elevation to the rear of the bedroom addition and side of the nook addition. The remodeled kitchen will be extended by eight feet for a nook and the remodeled master bedroom will be extended by 18 feet to incorporate a full bathroom and walk-in closet. The proposed addition will be approximately 14 to 16 feet in height, which is lower than the existing building height of 18 feet, and will include relocated single hung wood windows, one new casement window for the master bathroom, as well as new clapboard siding and matching pitch roof. All work is proposed to be located to the rear of the property.

Analysis of the Issues

As proposed, the project will follow the Secretary of the Interior's Standards (SOIS) for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring, & Reconstructing Historic Buildings (Kay D. Weeks and Anne E. Grimmer, revised 2017). The proposed exterior modifications would be considered a rehabilitation project and as such be evaluated against ten (10) criteria. Staff has reviewed the proposed modifications in comparison to the SOIS. The following is a review of the findings as they pertain to the applicable criteria:

- 1. A property will be used as it was historically or be given a new use that requires minimal changes to its distinctive materials, features, spaces, and spatial relationships.*

The project complies with Standard No. 1. The property currently maintains its historic use as a single-family residence. The use is not proposed to change. The interior configuration will remain substantially the same with the addition providing enhanced functionality.

- 2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.*

The project complies with Standard No. 2. The historic character of the subject property will be retained and preserved. The proposed single story addition has been designed to remove as little historic material as possible, and will be located on a secondary non-character defining façade, toward the rear of the structure, where it will not be generally visible from the public right-of-way. The proposed exterior alterations will not alter the primary north (front) elevation, or any important spatial relationships that characterize the property.

- 3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The project complies with Standard No. 3. The proposed changes will not create a false sense of historical development. The proposed addition will read as contemporary in comparison to the existing single-family residence which incorporates distinctive architectural features of the Craftsman Bungalow style. The addition will have a matching pitch roof to the existing house but lower in height to distinguish it from the historic structure and is designed to be compatible with the existing scale and massing of the residence. Therefore, the architectural treatment will read as contemporary, not conjectural.

- 4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

Standard 4 does not apply as the project will not remove any significant features that were added over time.

- 5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.*

The project complies with Standard No. 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the property will be preserved. The project does not propose to remove character-defining features or materials/finishes along the primary elevation. The project proposes to remove walls and relocate windows along the south (rear) and west (side) elevations which are not readily visible from the public right-of-way.

- 6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

Standard 6 does not apply as the proposed project does not deal with issues of deterioration of existing materials or replacement of existing features.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

Standard 7 does not apply as the project will not involve chemical or physical treatments on the building and will be in full compliance with the Standards.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

Standard 8 does not apply as there will be no ground disturbing activity.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The project complies with Standard No. 9. The new addition will not destroy historic materials, features, or spatial relationships that characterize the property. The proposed addition is located at the rear in an area that is not readily visible from the public right-of-way. Important spatial relationships characterizing the Craftsman Bungalow architectural style will not be disturbed, as the addition is only single story, positioned to the rear of the existing house, and will not alter the existing roof line. The new addition will be differentiated from old, with a lower matching pitch roof, a skylight in the roof of the nook extension, and clerestory windows at the rear gable end of the bedroom extension. These features allow the addition to appear subordinate to, and not overwhelm the existing massing, while also preserving the historic sense of the existing roof line. The materials of the new addition will also be compatible with the existing historic materials, through the use of similar materials. Lastly, the new and relocated wood windows will be designed to match the existing windows.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*

The project complies with Standard No. 10. The proposed project is considered generally reversible as it does not remove essential aspects of the building's form and materials. The proposed addition will be located in the rear of the house, where it is not generally visible from the public right-of-way, and avoids the most

significant and character-defining features. The essential form of the house and the vast majority of its historic materials will remain unimpaired.

In conclusion, staff has determined that the project complies with *The Secretary of the Interior's Standards for Rehabilitation*. Specifically, the analysis indicates that the proposed addition would be compatible and consistent with the existing architectural elements that reflect the original Craftsman Bungalow construction while being mindful not to disturb the historic materials that characterize the property. By localizing the scope of work towards the rear of the house and differentiating the new work from the old, the property will maintain its historic and character-defining features. Most importantly, due to the additive nature, the addition will allow for the option for it to be removed in such a way that the essential form and integrity of the historic property and its environment would be unimpaired.

The role of the Historic Resources Commission is to issue a Certificate of Appropriateness upon finding that the proposed modifications do not substantially change the character and integrity of the historic properties per Santa Ana Municipal Code Section 30-6, meet the Secretary of Interior's Standards per CEQA and the City's Certified Local Government agreement with the State of California. Staff finds that the historic exterior modification application meets the necessary criteria to be awarded a Certificate of Appropriateness and should be approved. It is also recommended that staff approve the exact materials and finishes to be used prior to installation to ensure quality and compatibility.

Public Notification

The subject site is located within the Floral Park Neighborhood Association. The president of this Neighborhood Association was notified by mail 10-days prior to this public hearing. In addition, the project site was posted with a notice advertising this public hearing, a notice was published in the Orange County Reporter and mailed notices were sent to all property owners within 500 feet of the project site. At the time of this printing, no correspondence, either written or electronic, had been received from any members of the public.

ENVIRONMENTAL IMPACT

In accordance with the California Environmental Quality Act, the recommended action is exempt from further review under Section 15331, Class 31, as this action is designed in a manner consistent with the Secretary of Interior's Standards. Categorical Exemption No. ER-2021-10 will be filed for this project.

FISCAL IMPACT

There is no fiscal impact associated with this action.

EXHIBIT(S)

PUBLIC HEARING

March 25, 2021

Page 6

1. Resolution
2. 500-Foot Radius Map - 524 West 19th Street
3. Executive Summary - 524 West 19th Street
4. Department of Parks and Recreation Historic Property Description Form
5. Drawing Exhibits

Submitted By:

Jill Arabe, AICP, Senior Planner

Approved By:

Minh Thai, Executive Director of Planning and Building Agency, Planning and Building Agency

RESOLUTION NO. 2021-xx

A RESOLUTION OF THE HISTORIC RESOURCES COMMISSION OF THE CITY OF SANTA ANA APPROVING THE CERTIFICATE OF APPROPRIATENESS FOR THE PROPERTY LOCATED AT 524 WEST 19TH STREET (HISTORIC EXTERIOR MODIFICATION APPLICATION NO. 2020-11)

BE IT RESOLVED BY THE HISTORIC RESOURCES COMMISSION OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The Historic Resources Commission of the City of Santa Ana hereby finds, determines and declares as follows:

- A. Christopher C. Cecil and Britiny L. Froemmling as joint tenants (“Applicant”) are requesting approval of Historic Exterior Modification Application No. 2020-11 to allow exterior modifications to the property at 524 West 19th Street, historically known as the Dixon House.
- B. The legal owners of the property are Christopher C. Cecil, a single man and Britiny L. Froemmling, a single woman, as joint tenants.
- C. The legal description for the subject property is attached hereto as Exhibit A and incorporated by this reference as though fully set forth herein.
- D. The Dixon House is individually listed as No. 591 on the Santa Ana Register of Historical Properties and categorized as “Contributive” in 2014.
- E. The Dixon House has distinctive architectural features of the Craftsman Bungalow style and was built in 1923. Character-defining features of the Dixon House include, but may not be limited to, exterior materials, wood windows and fenestration patterns, massing, and original front door.
- F. Pursuant to Santa Ana Municipal Code Section 30-6, no exterior physical modifications, other than those identified by the Historic Resources Commission for administrative approval by city staff, shall be permitted with respect to a historic structure until the Historic Resources Commission approves such request at a duly noticed public hearing and issues a certificate of appropriateness. The Historic Resources Commission shall issue the certificate of appropriateness upon finding that the proposed modification(s) does not substantially change the character and integrity of the historic property.
- G. The proposed exterior modifications will include a 358-square-foot master bedroom suite and kitchen nook addition, and an uncovered patio deck at the rear of the house. In order to accommodate the addition, the applicant is proposing to demolish walls of the existing kitchen and rear bedroom,

along the south and west elevations, as well as remove and relocate existing windows from the south elevation to the rear of the bedroom addition and side of the nook addition. The remodeled kitchen will be extended by eight feet for a nook and the remodeled master bedroom will be extended by 18 feet to incorporate a full bathroom and walk-in closet. The proposed addition will be approximately 14 to 16 feet in height, which is lower than the existing building height of 18 feet, and will include relocated single hung wood windows, one new casement window for the master bathroom, as well as new clapboard siding and matching pitch roof. All work is proposed to be located to the rear of the property.

- H. Pursuant to Santa Ana Municipal Code Section 30-6, the Historic Resources Commission held a duly noticed public hearing on March 25, 2021 for the request for exterior modifications to the Dixon House.
- I. Since the property is listed on the Santa Ana Register of Historical Properties, all exterior modifications are required to meet the Secretary of Interior's Standards for Rehabilitation.
 - 1. The following Secretary of Interior's Standards are applicable:
 - i. Standard 1. The property currently maintains its historic use as a single-family residence. The use is not proposed to change. The interior configuration will remain substantially the same with the addition providing enhanced functionality.
 - ii. Standard No. 2. The historic character of the subject property will be retained and preserved. The proposed single story addition has been designed to remove as little historic material as possible, and will be located on a secondary non-character defining façade, toward the rear of the structure, where it will not be generally visible from the public right-of-way. The proposed exterior alterations will not alter the primary north (front) elevation, or any important spatial relationships that characterize the property.
 - iii. Standard No. 3. The proposed changes will not create a false sense of historical development. The proposed addition will read as contemporary in comparison to the existing single-family residence which incorporates distinctive architectural features of the Craftsman Bungalow style. The addition will have a matching pitch roof to the existing house but lower in height to distinguish it from the historic structure and is designed to be compatible with the existing scale and massing of the residence. Therefore, the architectural treatment will read as contemporary, not conjectural.
 - iv. Standard No. 5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the property will be preserved. The project does

not propose to remove character-defining features or materials/finishes along the primary elevation. The project proposes to remove walls and relocate windows along the south (rear) and west (side) elevations which are not readily visible from the public right-of-way.

- v. Standard No. 9. The new addition will not destroy historic materials, features, or spatial relationships that characterize the property. The proposed addition is located at the rear in an area that is not readily visible from the public right-of-way. Important spatial relationships characterizing the Craftsman Bungalow architectural style will not be disturbed, as the addition is only single story, positioned to the rear of the existing house, and will not alter the existing roof line. The new addition will be differentiated from old, with a lower matching pitch roof, a skylight in the roof of the nook extension, and clerestory windows at the rear gable end of the bedroom extension. These features allow the addition to appear subordinate to, and not overwhelm the existing massing, while also preserving the historic sense of the existing roof line. The materials of the new addition will also be compatible with the existing historic materials, through the use of similar materials. Lastly, the new and relocated wood windows will be designed to match the existing windows.
- vi. Standard No. 10. The proposed project is considered generally reversible as it does not remove essential aspects of the building's form and materials. The proposed addition will be located in the rear of the house, where it is not generally visible from the public right-of-way, and avoids the most significant and character-defining features. The essential form of the house and the vast majority of its historic materials will remain unimpaired.
- vii. Standards 4 and 6-8 are not applicable. No features of this description would be affected by this Project.

Section 2. In accordance with the California Environmental Quality Act and the CEQA Guidelines, the recommended action is exempt from further review pursuant to Section 15331, Class 31, as this project is designed in a manner consistent with the Secretary of Interior's Standards. Categorical Exemption No. ER-2020-10 will be filed for this project.

Section 3. The Historic Resources Commission of the City of Santa Ana after conducting the public hearing hereby approves the Certificate of Appropriateness for Historic Exterior Modification Application No. 2020-11. The Historic Resources Commission finds that the proposed modifications do not substantially change the character and integrity of the historic property. This decision is based upon the evidence submitted at the above said hearing, which includes, but is not limited to: the Staff Report

FREE RECORDING PURSUANT TO
GOVERNMENT CODE § 27383

and exhibits attached thereto and the public testimony, all of which are incorporated herein by this reference.

Section 4. The Historic Resources Commission Secretary is hereby directed to file a certified copy of this Resolution with the County Recorder's Office after the adoption of this Resolution pursuant to Public Resources Code Section 5029.

ADOPTED this 25th day of March 2021.

Alberta Christy, Chairperson

APPROVED AS TO FORM:
Sonia R. Carvalho, City Attorney

By: _____
John Funk
Assistant City Attorney

AYES: Commission members _____

NOES: Commission members _____

ABSTAIN: Commission members _____

NOT PRESENT: Commission members _____

FREE RECORDING PURSUANT TO
GOVERNMENT CODE § 27383

CERTIFICATE OF ATTESTATION AND ORIGINALITY

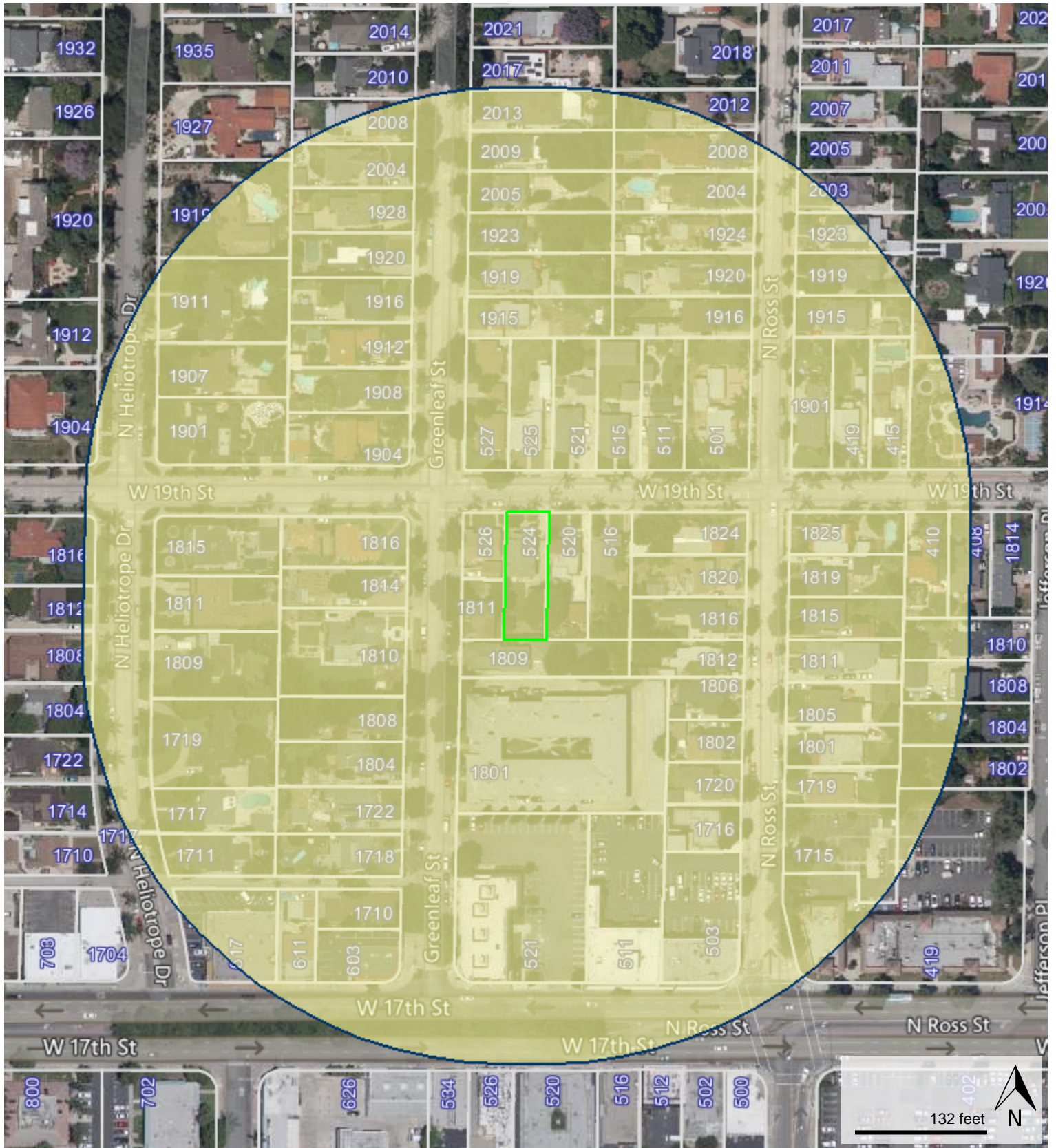
I, SARAH BERNAL, Commission Secretary, do hereby attest to and certify the attached Resolution No. 2021-xx to be the original resolution adopted by Historic Resources Commission of the City of Santa Ana on March 25, 2021.

Date: _____

Commission Secretary
City of Santa Ana

**EXHIBIT A
LEGAL DESCRIPTION**

APN	Address	Legal Description	Owner Names
002-104-13	524 West 19 th Street	LOT 2, BLOCK 'B' OF TRACT NO. 256, IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS SHOWN ON MAP RECORDED IN BOOK 14, PAGE 23 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF ORANGE COUNTY.	Christopher C. Cecil, a single man, and Britiny L. Froemmling, a single woman, as joint tenants.



524 West Nineteenth Street 500 Foot Radius



EXECUTIVE SUMMARY

DIXON HOUSE
524 West 19th Street
Santa Ana, CA 92701

NAME	Dixon House			REF. NO.
ADDRESS	524 West 19th Street			
CITY	Santa Ana	ZIP	92701	ORANGE COUNTY
YEAR BUILT	Circa 1913		LOCAL REGISTER CATEGORY: Contributive	
HISTORIC DISTRICT	Floral Park	NEIGHBORHOOD	Floral Park	
CALIFORNIA REGISTER CRITERIA FOR EVALUATION	3	CALIFORNIA REGISTER STATUS CODE	5S1	

Location: Not for Publication Unrestricted

Prehistoric Historic Both

ARCHITECTURAL STYLE: Craftsman Bungalow

Closely related to the English Arts and Crafts Movement, American Bungalow/Craftsman architecture was popularized by *The Craftsman* magazine and architects such as Charles and Henry Greene of Pasadena. It drew from the wood building traditions of Japan and Switzerland as well as the medieval themes favored by the Arts and Crafts philosophers. Craftsman architecture stressed honesty of form, materials, and workmanship, eschewing applied decoration in favor of the straightforward expression of structure. A new appreciation of nature was evident in horizontal lines that reached out to embrace the landscape and the incorporation of capacious porches into building plans. Primarily a residential style, Craftsman architecture can be identified by low pitched gable and hipped roofs with exposed rafters and beams in deep overhangs; wood lap or shingle siding and an occasional use of stucco; extensive use of stone or brick as a secondary material; horizontal emphasis apparent in roof lines, headers, and battered porch supports; and broadly proportioned wood framed windows, often clustered in bands. Craftsman homes were built from circa 1902 until the early 1920s (McAlester, 453-463).

SUMMARY/CONCLUSION:

The Dixon House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1 for its exemplification of the distinguishing characteristics of the Craftsman Bungalow style. Additionally, the house has been categorized as "Contributive" because it "contributes to the overall character and history" Santa Ana, and, as an intact example of a Craftsman bungalow in the historic Heninger Park neighborhood, "is a good example of period architecture" (Municipal Code, Section 30-2.2).

EXPLANATION OF CODES:

- California Register Criteria for Evaluation: (From California Office of Historic Preservation, Technical Assistance Series # 7, "How to Nominate Resources to the California Register of Historical Resources," September 4, 2001.)
 - 3:** It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.
- California Register Status Code: (From California Office of Historic Preservation, December 8, 2003.)
 - 5S1:** Individual property that is listed or designated locally.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 4 Resource name(s) or number (assigned by recorder) Dixon House

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County Orange County

*b. USGS 7.5' Quad TCA 1725

Date:

*c. Address 524 West 19th Street

City Santa Ana

Zip 92706

*e. Other Locational Data: Assessor's Parcel Number 002-104-13

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries.)
The Dixon House is designed in the Craftsman Bungalow style of architecture. Rectangular in plan, it is sheathed in wood clapboard siding. The structure has a broad front porch running the length of the front façade, and is symmetrical in design. The front entry is straddled with two tripartite windows, casement on each side of a picture window with wood valance on each. The gable ends are simple with a simple planked attic vent. The porch supports are unusual for this style of architecture as Doric columns are more commonly seen in the Colonial Revival vernacular. Landscape is drought tolerant. Overall the house is in excellent condition.

*P3b. Resource Attributes: (list attributes and codes) HP2. Single-family Property

*P4. Resources Present: Building Structure Object Site District Element of District Other

P5a. Photo



P5b. Photo: (view and date)
North facing elevation
2014

*P6. Date Constructed/Age and Sources: historic
1923

*P7. Owner and Address:
Bryan and Kathryn Schmitz
524 West 19th Street
Santa Ana, CA 92706

*P8. Recorded by:
Hally Soboleske
20 Civic Center Plaza M-20
Santa Ana, CA 92702

*P9. Date Recorded:
November 20, 2014

*P10. Survey Type:
Intensive Survey Update

*P11. Report Citation: (Cite survey report and other sources, or enter "none")
None

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or #: Dixon House

B1. Historic Name: Dixon House

B2. Common Name: Same

B3. Original Use: Single-family Residence

B4. Present Use: Single-family Residence

*B5. Architectural Style: Colonial Revival

*B6. Construction History: (Construction date, alterations, and date of alterations): Constructed 1923

March 1923. Residence and garage for W.H. Dixon. \$4,500

February 21, 1933. Reroof.

June 26, 1944. Reroof.

January 8, 1980. Remodel garage and living room. Insulate ceiling.

*B7. Moved? No Yes Unknown Date: _____ Original

Location: _____

*B8. Related Features:

None.

B9a. Architect: Unknown

b. Builder: Unknown

*B10. Significance: Theme Residential Architecture

Area Santa Ana

Period of Significance: circa 1901-1954 Property Type: Single-family Residence Applicable Criteria: NR: B,C; CR: 2,3

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

The Dixon House was built in 1923 by W.H. Dixon, a prolific homebuilder in Santa Ana. He was known for building strong and durable homes thereby earning his nickname "Durable Dick". Dixon also was a builder of miniature golf courses having built in Whittier, Lynwood, Fullerton, Pasadena, and Santa Ana. He called them "Tom Thumb" courses. Dixon had offices at 321 West Fourth Street.

(See Continuation Sheet 3 of 4.)

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

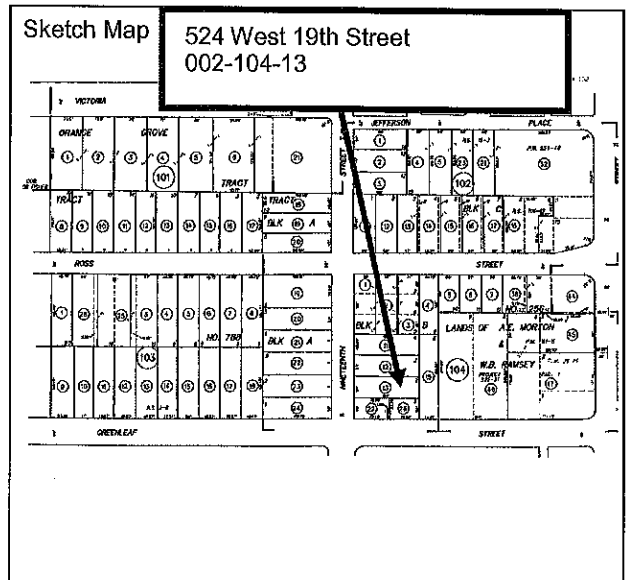
- City of Santa Ana Building Permits
- Santa Ana History Room Collection, Santa Ana Public Library
- Sanborn Maps

(See Continuation Sheet 4 of 4.)

B13. Remarks:

*B14. Evaluator: Hally Soboleske

*Date of Evaluation: November 2014



Page 3 of 3

Resource Name: Dixon House

*Recorded by *Hally Soboleske*

*Date *November 20, 2014*

Continuation Update

***B10. Significance (continued):**

Santa Ana was founded by William Spurgeon in 1869 as a speculative town site on part of the Spanish land grant known as Rancho Santiago de Santa Ana. The civic and commercial core of the community was centered around the intersection of Main and Fourth Streets. Stimulated by the arrival of the Santa Fe Railroad and incorporation as a city in 1886, and selection as the seat of the newly created County of Orange in 1889, the city grew outwards, with residential neighborhoods developing to the north, south, and east of the city center. Agricultural uses predominated in the outlying areas, with cultivated fields and orchards dotted with widely scattered farmhouses.

The Dixon House is located in Floral Park, a neighborhood northwest of downtown Santa Ana bounded by West Seventeenth Street, North Flower Street, Riverside Drive, and Broadway. Groves of oranges, avocados and walnuts, and widely scattered ranch houses characterized this area before 1920. Developer and builder Allison Honer (1897-1981), credited as the subdivider and builder of a major portion of northwest Santa Ana, arrived in Santa Ana from Beaver Falls, New York in 1922 (Talbert, pages 353-356). "Before nightfall on the day of his arrival, Mr. Honer purchased a parcel of land. And that month, he began building custom homes in Santa Ana" (*Orange County Register*, September 15, 1981). The parcel chosen became the Floral Park subdivision between Seventeenth Street and Santiago Creek. "When built in the 1920s, the Floral Park homes were the most lavish and expensive in the area. They sold for about \$45,000 each" (*Orange County Register*, September 15, 1981). Revival architecture in a wide variety of romantic styles was celebrated in the 1920s and 1930s; Floral Park showcased examples of the English Tudor, French Norman, Spanish Colonial, and Colonial Revival styles. The Allison Honer Construction Company went on to complete such notable projects as the 1935 Art Deco-styled Old Santa Ana City Hall, the El Toro Marine Base during World War II, and the 1960 Honer Shopping Plaza. Honer lived in the neighborhood he had helped create, at 615 West Santa Clara Avenue.

In the late 1920s and 1930s, another builder, Roy Roscoe Russell (1881-1965), continued developing the groves of Floral Park. An early Russell project was his 1928 subdivision of Victoria Drive between West Nineteenth Street and West Santa Clara Avenue. The homes were quite grand and displayed various revival styles, including Russell's own large, Colonial Revival mansion at 2009 Victoria Drive. In the early post-World War II years, Floral Park continued its development as numerous smaller, single-family houses were built. Continuing in the Floral Park tradition, they were mostly revival in style. In the 1950s, low, horizontal Ranch Style houses completed the growth of Floral Park. Today (2007), Floral Park maintains its identity as the premier neighborhood of Santa Ana, historically home to many affluent and prominent citizens.

The Dixon House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1 for its exemplification of the distinguishing characteristics of the Colonial Revival style. Additionally, the house has been categorized as "Contributive" because it is a "good example of period architecture". (Municipal Code, Section 30-2.2). Character defining features include of the Dixon House that should be preserved include, but may not be limited to, exterior materials, wood windows and fenestration patterns, massing, and original front door.

***B12. References (continued):**

- Harris, Cyril M. *American Architecture: An Illustrated Encyclopedia*. New York, WW Norton, 1998.
Marsh, Diann. *Santa Ana, An Illustrated History*. Encinitas, Heritage Publishing, 1994.
McAlester, Virginia and Lee. *A Field Guide to American Houses*. New York: Alfred A. Knopf, 1984.
National Register Bulletin 16A. "How to Complete the National Register Registration Form." Washington DC: National Register Branch, National Park Service, US Dept. of the Interior, 1991.
Office of Historic Preservation. "Instructions for Recording Historical Resources." Sacramento: March 1995.
Whiffen, Marcus. *American Architecture Since 1780*. Cambridge: MIT Press, 1969.
Armor, Samuel. *History of Orange County*. Los Angeles: History Record Company, 1921, page 989.
Park Santiago Neighborhood Association. "The Gingerbread Lande Holiday Home Tour, 1999." Brochure.
Rischar, Maureen McClintock. "People Behind Places: Enderle Center." *Orange County Geneological Society Quarterly*, December 1993, pages 4-7.
Santa Ana and Orange County Directories, 1905-1930.
Historic Maps, Santa Ana History Room, 1912, 1923, 1932, and 1955.
Ancestry.com
Newspapers.com

(This space reserved for official comments.)



CECIL/FROEMMLING RENOVATION/ADDITION

#591 (THE DIXON HOUSE)- CONTRIBUTIVE
524 W. 19TH STREET
SANTA ANA, CA 92706

PROJECT:
**CECIL/FROEMMLING
RESIDENCE**
(RENOVATION/ADDITION)
#591 (DIXON HOUSE)
524 W. 19TH STREET
SANTA ANA
CA 92706

EXISTING IMAGES



CONSULTANTS

CLIENTS CONSULTANTS
DESIGNER MATT MCGRANE LEED AP
LABORATORY FOR SUSTAINABLE DESIGN
562-686-4097
LAB4SUSTAINABLE@GMAIL.COM
STRUCTURAL/CIVIL GREYSTONE ENGINEERING
SOHEIL MOEINI, PE
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LOS ANGELES, CA 90035
310-405-2341 PH.
INFO@GREYSTONEENG.COM
ENERGY TITLE 24 GUYS
GILBERTO CARILLO
818-850-3385
SOILS/GEOTECH C.Y. GEOTECH
9428 ETON AVE UNIT M
CHATSWORTH, CA 91311
818-341-1899
CYGEOTECH@SBCGLOBAL.COM

PROJECT INFORMATION

LEGAL OWNER
CHRIS CECIL AND BRITINY FROMMELING

LEGAL DESCRIPTION

APN: 023-263-17

SCOPE OF WORK

358 SF ADDITION TO AN EXISTING 1,232 SF SINGLE FAMILY RESIDENCE TO INCLUDE EXPANSION OF MASTER SUITE, KITCHEN, AND RELOCATION OF LAUNDRY ROOM. NEW REAR PORCH/DECK

TYPE OCCUPANCY:

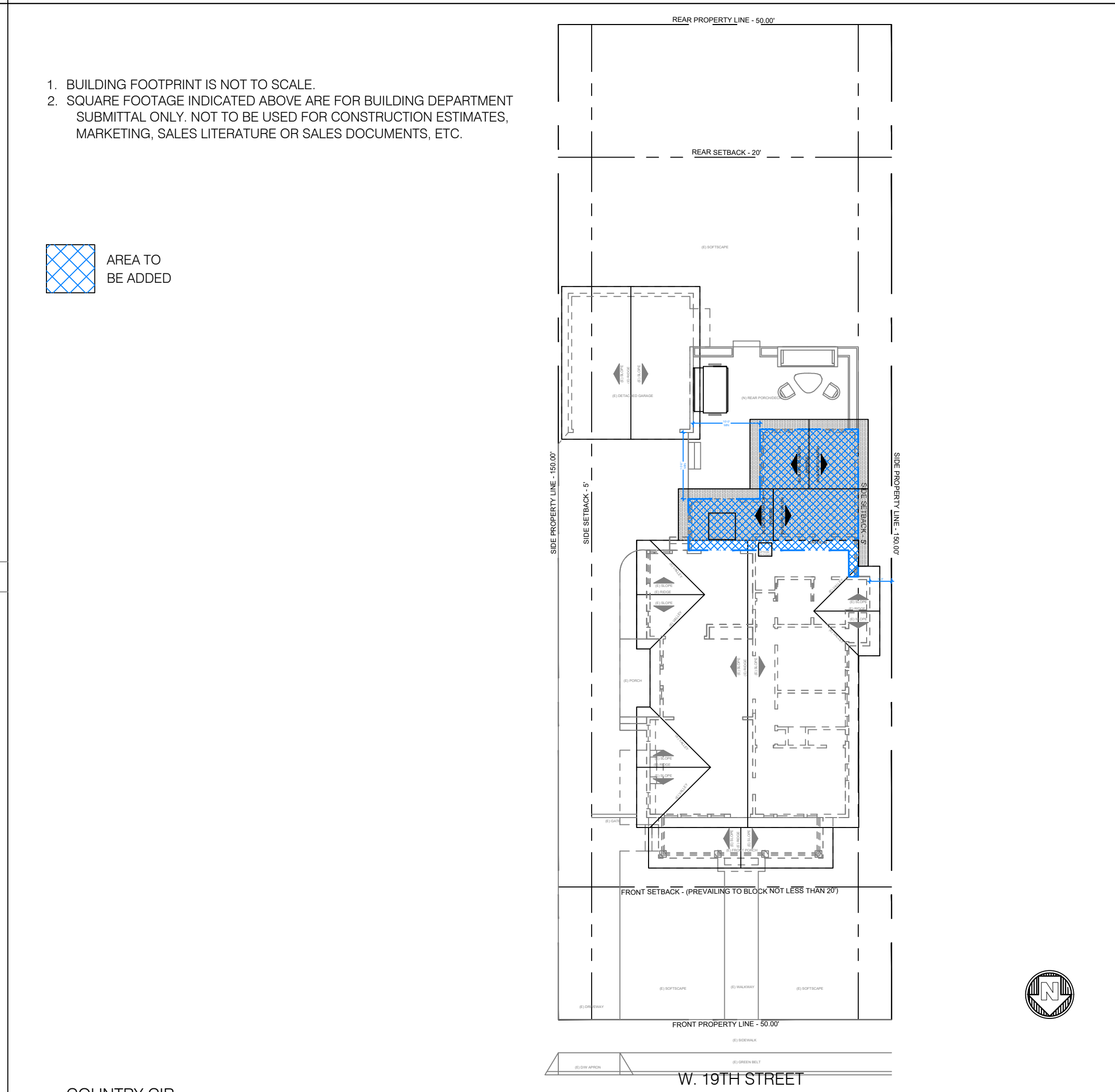
OCCUPANCY GROUP: R1
TYPE OF CONSTR.: VB
GARAGE: U
FIRE SPRINKLERED: NO
SQUARE FOOTAGE TABULATION: SEE SHEET A1.0

CODE TABULATION

PROJECT TO COMPLY WITH:
2019 CALIFORNIA RESIDENTIAL CODE (CRC)
2019 CALIFORNIA ELECTRICAL CODE (CEC)
2019 CALIFORNIA MECHANICAL CODE (CMC)
2019 CALIFORNIA PLUMBING CODE (CPC)
2019 CALIFORNIA ENERGY EFFICIENCY STANDARDS (CEES)
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
AND CITY OF SANTA ANA LOCAL ORDINANCE

THIS PROJECT SHALL COMPLY WITH ALL OTHER REGULATIONS AND ORDINANCES ADOPTED BY THE LOCAL GOVERNING AGENCIES.

LOT SUMMARY



SQUARE FOOTAGE TABULATION

SITE INFORMATION			
GENERAL	AREA	DESCRIPTION	NOTES
LOT DESCRIPTION	TRACK: 258	A.P.N. 002-104-13	524 W. 19TH STREET
CONSTRUCTION TYPE	V-B	(NOT - SPRINKLERED)	
LAND USAGE ZONE (OCCUPANCY)	R1 (SINGLE FAM. RESIDENTIAL)	RESIDENTIAL	# OF STORIES: 1
SITE SUMMARY	PARCEL/LOT AREA: 7,500 SF	PROPOSED LOT COVERAGE: 2,134 S.F.	LOT COVERAGE: 28.5%
BUILDING SUMMARY	(E) FIRST FLOOR PLAN: 1,232 S.F.	(E) COVERED PORCH: 151 S.F.	(E) GARAGE AREA: 393 S.F.
PROPOSED AREAS	(N) FIRST FLOOR PLAN: 358 S.F.	(N) SECOND FLOOR PLAN: N/A	(N) GARAGE AREA: N/A

SHEET INDEX

ARCHITECTURAL
GENERAL
A.01 COVER SHEET
FLOOR PLAN
A1.0 PROPOSED SITE PLAN
A1.1 EXISTING/DEMO FIRST FLOOR PLAN
A2.1 PROPOSED FLOOR PLAN
A2.3 PROPOSED ROOF PLAN
A3.1 PROPOSED EXTERIOR ELEVATIONS
A3.2 PROPOSED EXTERIOR ELEVATIONS

ISSUE DATES

No.	DATE	DESCRIPTION
△	11/4/20	SPACE PLANNING
△	11/13/20	SPACE PLANNING II
△	11/17/20	HEMA APPLICATION
△	2/9/21	DESIGN REVISION

OWNERSHIP AND USE OF DOCUMENTS

All Drawings, Specifications and copies thereof furnished by MATT MCGRANE, are and shall remain his property. They are to be used only with respect to the project. Federal law prohibits the reproduction, display, sale, or other disposition of this document without the express written consent of the DESIGNER.

DATE:

DRAWN:

REVIEWED:

PROJECT NO.:

SHEET TITLE:

COVER SHEET

SHEET NO.:

A0.1

ISSUE: DESIGN REVISION 2/9/21

W. 19TH STREET

SEGERSTROM AV

FAIRVIEW ST

SU

17TH ST

19TH ST

21ST ST

23RD ST

25TH ST

27TH ST

29TH ST

31ST ST

33RD ST

35TH ST

37TH ST

39TH ST

41ST ST

43RD ST

45TH ST

47TH ST

49TH ST

51ST ST

53RD ST

55TH ST

SEAL AND STAMP:

CONSULTANTS:

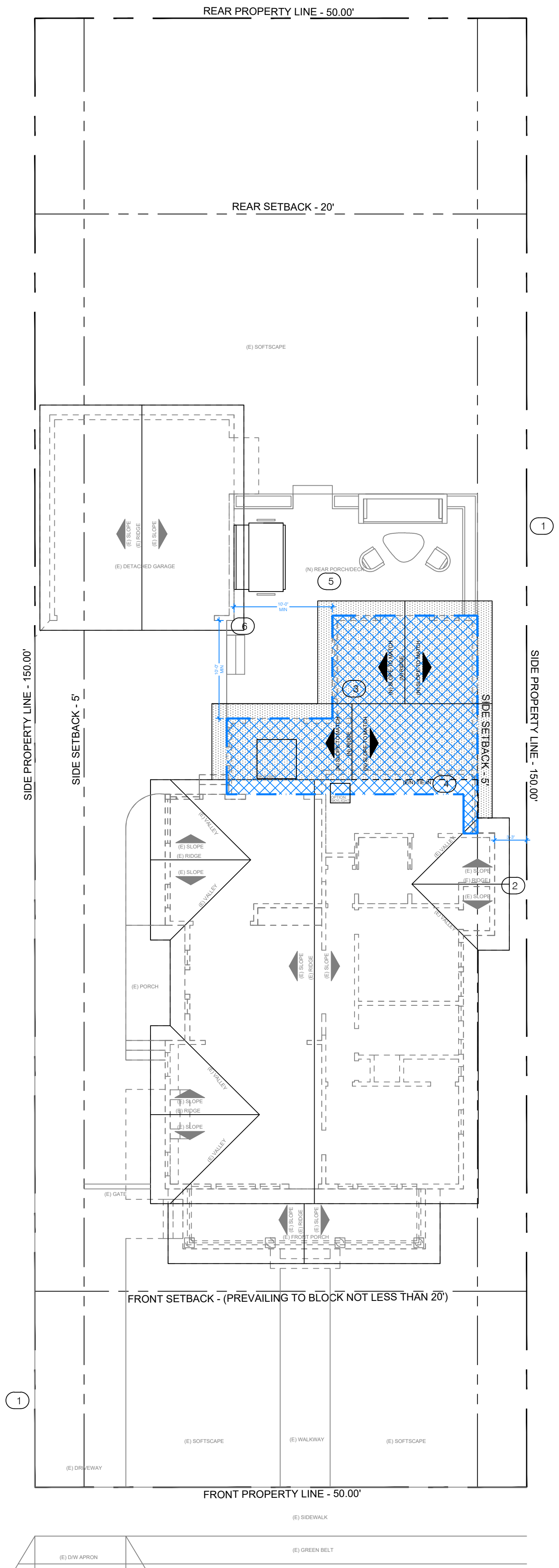
ISSUE: DESIGN REVISION 2/9/21

COVER SHEET

SHEET NO.:

A0.1

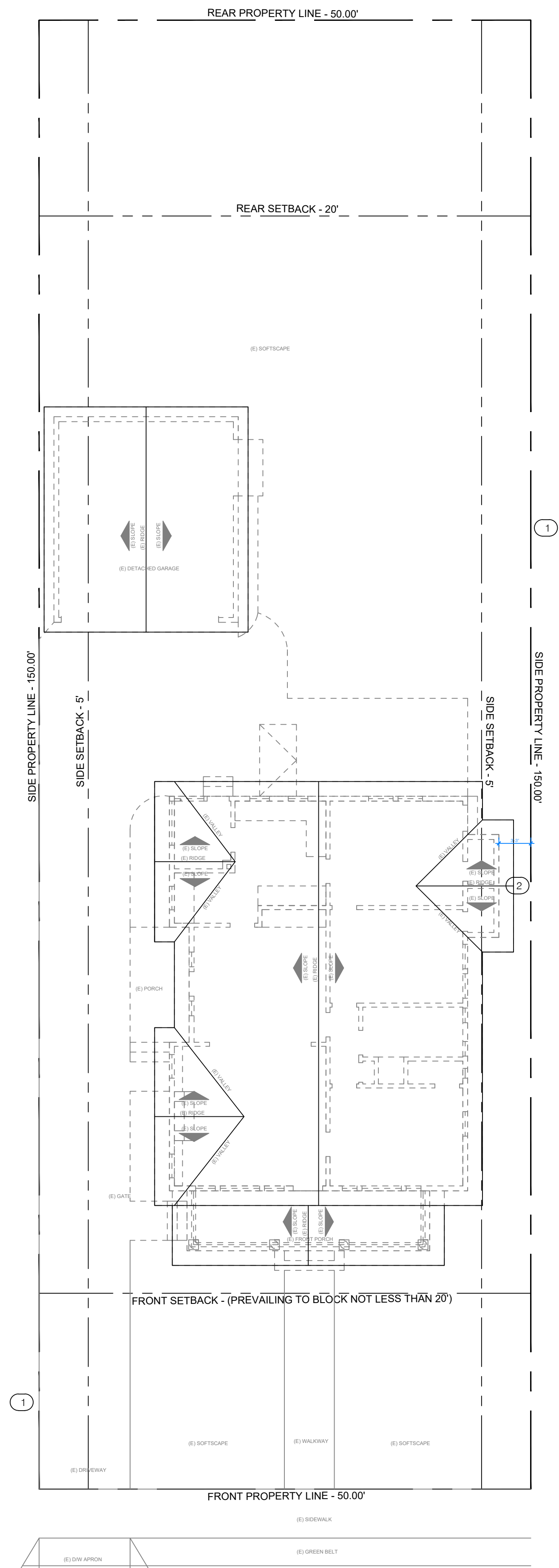
ISSUE: DESIGN REVISION 2/9/21



PROPOSED SITE PLAN

SCALE
1/8" = 1'-0"

2



EXISTING SITE PLAN

SCALE
1/8" = 1'-0"

1

SITE PLAN GENERAL NOTES

SEE SHEET A0.2 & A.02a FOR GENERAL NOTES

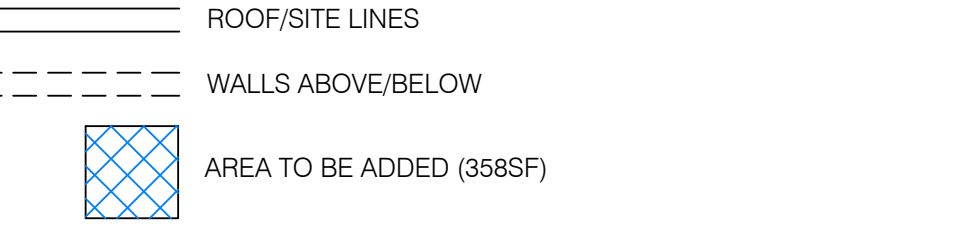
SITE PLAN NOTES

- CONTRACTOR TO PROVIDE ALL TEMPORARY BRACING, SHORING, GUYING, OR OTHER MEANS TO AVOID EXCESSIVE STRESSES AND TO HOLD STRUCTURAL ELEMENTS IN PLACE DURING CONSTRUCTION. ESTABLISH AND VERIFY ALL OPENINGS AND INSERTS FOR MECHANICAL, ELECTRICAL, AND PLUMBING WITH APPROPRIATE TRADES, DRAWINGS, AND SUBCONTRACTORS PRIOR TO CONSTRUCTION.
- THE STRUCTURAL ENGINEER AND DESIGNER SHALL NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK FOR THE ACTS OR OMISSIONS OF THE CONTRACTOR, SUBCONTRACTORS, OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
- ANY ENGINEER DESIGN PROVIDED BY OTHERS AND SUBMITTED FOR REVIEW SHALL BEAR THE SEAL OF AN ENGINEER REGISTERED IN THE STATE OF CALIFORNIA.
- VERIFY ALL DIMENSIONS WITH DRAWINGS AND FIELD CONDITIONS.
- CONTRACTOR SHALL VERIFY IN FIELD ALL EXISTING CONDITIONS SHOWN ON DRAWINGS.
- REFERENCE CIVIL ENGINEERING PLANS SHEET 3 FOR DETAILED GRADING/DRAINAGE INFORMATION

SITE PLAN KEYNOTES

- PROPERTY LINE
- (E) LEGAL NON-CONFORMING SIDE YARD SETBACK APERTURE (NO CHANGE)
- PROPOSED AREA OF ADDITION
- TIE IN ROOF TO MATCH EXISTING SLOPE/MATERIAL AND TRIM
- PROPOSED REAR PORCH/WOOD DECK
- 10' MIN. REQUIRED SETBACK BETWEEN DWELLING AND DETACHED GARAGE

SITE PLAN LEGEND



SITE INFORMATION

GENERAL	AREA	DESCRIPTION	NOTES
LOT DESCRIPTION	TRACK: 288	A.P.N. 002-104-13	524 W. 19TH STREET
CONSTRUCTION TYPE	V-B	(NOT - SPRINKLERED)	
LAND USAGE ZONE (OCCUPANCY)	R1 (SINGLE FAM. RESIDENTIAL)	RESIDENTIAL	# OF STORIES: 1
SITE SUMMARY	PARCEL/LOT AREA: 7,500 SF	PROPOSED LOT COVERAGE: 2,134 S.F.	LOT COVERAGE: 28.5%
BUILDING SUMMARY	(E) FIRST FLOOR PLAN: 1,232 S.F.	(E) COVERED PORCH: 151 S.F.	(E) GARAGE AREA: 393 S.F.
PROPOSED AREAS	(N) FIRST FLOOR PLAN: 358 S.F.	(N) SECOND FLOOR PLAN: N/A	(N) GARAGE AREA: N/A

NATIONAL POLLUTANTS DISCHARGE ELIMINATION SYSTEM (NPDES) NOTES

- Sediment from areas disturbed by construction shall be retained on site using industry accepted best management practices (bmps). These bmps shall be installed prior to any construction activity such as grading that may cause soil disturbance. These bmps are to be maintained year-round or until all loose sediment has been stabilized.
- Stockpiles of soil shall be properly contained to minimize sediment transport from the site to streets, drainage facilities and adjacent properties via runoff, vehicle tracking, or wind. Stockpiled material shall be no more than 8 feet in height and shall be completely covered with a secure impermeable cover at the end of each work day. All stockpiles shall be located away from any storm drain inlets and away from any storm water conveyance structures. At no time shall any raw material be staged or stockpiled on city streets, sidewalks, and/or gutters without a valid construction permit.
- Appropriate bmps for construction-related materials, wastes, spills or residues shall be implemented to minimize transport from the site to streets, drainage facilities, and adjoining property by wind or runoff.
- Runoff from equipment and vehicle washing shall be contained on the construction site and shall not be discharged to receiving waters or to the storm drain system.
- Concrete wash out water shall be contained in a water-tight device to prevent cement deposition onto the ground and runoff into streets, drainage facilities, and receiving waters.
- All construction contractor and subcontractor personnel are to be made aware of the required bmps and good housekeeping measures for the project site and any associated construction staging areas.
- At the end of each work day, all construction debris and waste materials shall be collected and properly disposed in covered trash or recycle bins.
- Construction sites shall be maintained in such a condition that stormwater does not carry wastes or pollutants off the site. Discharges of materials other than stormwater (non-stormwater discharges) are prohibited except as authorized by an individual rides permit or the statewide general construction stormwater permit.
- All ungraded construction entrances and exits shall be protected using an effective combination of tracking control bmps to minimize and/or eliminate off-site tracking of sediment. These bmps shall be maintained and inspected daily.
- All temporary portable restrooms must have a catchment pan and must be located at least 50 feet away from any storm drain inlets.
- Pollutants are any substances introduced into the environment that adversely affects the usefulness of a resource. Potential pollutants include, but are not limited to: sediment; solid or liquid chemicals such as: paints, stains, sealants, solvents, detergents, glues, lime, pesticide, herbicide, fertilizers, wood preservatives and asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; concrete, and related cutting or curing residues; floatable wastes, wastes from engine / equipment steam cleaning or chemical degreasing; wastes from street cleaning; and super-chlorinated potable water from line flushings and testing.
- During construction, disposal of such materials should occur in a specified and controlled manner. A designated temporary area on-site shall be physically separated from potential stormwater runoff, with ultimate disposal in accordance with local, state and federal requirements.
- Discharging contaminated groundwater, produced by dewatering groundwater that has infiltrated into the construction site is prohibited. Discharging of contaminated soils via surface erosion is also prohibited. Discharging non-contaminated groundwater produced by dewatering activities requires a national pollutants discharge elimination system (npdes) permit from the respective state regional water quality control board.
- Discharges of storm water from construction sites shall not be laden with sediment. All storm water discharges must be relatively free of sediment.
- All contractors and construction personnel shall meet the regulatory construction requirements on the project site in compliance with the city's municipal code 14.25, stormwater and urban runoff management and municipal code 17.05, grading and excavation code.

PROJECT:
CECIL/FROEMMLING RESIDENCE
(RENOVATION/ADDITION)
#591 (DIXON HOUSE)
524 W. 19TH STREET
SANTA ANA
CA 92706

SEAL AND STAMP:

CONSULTANTS:

ISSUE DATES

No.	DATE	DESCRIPTION
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4	2/9/21	DESIGN REVISION

OWNERSHIP AND USE OF DOCUMENTS

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PROJECT NO:
SHEET TITLE:

SITE PLAN

SHEET NO:

A1.0

WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

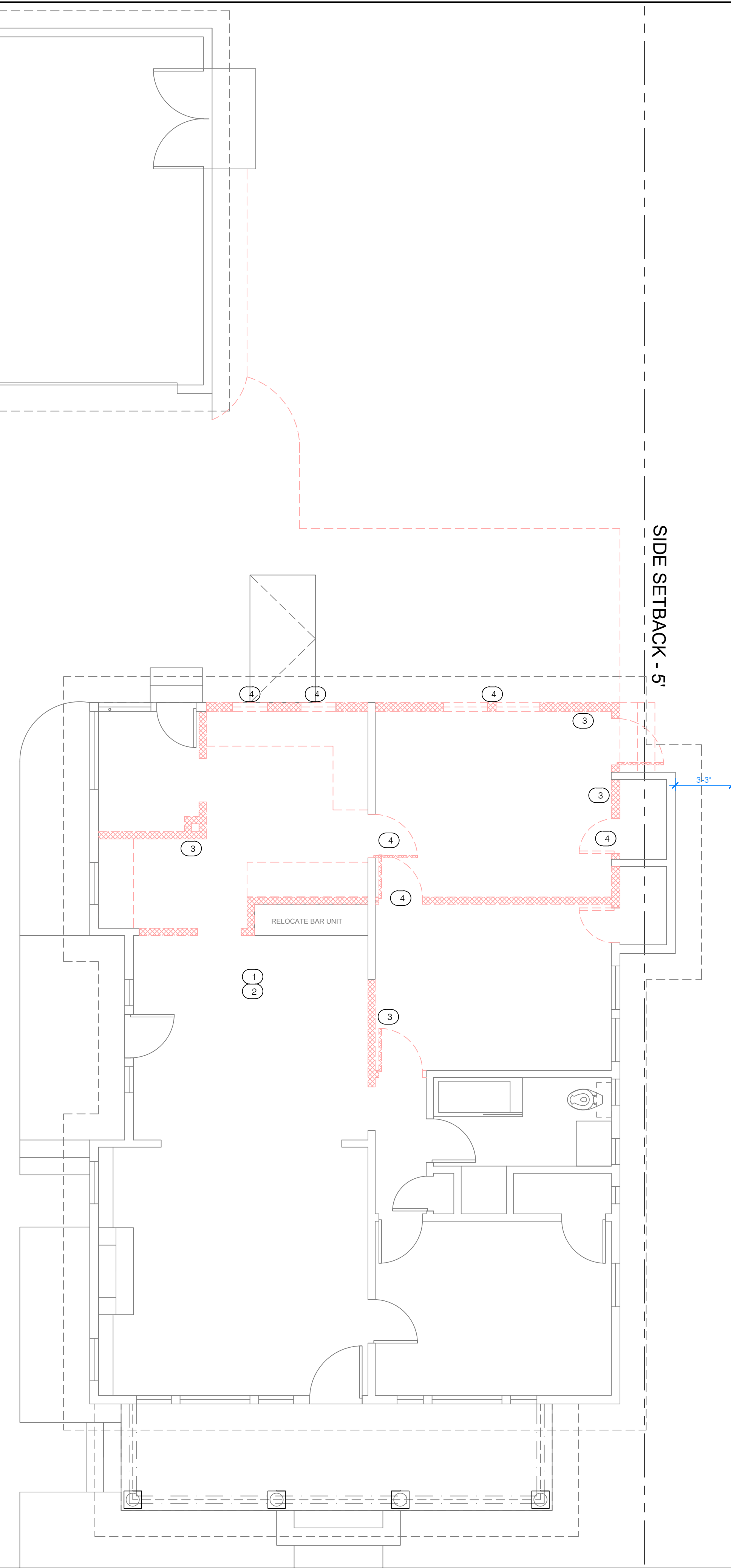
ISSUE: DESIGN REVISION 2/9/21

SIDE PROPERTY LINE - 150.00'

SIDE SETBACK - 5'

SIDE SETBACK - 5'

SIDE PROPERTY LINE - 150.00'



FLOOR PLAN GENERAL NOTES

SEE SHEET A0.2 & A.02a FOR GENERAL NOTES

DEMOLITION PLAN NOTES

- DRAWINGS OF EXISTING CONDITIONS HAVE BEEN COMPILED FROM EXISTING DATA SUPPLIED BY THE OWNER TO THE DESIGNER. THE DESIGNER MAKES NO WARRANTY, EITHER EXPRESS OR IMPLIED, FOR THE ACCURACY OF THE COMPLETENESS OF THE EXISTING INFORMATION RECORDED. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND NOTIFY THE DESIGNER IMMEDIATELY OF ANY DISCREPANCIES OR CONFLICTS THAT MIGHT ARISE IN THE COURSE OF THE DEMOLITION WORK.
- VERIFY LOCATIONS OF EXISTING MECHANICAL, PLUMBING AND ELECTRICAL UTILITIES. LOCATE AND PROTECT UTILITIES TO REMAIN. DISCONNECT, REMOVE BACK TO NEAREST JUNCTION BOX OR PANEL, AS REQUIRED, AND CAP DESIGNATED UTILITIES WITHIN THE DEMOLITION AREA. REFER TO THE MECHANICAL, PLUMBING AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFO.
- EXISTING ELECTRICAL AND TELEPHONE OUTLETS LOCATED ON DEMOLISHED WALLS ARE TO BE REMOVED.
- WHERE PLUMBING FIXTURES ARE BEING REMOVED OR WHERE EXPOSED PLUMBING PIPES OCCUR, CAP LINES BEHIND FINISHED SURFACES. PATCH AND REPAIR AS REQUIRED. REMOVE ALL (E) PLUMBING SUPPLY/WASTE LINES AND PREPARE FOR NEW FROM STREET AS REQUIRED.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON OR NOT AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF HIS WORK.
- THE CONTRACTOR WILL VERIFY AND CONFORM TO ALL REQUIREMENTS OF ALL UTILITY COMPANIES UNLESS OTHERWISE NOTED IN THE PLANS AND SPECIFICATIONS.
- THE DEMOLITION PLAN KEYNOTES ARE DIAGRAMMATIC AND GENERAL IN NATURE. THE INTENT IS TO ILLUSTRATE THE COMPLETE DEMOLITION OF THE SPACES INDICATED UNLESS NOTED OTHERWISE. FIELD VERIFICATION OF EXISTING CONDITIONS AND SPECIFIC QUANTITIES IS THE RESPONSIBILITY OF THE CONTRACTOR.
- REMOVAL AND DISPOSAL OF DEMOLITION DEBRIS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY THE HAULING ROUTE THROUGH THE BUILDING, THE DEMOLITION STAGING AREA, AND THE LOCATION OF THE DUMPSTERS WITH THE OWNER PRIOR TO THE START OF DEMOLITION. DISPOSAL OF RUBBISH SHALL BE DONE IN A LEGAL MANNER.
- THE OWNER RESERVES THE RIGHT TO SALVAGE ANY DEMOLISHED ITEM. VERIFY ITEMS TO BE SALVAGED WITH THE OWNER PRIOR TO THE START OF DEMOLITION. REMOVE, PROTECT, CLEAN, REPAIR FOR REUSE AND TURN OVER SUCH ITEMS AS DIRECTED BY THE OWNER.
- PROVIDE ADEQUATE SHORING, BRACING, BARRICADES AND PROTECTIVE MEASURES AS REQUIRED TO SAFELY EXECUTE THE WORK IN THE CONSTRUCTION AREA AND THE AREAS ADJACENT TO THE CONSTRUCTION AREA. CEASE OPERATIONS AND NOTIFY THE DESIGNER IMMEDIATELY IF THE STRUCTURE APPEARS TO BE ENDANGERED. DO NOT RESUME OPERATIONS UNTIL CORRECTIVE MEASURES HAVE BEEN TAKEN.
- CONTRACTOR IS RESPONSIBLE FOR BUILDING/SITE SECURITY DURING DEMOLITION PHASE. PROTECT ALL OPENINGS FROM WEATHER CONDITIONS AND SECURE THEM TO PREVENT VANDALISM.
- DESIGNER ASSUMES NO RESPONSIBILITY RELATING TO ANY TOXIC MATERIALS, INCLUDING ASBESTOS, AND ASSUMES NO RESPONSIBILITY TO ITS EXISTENCE OR REMOVAL. THE OWNER WILL TAKE ACTION FOR DIRECTLY CONTRACTING WITH A CONSULTANT OR SPECIALIST, LICENSED BY THE STATE. FOR SUCH SERVICES SHOULD THOSE SERVICES BE REQUIRED ON THE PROJECT.
- CONTRACTOR TO RELOCATE AND REUSE EXISTING DOORS AND HARDWARE WHERE POSSIBLE.
- CONTRACTOR SHALL ASSUME BEST PRACTICES AND ASSUME ANY USABLE BUILDING FEATURE/BUILT-IN NOT BEING USED IN THE NEW BUILD TO BE DONATED TO CHARITABLE CAUSES.

DEMOS DEMO FLOOR PLAN KEYNOTES

- REMOVE ALL EXISTING BUILDING MATERIAL SLATED FOR DEMOLITION AND DIVERT TO APPLICABLE WASTE FACILITIES
- ALL APPLIANCES AND PLUMBING FIXTURES THE CLIENT INTENDS TO KEEP/REUSE SHALL BE TAGGED AND STORED FOR POTENTIAL REUSE IN NEW BUILDING VERIFY WITH CLIENT
- REMOVE PORTION OF WALL AS INDICATED. VERIFY LOAD BEARING MEMBERS AGAINST PROPOSED STRUCTURAL PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND IN THE FIELD. ANY EXTERIOR TRIM/SIDING THAT IS BEING REMOVED SHALL BE REINSTALLED WHERE POSSIBLE. ALL NEW MATERIAL SHALL MATCH.
- CAREFULLY REMOVE EXISTING DOOR/WINDOW/TRIM AS INDICATED AND PREPARE FOR RELOCATION PER A2.1

DEMOS DEMO FLOOR PLAN LEGEND

- EXISTING WALLS TO BE REMOVED
- (*) WALLS ABOVE DOOR/WINDOW HEAD IN RATED WALLS SHALL BE RATED PER ADJACENT WALLS
- (**) WALLS ABOVE DOOR/WINDOW HEAD IN WALLS TO BE UPGRADED FROM NON-RATED TO RATED CONDITION SHALL BE UPGRADED PER ADJACENT WALLS
- EXISTING ITEMS (FIXTURES, CASEWORK, EQUIPMENT, ETC.) TO BE REMOVED
- (E) = EXISTING TO REMAIN
- (N) = NEW
- (ER) = EXISTING TO BE RELOCATED
- DIMENSIONS: ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF CONCRETE OR MASONRY FACE OF FRAMING, OR CENTERLINE OF GRID LINES UNLESS NOTES OTHERWISE.
- NEW DOOR AND MARKER EXISTING DOOR AND FRAME TO REMAIN
- EXISTING DOOR/WINDOW AND FRAME TO BE REMOVED

PROJECT:
CECIL/FROEMMLING RESIDENCE
 (RENOVATION/ADDITION)
 #591 (DIXON HOUSE)
 524 W. 19TH STREET
 SANTA ANA
 CA 92706

SEAL AND STAMP:

CONSULTANTS:

ISSUE DATES

No.	DATE	DESCRIPTION
▲	11/4/20	SPACE PLANNING
▲	11/13/20	SPACE PLANNING II
▲	11/17/20	HEMA APPLICATION
▲	2/9/21	DESIGN REVISION

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 PROJECT NO:
 SHEET TITLE:

EXISTING/DEMO FLOOR PLANS

SHEET NO:

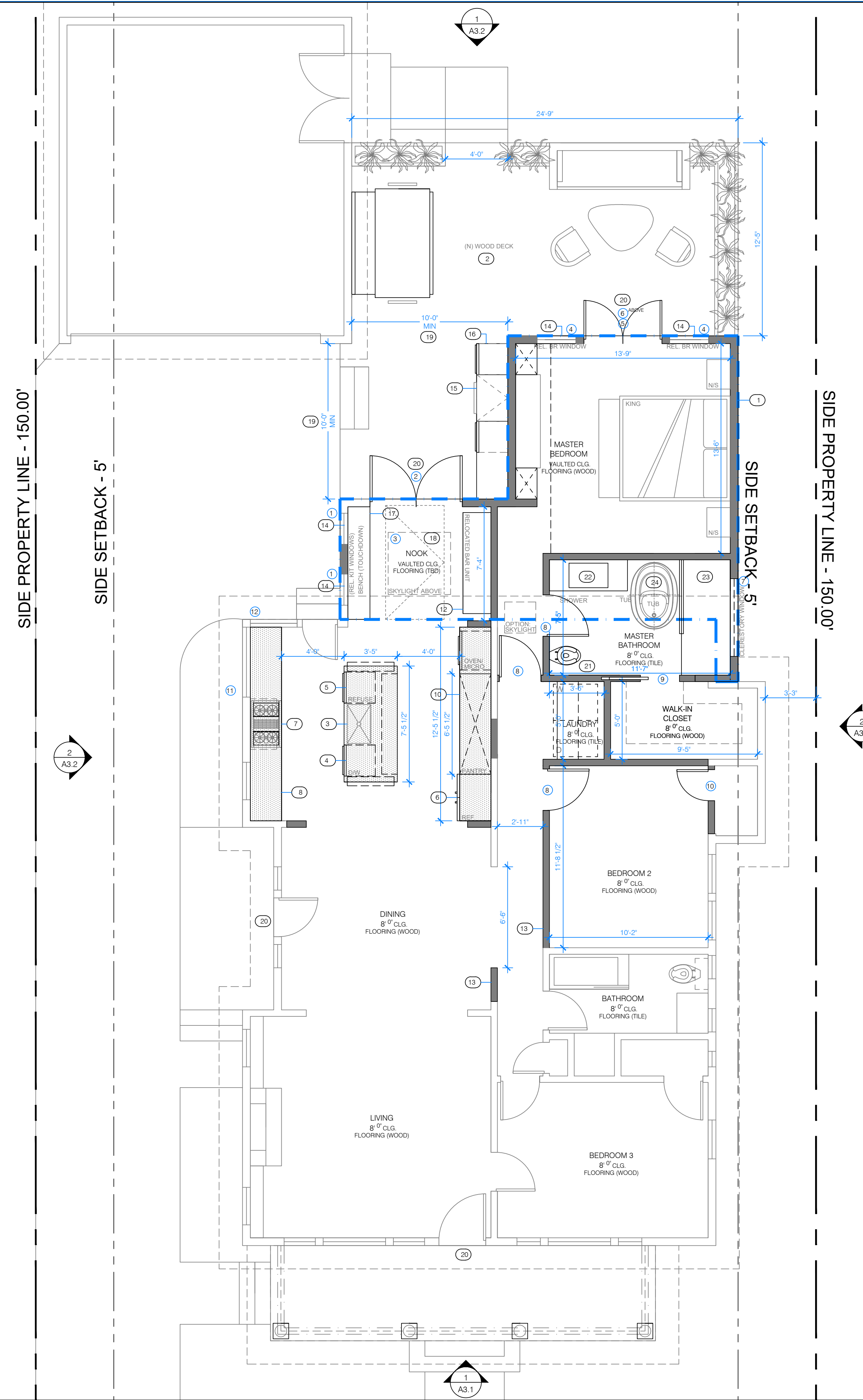
A1.1

FIRST FLOOR DEMO PLAN

SCALE
 1/4" = 1'-0"

1

ISSUE: DESIGN REVISION 2/9/21



PROPOSED FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

FLOOR PLAN GENERAL NOTES

SEE SHEET A0.2 & A.02a FOR GENERAL NOTES

FLOOR PLAN NOTES

- WALL COVERING SHALL BE CEMENT PLASTER, TILE OR APPROVED EQUAL TO 70" ABOVE DRAIN AT SHOWERS OR TUB WITH SHOWERS. MATERIALS OTHERS THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT. IBC 1210.3 (NOTE THIS PROJECT WILL REQUIRE FULL HEIGHT TILE IN ALL WET LOCATIONS U.N.O.)
- PROVIDED WATER CLOSETS WITH MAXIMUM 1.28 GPF. BATHROOM FAUCET BETWEEN 0.8-1.5 GPF AT 20-60 PSI, AND SHOWERHEADS WITH MAXIMUM 2.0 GPM AT 80 PSI
- APPLIANCES TO BE PROVIDED BY CLIENT - REUSE (E) WHERE POSSIBLE. REFER TO T24 FOR MINIMUM ROOF-WALL-FLOOR INSULATION R-VALUES

FLOOR PLAN KEYNOTES

- AREA OF ADDITION (358 SF)
- (N) REAR PORCH / DECK
- SINK WITH GARBAGE DISPOSAL WITH AIR GAP FOR DISHWASHER. VERIFY DIM. W/ MFR. SPEC. NOTE RELOCATION FROM EXISTING SINK AND REPLUMB AS REQUIRED
- DISHWASHER WITH AIR GAP - VERIFY DIMENSIONS WITH MANUFACTURERS SPECIFICATIONS
- TRASH/RECYCLING/COMPOST PULL-OUT (COMPACTOR - TBD)
- 36" MIN. CLEAR REFRIGERATOR SPACE. PROVIDE RECESSED COLD WATER BIBB AND SHUT-OFF FOR ICE MAKER.
- (E) 36" RANGE WITH BUILT-IN OVERHEAD VENTILATION - VENT TO OUTSIDE AIR AS REQ.
- BASE CABINETS
- N.I.U.
- PANTRY - FULL HEIGHT ADJ. SHELVING
- N.I.U.
- (E) LEGACY MILLWORK COUNTER +42" U.N.O. TO BE RELOCATED
- INFILL EXISTING OPENING(S) AS REQUIRED. MATCH ASSEMBLY/TRIM/FINISH TO ADJ. SURFACES
- RELOCATED WINDOW/TRIM
- (N) BUILT IN BBO (SPEC BY CLIENT)
- EXTERIOR COUNTER/BBO. INSTALL/PREP FOR U/C REF. AND KEGERATOR
- BENCH/SERVICE BAR (SEE INTERIOR ELEVATIONS)
- SUB-FLOOR ACCESS PANEL TO REMAIN
- 10' MIN OCCUPANCY SEPARATION BETWEEN GARAGE (U) AND LIVING (R-3)
- LANDING PER CRC R311.3
- (N) WALL MOUNTED WATER CLOSET WITH MIN. 30"x24" CLEAR FLOOR SPACE IN FRONT 1.28 GALLONS/FLUSH
- (N) LAVATORY - PER OWNER SELECTION REFER TO SPEC. FOR INSTALLATION INSTRUCTIONS
- TILE SHOWER PAN WITH FULL HEIGHT TILE AND TEMP GLASS ENCLOSURE. PROVIDE RECESSED NICHE, AND SHOWER SEAT AT 18" HIGH ABV. FFL. PER PLAN, U.N.O.
- (N) FREESTANDING TUB (BY CLIENT)

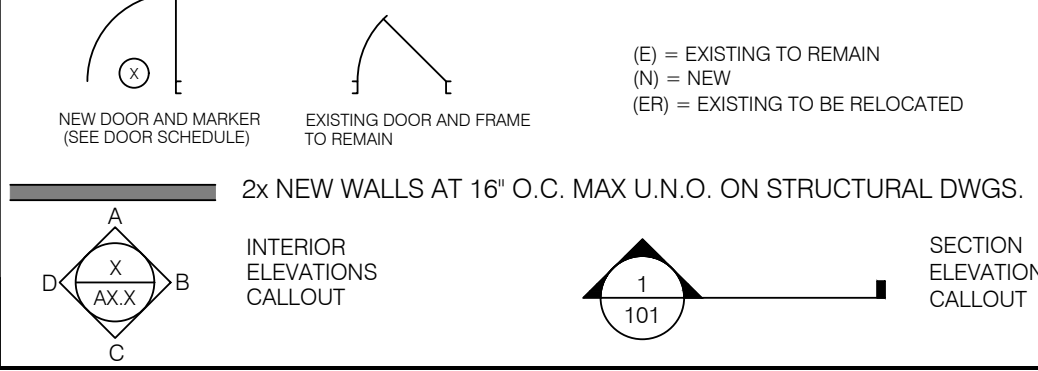
DOOR/WINDOW NOTES

- WINDOW MANUFACTURER TO VERIFY THEIR SPECIFICATIONS COMPLY WITH EGRESS REQUIREMENTS PER IBC 310.4 FOR WINDOW SIZES NOTED ON PLAN.
 - ALL NEW WINDOWS TO BE WOOD TO MATCH EXISTING, MANUFACTURER AS SELECTED BY OWNER U.N.O. GLAZING PER T-24.
- (L) LOCKSET
 - (T) TEMPERED
 - (SL) SIDELITE
 - (FR) FIRE RATED
 - (SC) SELF CLOSING
 - (SL) SELF LATCHING
 - (PRIV) PRIVACY FROST/FILM

DOOR/WINDOW SCHEDULE

ITEM #	SIZE	TYPE	NOTES
1	(2) 2'-0" X 3'-0"	SINGLE HUNG	RELOCATE EXISTING
2	5'-11" X 6'-8"	FRENCH	(L)(T) SIM-DIVIDED-LITE
3	4'-0" X 4'-0"	VENTED SKYLIGHT	VELUX VCE 4848 OR SIM
4	(2) 2'-6" X 4'-5"	SINGLE HUNG	RELOCATE EXISTING
5	5'-0" X 6'-8"	FRENCH	(L)(T) SIM-DIVIDED-LITE
6	(SEE ELEVATION)	TRIANGULAR FIXED	(T) CLERESTORY
7	5'-0" X 1'-8"	DBL CSMT	(PRIV)(T)
8	2'-8" X 6'-8"	SWING	(L) SOLID CORE
9	2'-8" X 6'-8"	POCKET	SINGLE-LITE MIRROR(S)
10	2'-0" X 6'-8"	SWING	(REUSE (E)-TBD)
11	4'-6" X 3'-0"	DBL CSMT	(T) (R/R TO MATCH (E))
12	3'-0" X 3'-0"	SINGLE HUNG	(T) (R/R TO MATCH (E))

FLOOR PLAN LEGEND



PROJECT:
CECIL/FROEMMLING RESIDENCE
 (RENOVATION/ADDITION)
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 SANTA ANA
 CA 92706

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ISSUE DATES

No.	DATE	DESCRIPTION
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2	11/13/20	SPACE PLANNING II
3	11/17/20	HEMA APPLICATION
4	2/9/21	DESIGN REVISION

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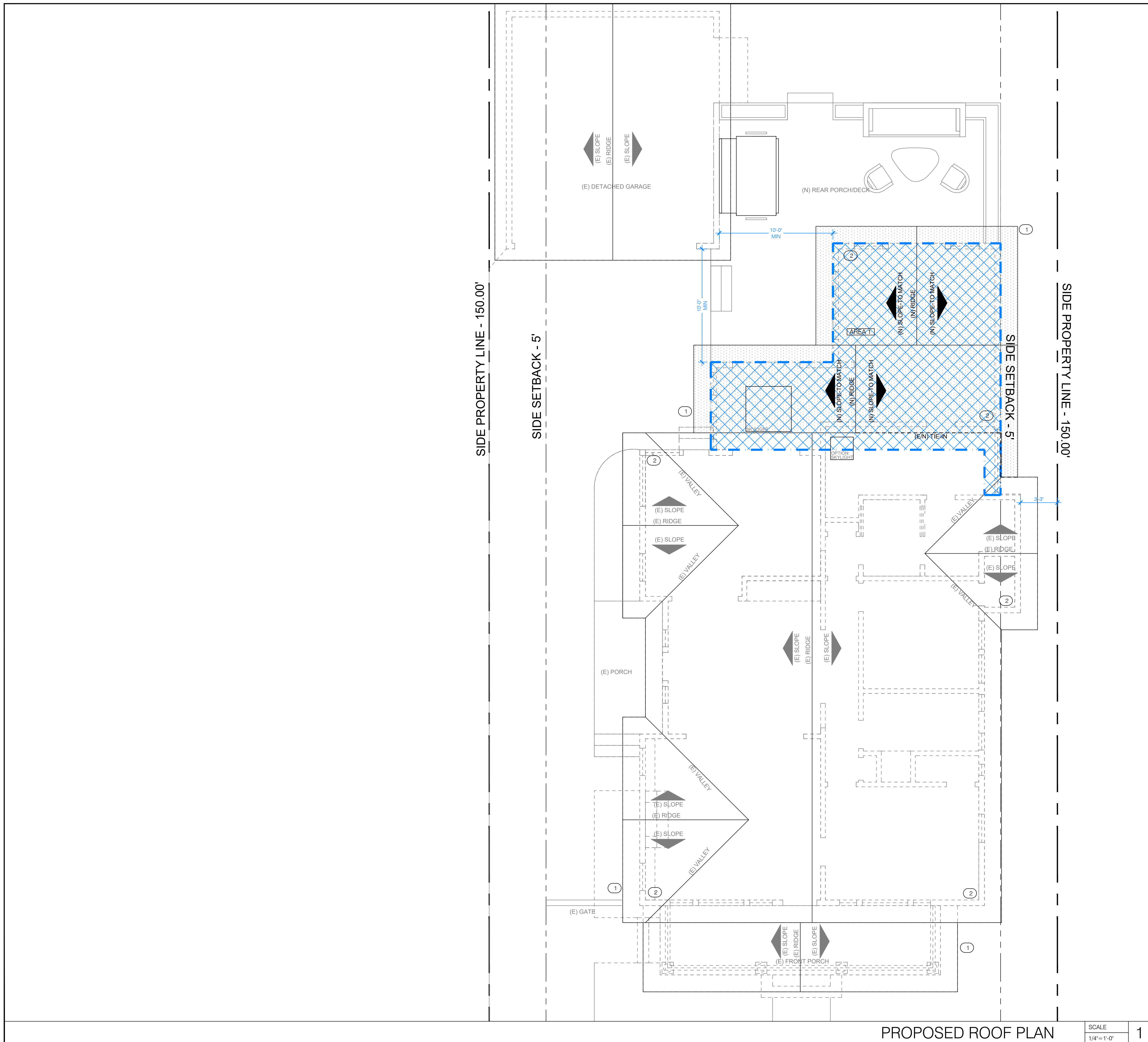
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 PROJECT NO:

SHEET TITLE:
PROPOSED FLOOR PLAN

SHEET NO:
A2.1

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ROOF PLAN GENERAL NOTES

SEE SHEET A0.2 & A.02a FOR GENERAL NOTES

ROOF VENTILATION NOTES

- ALL ROOF SHEATHING EDGES SHALL BE BLOCKED & NAILED PER STRUC. PLANS. IN ADDITION, CONTRACTOR SHALL ALSO PROVIDE MIN. BLOCKING & NAILING AS REQUIRED BY THE ROOFING MFR.
- ALL ELEVATIONS ARE APPROXIMATE AND CONTRACTOR SHALL VERIFY PRIOR TO CONSTRUCTION.

FLOOR PLAN KEYNOTES

- 1 LINE OF ROOF
- 2 LINE OF BUILDING (WALL BELOW)

TYPICAL ROOF MATERIAL

MATERIAL: COLOR AS SELECTED BY OWNER. COMPOSITE ROOFING, MATCH EXISTING GAF. COMPOSITE SHINGLES ESP-1475 OR APPROVED EQUIVALENT OVER TYPE 30 FELT UNDERLAYMENT OVER 1/2" NOMINAL PLYWOOD ROOF SHEATHING WITH EXT. GLUE PROVIDE FIRE RETARDANT ROOF COVERING OF CLASS C MINIMUM.

INSTALLATION: OVER TWO LAYERS OF TYPE 30 FELT UNDERLAYMENT INSTALL PER MANUFACTURERS SPECIFICATIONS AND PRINTED INSTALLATION INSTRUCTIONS FOR ROOF COMPOSITE AT SLOPES LESS THAN 4:12. INSTALL ROOFING OVER MODIFIED BITUMEN ROOFING, OVER EXTERIOR GRADE ROOF SHEATHING.

SLOPE: EXISTING TO REMAIN/MATCH AS REQUIRED

GUTTERS: GUTTERS SHALL BE GALV. STEEL 4" WIDE X 3" HIGH OGEE STYLE PAINT TO MATCH ADJACENT SURFACE. GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER PER RESIDENTIAL CODE R327.534 AND BUILDING CODE 705A.4

DOWNSPOUTS: DOWNSPOUTS SHALL BE GALV. STEEL - PAINT TO MATCH ADJACENT SURFACE - REFER TO DRAWINGS FOR CONNECTION TO UNDERGROUND DRAINAGE SYSTEM

VENTS: * OHAGIN LOW PROFILE VENTS* MODEL NO. 50043 ICC-ES 9650-A

ATTIC VENTILATION CALCULATION

VENTS: * OHAGIN LOW PROFILE VENTS* MODEL NO. 50043 ICC-ES 9650-A

[AREA 1]
ATTIC AREA: 358 SQ. FT./300 = 1.193 SQ. FT. = 171.792 SQ. IN.

VENTILATION:
(2) OHAGIN VENTS (HIGH) = 144 SQ. IN.
(72 SQ IN VENT FREE AREA EACH)
(1) OHAGIN VENTS (LOW) = 72 SQ. IN.
(72 SQ IN VENT FREE AREA EACH)

TOTAL PROVIDED: = 216 SQ. IN.

ROOF PLAN LEGEND

- NEW ROOF LINE
- NEW ROOF AREA
- DIRECTION OF SLOPE TO DRAIN

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PROPOSED ROOF PLAN

SHEET NO:

A2.3

PROPOSED ROOF PLAN

SCALE
1/4" = 1'-0"

1

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DOOR/WINDOW SCHEDULE

ITEM #	SIZE	TYPE	NOTES
1	(2) 2'-0" X 3'-0"	SINGLE HUNG	RELOCATE EXISTING
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3	4'-0" X 4'-0"	VENTED SKYLIGHT	VELUX VCE 4848 OR SIM
4	(2) 2'-6" X 4'-5"	SINGLE HUNG	RELOCATE EXISTING
5	5'-0" X 6'-8"	FRENCH	(L)(T) SIM-DIVIDED-LITE
6	(SEE ELEVATION)	TRIANGULAR FIXED	(T) CLERESTORY
7	5'-0" X 1'-8"	DBL CSMT (PRIVY)	(T) CLERESTORY
8	2'-8" X 6'-8"	SWING	(L) SOLID CORE
9	2'-8" X 6'-8"	POCKET	SINGLE-LITE MIRROR(S)
10	2'-0" X 6'-8"	SWING	(REUSE (E)-TBD)
11	4'-6" X 3'-0"	DBL CSMT	(T) (R/R TO MATCH (E))
12	3'-0" X 3'-0"	SINGLE HUNG	(T) (R/R TO MATCH (E))

DOORS/WINDOWS: 1. WINDOWS & DOORS SHALL MATCH EXISTING

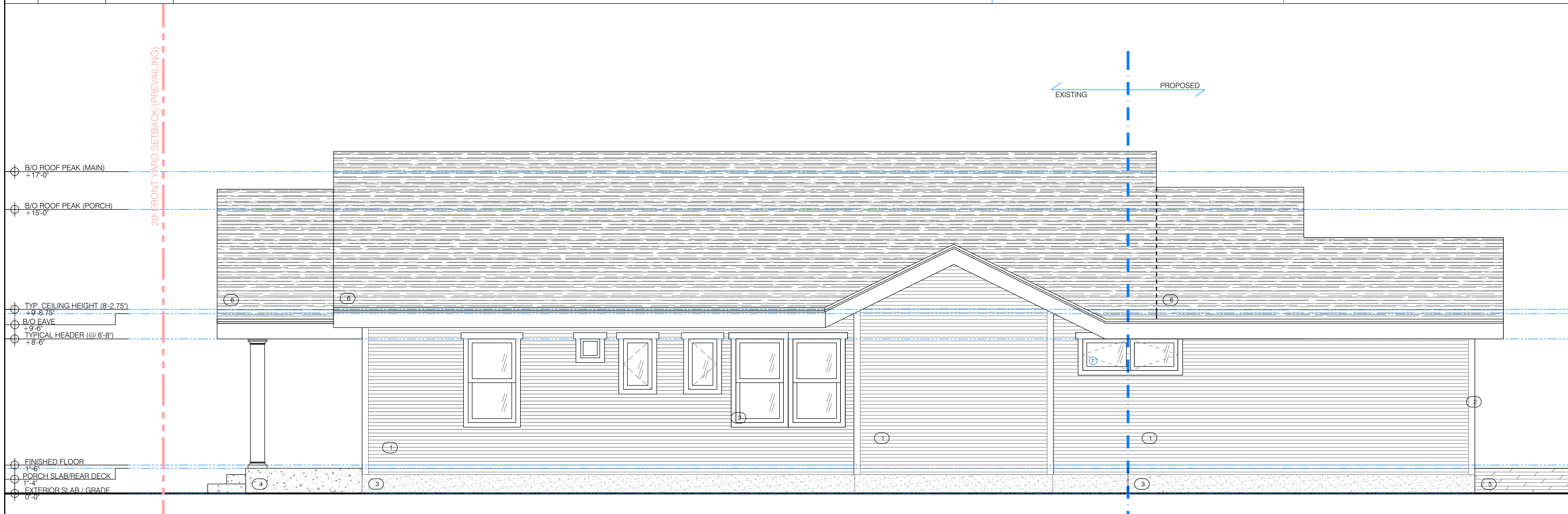
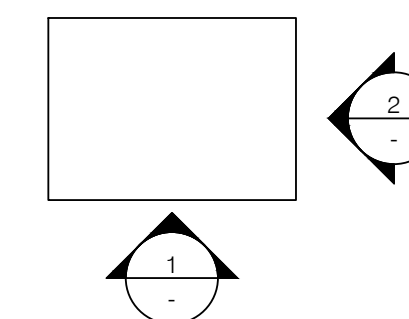
ELEVATION NOTES

ROOFING: COMPOSITE - TO MATCH EXISTING
 FASCIA: WOOD EAVE, TO MATCH EXISTING
 VAPOR BARRIER: PROVIDE VAPOR BARRIER AROUND ALL WALL PENETRATIONS INCLUDING DOORS, WINDOWS AND VENTS PER DETAILS.
 EXTERIOR WALLS: CLAPBOARD SIDING WITH VERTICAL CORNER TRIM AND WINDOW TRIM TO MATCH EXISTING

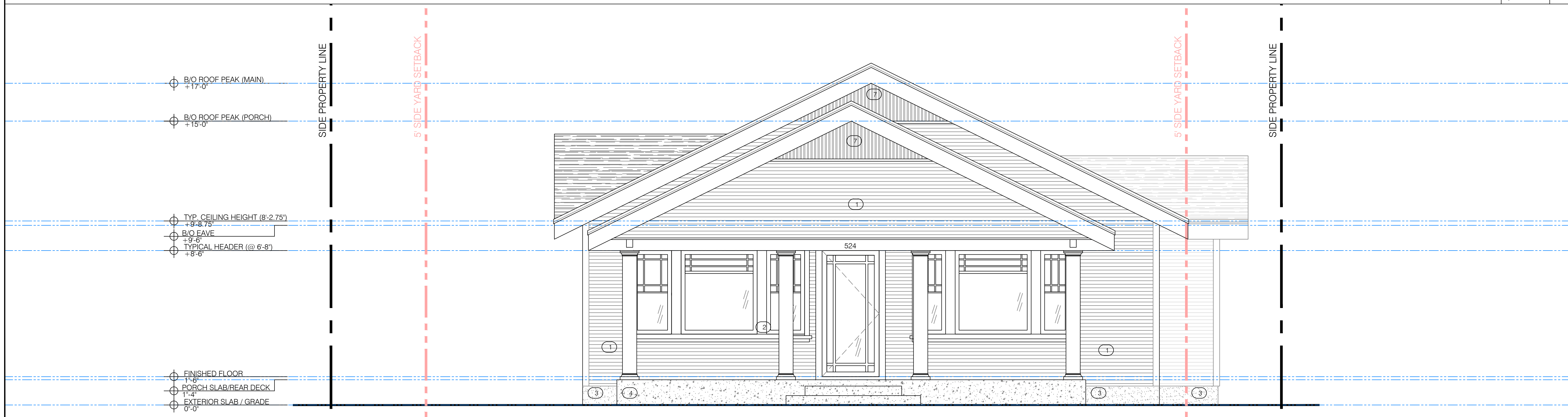
XX ELEVATION KEYNOTES

1. CLAPBOARD SIDING (WHERE NEW MATCH EXISTING)
2. WOOD TRIM (WHERE NEW MATCH EXISTING)
3. STUCCO OVER CONCRETE STEM WALL (WHERE NEW MATCH EXISTING)
4. CONCRETE PORCH/PAD
5. NEW RAISED WOOD DECK
6. COMPOSITE ROOFING (WHERE NEW MATCH EXISTING)
7. ATTIC VENT - VERTICAL WOOD SLAT (WHERE NEW MATCH EXISTING)

ELEVATIONS KEYPLAN



PROPOSED RIGHT ELEVATION SCALE 3/8"=1'-0" 2



STREET ELEVATION (NO CHANGE) SCALE 3/8"=1'-0" 1

PROJECT:
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SHEET TITLE:
PROPOSED ELEVATIONS

SHEET NO:
A3.1

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DOOR/WINDOW SCHEDULE

ITEM #	SIZE	TYPE	NOTES
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5	5'-0" X 6'-8"	FRENCH	(L)(T) SIM-DIVIDED-LITE
6	(SEE ELEVATION)	TRIANGULAR FIXED	(T) CLERESTORY
7	5'-0" X 1'-8"	DBL CSMT	(PRIV)(T)
8	2'-8" X 6'-8"	SWING	(L) SOLID CORE
9	2'-8" X 6'-8"	POCKET	SINGLE-LITE MIRROR(S)
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DOORS/ WINDOWS: 1. WINDOWS & DOORS SHALL MATCH EXISTING

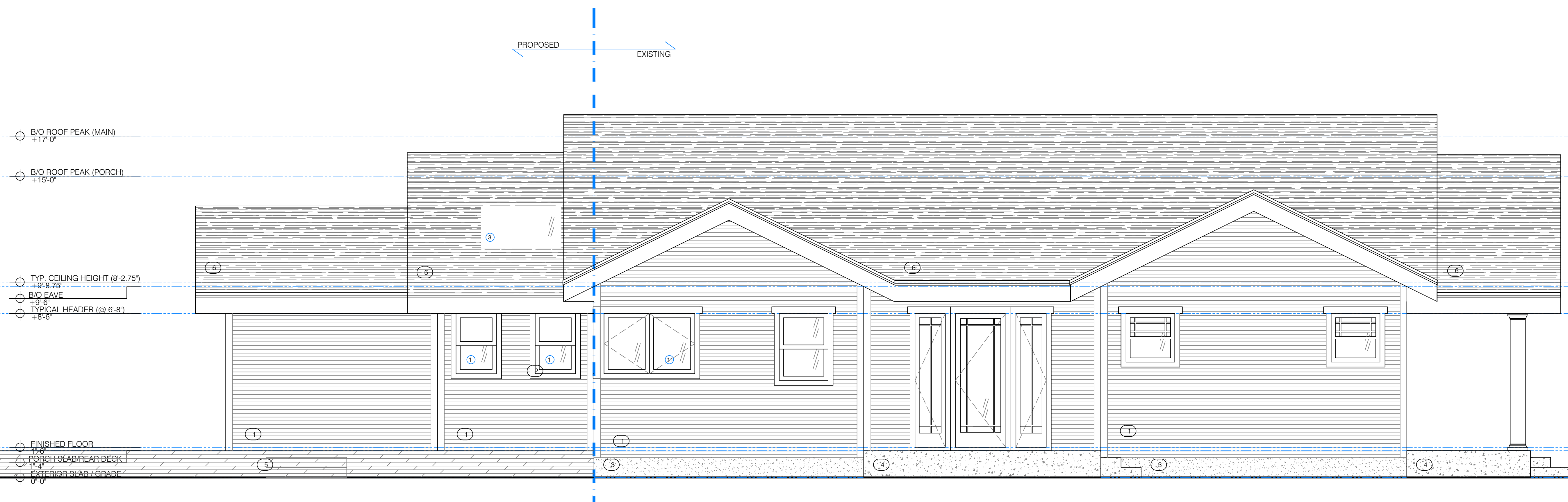
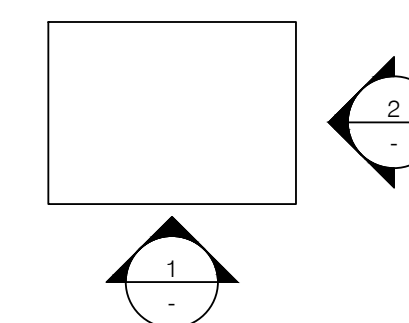
ELEVATION NOTES

ROOFING: COMPOSITE - TO MATCH EXISTING
 FASCIA: WOOD EAVE, TO MATCH EXISTING
 VAPOR BARRIER: PROVIDE VAPOR BARRIER AROUND ALL WALL PENETRATIONS INCLUDING DOORS, WINDOWS AND VENTS PER DETAILS.
 EXTERIOR WALLS: CLAPBOARD SIDING WITH VERTICAL CORNER TRIM AND WINDOW TRIM TO MATCH EXISTING

XX ELEVATION KEYNOTES

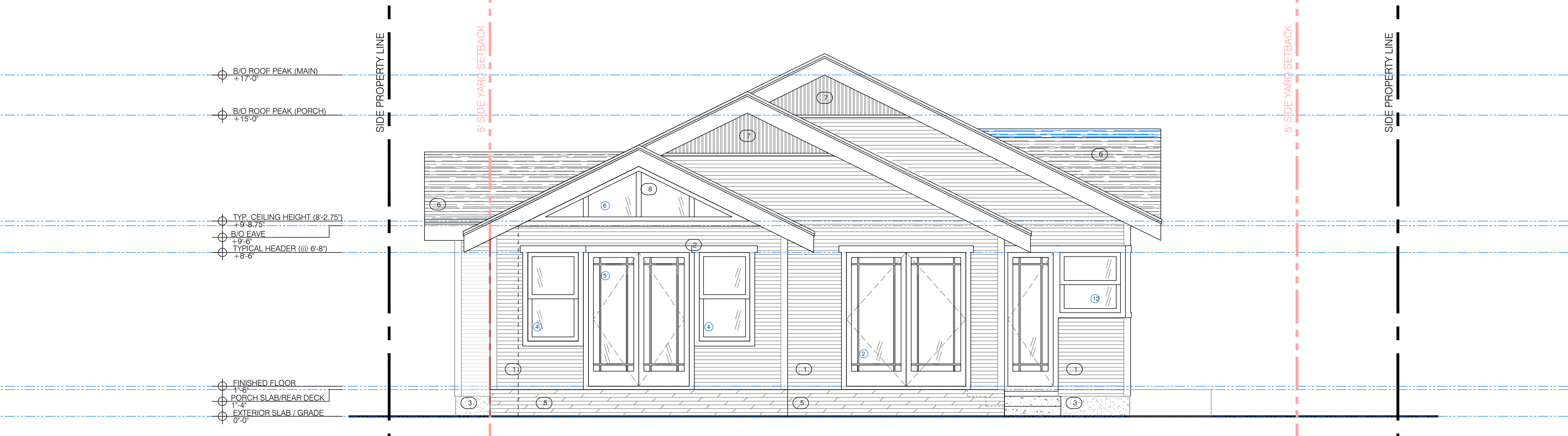
1. CLAPBOARD SIDING (WHERE NEW MATCH EXISTING)
2. WOOD TRIM (WHERE NEW MATCH EXISTING)
3. STUCCO OVER CONCRETE STEM WALL (WHERE NEW MATCH EXISTING)
4. CONCRETE PORCH/PAD
5. NEW RAISED WOOD DECK
6. COMPOSITE ROOFING (WHERE NEW MATCH EXISTING)
7. ATTIC VENT VERTICAL WOOD SLAT (WHERE NEW MATCH EXISTING)
8. NEW CLERESTORY

ELEVATIONS KEYPLAN



PROPOSED LEFT ELEVATION

SCALE 3/8"=1'-0" 2



PROPOSED REAR ELEVATION

SCALE 3/8"=1'-0" 1

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SHEET TITLE: PROPOSED ELEVATIONS

SHEET NO: A3.2

WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

ISSUE: DESIGN REVISION 2/9/21



**City of Santa Ana
20 Civic Center Plaza, Santa Ana, CA 92701
Historic Resources Commission Staff Report
March 25, 2021**

Topic: HRCA No. 2020-09, HRC 2020-08, HPPA No. 2020-11 - The Hamilton-Schoppert House

RECOMMENDED ACTION

1. Adopt a resolution approving Historic Resources Commission Application No. 2020-09 and Historic Register Categorization No. 2020-08 (Exhibit 1).
2. Recommend that the City Council authorize the City Manager and Clerk of the Council to execute the attached Mills Act agreement with Andres and Lynda Matzkin, subject to non-substantive changes approved by the City Manager and City Attorney (Exhibit 2).

EXECUTIVE SUMMARY

Andres and Lynda Matzkin are requesting approval to designate an existing residence located at 2042 North Victoria Drive to the Santa Ana Register of Historical Properties, as well as approval to execute a Mills Act agreement with the City of Santa Ana.

On October 29, 2020, the Historic Resources Commission (HRC) held a public hearing to discuss the placement of 2042 North Victoria Drive onto the Santa Ana Register of Historical Properties. However, at the public hearing the HRC expressed concerns regarding staff's recommendation regarding the structure's architectural style of Minimal Traditional. Specifically, the HRC felt that the architectural style would be better identified as the Monterey architectural style. Therefore, the HRC continued the item to afford City staff time to affirm the most appropriate architectural style with the City's historic consultant, Chattel, Inc. Chattel's analysis indicates that the structure's architectural style is Minimal Traditional based on its character-defining elements. A summary of Chattel's subsequent assessment on the architectural style is provided as part of the discussion below.

DISCUSSION

Project Location and Site Description

The subject property is located on the west side of North Victoria Drive in the Floral Park neighborhood. The site consists of a 3,277-square-foot, Minimal Traditional residence and attached garage on a 14,374-square-foot residential lot (Exhibit 3).

Analysis of the Issues

Architectural Assessment

Leslie Heumann, Principal Architectural Historian with Chattel, Inc., provided an additional architectural assessment. The analysis summarizes that the house has a balcony, similar massing, and some of the American Colonial Revival influences that would typically characterize the Monterey Revival architectural style. While it could be called a very late example of the Monterey Revival, the Monterey Revival was largely a pre-World War II style. More importantly, it was a “fusion” of Spanish Colonial and American Colonial Revival styles, growing out of mid-19th century Monterey, CA, when new settlers from the east combined wood vernacular and American Colonial idioms with the adobe architecture that had prevailed in Monterey up to that point.

This house was built in 1956, post-World War II, and has no trace of Spanish Colonial Revival style. Moreover, several details of this house are also not typical of the Monterey Revival style, including the shed-roofed entry porch that is perpendicular to the main, two-story volume; the facade projections (bay window beneath the balcony on the first floor and stepped facade of the one-story wing); cross-gabled roof treatment of the one-story wing; lack of classical detailing (or Spanish detailing) of the window and door surrounds; and the window types, dimensions, and divisions of lights.

Chattel’s analysis concludes that existing resources (McAlester 1984) further note that within the Minimal Traditional style, “...occasional two-story examples are also seen. More commonly, two-story houses of the period have extra detailing and represent late of examples of one of the traditional Eclectic styles, usually Colonial Revival or Monterey.” However, because of this particular property’s deviations from the Monterey, the McAlester’s description of the Minimal Traditional as a “...compromise style which reflects the form of traditional Eclectic houses but lacks their decorative detailing,” was more applicable. Therefore, it’s recommended that the recommendation regarding the structure’s architectural style remain as Minimal Traditional.

Historical Listing

In March 1999, the City Council approved Ordinance No. NS-2363 establishing the Historic Resources Commission and the Santa Ana Register of Historical Properties.

The Historic Resources Commission may, by resolution and at a noticed public hearing, designate as a historical property any building or part thereof, object, structure, or site having importance to the history or architecture of the city in accordance with the criteria set forth in Section 30-2 of the Santa Ana Municipal Code (SAMC). This project entails applying the selection criteria established in Chapter 30 of the Santa Ana Municipal Code (Places of Historical and Architectural Significance) to determine if this structure is eligible for historic designation to the Santa Ana Register of Historical Properties. The first criterion for selection requires that the structures be 50 or more years old.

The structure identified meets the minimum selection criteria for inclusion on the Santa Ana Register of Historical Properties pursuant to criteria contained in Section 30-2 of the Santa Ana Municipal Code, as the property is 65 years old and is a good example of period architecture. No known code violations exist on record for this property.

The property, recognized as the Hamilton-Schoppert House, is located within the Floral Park neighborhood boundaries and has distinctive architectural features of the Minimal Traditional style. The residence was built in 1956 by V.J. Anderson. A majority of Floral Park was developed by prominent local builder Allison Honer who was credited as the subdivider and builder of a major portion of northwest Santa Ana. In the late 1920s and 1930s, another builder, Roy Roscoe Russell, continued developing the groves of Floral Park. In the early post World War II years, Floral Park continued its development as numerous, smaller, single-family houses were built.

Asymmetrical in design, the house exhibits a gable-and-wing roof design, with a low-pitched front-facing gable design on the first floor, and exhibits wide, overhanging, open eaves at the first floor along the side (north and south) elevations and at the second floor, along the front (east) and rear (west) elevations. The house exhibits little to no eaves at the first floor along the front (east) elevations and at the second floor along the side (north and south) elevations. The roof is clad in contemporary asphalt shingle roofing and the exterior walls are clad in smooth stucco, brick wall cladding along the primary elevation, and horizontal wood clapboard siding on the first floor gable ends. Located in the middle of the front elevation, a small entry portico is characterized by a recessed front entry with overhanging front-façade roof and simple wood porch supports with triangular braces to each side. The entry features a wide six-panel wood door with two half-height sidelights flanking the doorway and a divided-light metal casement picture window adjacent to the entry door. The northern and southern portion of the front elevation also feature large divided-light steel casement windows. Along the north, south, and west elevation, the building incorporates a series of divided-light steel windows, including casement, four-over-four sashes, and corner windows with corner supports. An exterior brick chimney located along the side (south) elevation rises above the roof ridgeline. Character-defining features of the Hamilton-Schoppert House that should be preserved include, but may not be limited to, materials and finishes (brick, stucco, horizontal wood board siding; gable-and-wing roof design with wide,

overhanging, open eaves; brick chimney; wood porch supports with triangular braces to each side; and divided-light metal windows.

The Hamilton-Schoppert House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion No. 1 for embodiment of the distinguishing characteristics of the Minimal Traditional style, dating from the second period of development on North Victoria Lane. Additionally, the house has been categorized as “Contributive” because it “contributes to the overall character and history” of Santa Ana, and, as an early and intact example of the Minimal Traditional style in the Floral Park neighborhood, “is a good example of period architecture.”

Mills Act Agreement

Ordinance No. NS-2382 authorized the Historic Resources Commission to execute Historic Property Preservation Agreements (HPPA), commonly known as Mills Act agreements for eligible properties (Exhibit 2). To be eligible for the Mills Act, the property must be listed on the Santa Ana Register of Historical Properties. The Historic Resources Commission Application and Historic Register Categorization actions proposed for this site authorize the listing of the property on the local register. The agreement provides monetary incentives to the property owner in the form of a property tax reduction in exchange for the owner’s voluntary commitment to maintain the property in a good state of repair as necessary to maintain its character and appearance. Once recorded, the agreement generates a different valuation method in determining the property’s assessed value, resulting in tax savings for the owner. Aside from the tax savings, the benefits include:

- Long term preservation of the property and visual improvement to the neighborhood
- Allows for a mechanism to provide for property rehabilitation
- Provides additional incentive for potential buyers to purchase historic structures
- Discourages inappropriate alterations to the property

The property has no identified unauthorized modifications. Upon consideration of the application, it is recommended that the City enter into a Historic Property Preservation Agreement.

Public Notification

This public hearing item was originally scheduled for the October 29, 2020, HRC meeting. At that time, the president of the Floral Park Neighborhood Association was notified by mail 10 days prior to this public hearing. In addition, the project site was posted with a notice advertising this public hearing, a notice was published in the Orange County Reporter and mailed notices were sent to all property owners within 500 feet of the project site. At the October 29, 2020, HRC meeting the HRC continued the

item to a date certain. Therefore, no additional public notification was required for this meeting.

ENVIRONMENTAL IMPACT

Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15331 of the CEQA Guidelines (Class 31 – Historical Resource Restoration/Rehabilitation) as these actions are designed to preserve historic resources. Based on this analysis, a Notice of Exemption, Environmental Review No. 2020-68 will be filed for this project.

FISCAL IMPACT

The Historic Property Preservation Agreement will reduce the Property Tax revenue account 01102002-50011 to the City by an estimated \$735.55 annually, for a period of not less than ten years.

EXHIBIT(S)

1. Resolution
2. Mills Act Agreement
3. 500-Foot Radius Map

Submitted By:
Pedro Gomez, AICP, Associate Planner

Approved By:
Minh Thai, Executive Director of Planning and Building Agency, Planning and Building Agency

RESOLUTION NO. 2021-XXX

A RESOLUTION OF THE HISTORIC RESOURCES COMMISSION OF THE CITY OF SANTA ANA APPROVING HISTORIC RESOURCES COMMISSION APPLICATION NO. 2020-09 TO PLACE THE PROPERTY LOCATED AT 2042 NORTH VICTORIA DRIVE, SANTA ANA, ON THE HISTORICAL REGISTER AND APPROVING HISTORIC REGISTER CATEGORIZATION NO. 2020-08 PLACING SAID PROPERTY WITHIN THE CONTRIBUTIVE CATEGORY

BE IT RESOLVED BY THE HISTORIC RESOURCES COMMISSION OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The Historic Resources Commission of the City of Santa Ana hereby finds, determines and declares as follows:

- A. On October 29, 2020, the Historic Resources Commission held a duly noticed public hearing for the placement on the Santa Ana Register of Historical Properties (Historic Resources Commission Application No. 2020-09) and categorization (Historic Resources Commission Categorization No. 2020-08) of the Hamilton-Schoppert House located at 2042 North Victoria Drive, Santa Ana.
- B. At the public hearing, the Historic Resources Commission expressed concerns regarding staff's recommendation regarding the structure's architectural style of Minimal Traditional. Therefore, the Historic Resources Commission voted to continue the item to afford City staff time to affirm the most appropriate architectural style with the City's historic consultant.
- C. On March 25, 2021, the Historic Resources Commission held a continued public hearing for the placement on the Santa Ana Register of Historical Properties (Historic Resources Commission Application No. 2020-09) and categorization (Historic Resources Commission Categorization No. 2020-08) of the Hamilton-Schoppert House located at 2042 North Victoria Drive, Santa Ana.
- D. A subsequent architectural assessment concluded by the City's historic consultant, Chattel, Inc., affirms that the Hamilton-Schoppert House has distinctive architectural features of the Minimal Traditional style.
- E. The Hamilton-Schoppert House, built in 1956, qualifies for listing in the Santa Ana Register of Historical Properties under Criterion No. 1 for embodiment of the distinguishing characteristics of the Minimal Traditional style, dating from the second period of development on North Victoria Lane. Additionally, the house has been categorized as "Contributive"

because it “contributes to the overall character and history” of Santa Ana, and, as an early and intact example of the Minimal Traditional style in the Floral Park neighborhood, “is a good example of period architecture.” Character-defining features of the Hamilton-Schoppert House that should be preserved include, but may not be limited to, materials and finishes (brick, stucco, horizontal wood board siding; gable-and-wing roof design with wide, overhanging, open eaves; brick chimney; wood porch supports with triangular braces to each side; and divided-light metal windows).

- F. The legal owners of the property are Andres and Lynda Matzkin.
- G. The legal description for the subject property is attached hereto as Exhibit A and incorporated by this reference as though fully set forth herein.
- H. The subject property meets the standards for placement on the City of Santa Ana Register of Historic Properties pursuant to Section 30-2 of the Santa Ana Municipal Code.
- I. The subject property meets the minimal standards for placement in the Contributive category pursuant to Section 30-2.2(3) of the Santa Ana Municipal Code.

Section 2. In accordance with the California Environmental Quality Act, the recommended actions are exempt from further review under CEQA Guidelines Section 15331, Class 31, as these actions are designed to preserve historical resources. Categorical Exemption No. ER-2020-68 will be filed for this project.

Section 3. The Historic Resources Commission of the City of Santa Ana, after conducting the public hearing, hereby approves:

- A. Historic Resources Commission Application No. 2020-09 to place the Hamilton-Schoppert House located at 2042 North Victoria Drive, Santa Ana, 92706 on the historical register, and
- B. Historic Register Categorization No. 2020-08 placing the Hamilton-Schoppert House located at 2042 North Victoria Drive, Santa Ana, 92706 within the Contributive category.

These decisions are based upon the evidence submitted at the above said hearing, which includes, but is not limited to: the Staff report and exhibits attached thereto, the report entitled "Historical Property Description," and the public testimony, all of which are incorporated herein by this reference.

Section 4. For the subject property, a report entitled “Historical Property Description” is on file with the Planning Division, and is hereby approved and adopted, and together with the staff report and this Resolution, justify the findings for placement on the City of Santa Ana Register of Historical Properties into a category. The Historic Resources Commission Secretary is authorized and directed to include this Resolution in the City of Santa Ana Register of Historical Properties.

Section 5. The Historic Resources Commission Secretary is hereby directed to file a certified copy of this Resolution with the County Recorder's Office after the adoption of this Resolution, pursuant to Public Resources Code Section 5029.

ADOPTED this 25th day of March, 2021.

Alberta Christy
Chairperson

APPROVED AS TO FORM:
Sonia R. Carvalho, City Attorney

By: John M. Funk
John M. Funk
Sr. Assistant City Attorney

AYES: Commission members _____

NOES: Commission members _____

ABSTAIN: Commission members _____

NOT PRESENT: Commission members _____

CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, SARAH BERNAL, Historic Resources Commission Secretary, do hereby attest to and certify the attached Resolution No. 2021-XXX to be the original resolution adopted by Historic Resources Commission of the City of Santa Ana on March 25, 2021.

Date: _____

Commission Secretary
City of Santa Ana

**EXHIBIT A
LEGAL DESCRIPTION**

APN	Address	Legal Description	Owner Names
002-111-37	2042 North Victoria Drive	<p>COMMENCING AT THE NORTHEAST CORNER OF LOT 35 OF TRACT NO. 788, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 23, AT PAGE 49 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, AND RUNNING THENCE SOUTHERLY, ALONG THE EAST BOUNDARY OF SAID TRACT NO. 788, 185 FEET TO THE SOUTH LINE OF THE LAND CONVEYED TO CALLIE E. HORTON, ET AL., RECORDED OCTOBER 4, 1947 IN BOOK 1559, AT PAGE 132 OF OFFICIAL RECORDS, BEING THE TRUE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED;</p> <p>RUNNING THENCE SOUTHERLY, ALONG THE EAST BOUNDARY OF SAID TRACT NO. 788, 45.89 FEET TO THE NORTHEAST CORNER OF LOT 27 OF SAID TRACT NO. 788;</p> <p>THENCE EASTERLY, ALONG THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 27, 12 FEET TO THE EAST LINE OF THE LAND CONVEYED TO THOMAS E HANIGAN AND WIFE, BY DEEP RECORDED JUNE 13, 1952, IN BOOK</p>	Andres and Lynda Matzkin

		<p>2343, AT PAGE 104 OF OFFICIAL RECORDS;</p> <p>THENCE SOUTHERLY ALONG SAID EASE LINE 39.936 FEET TO THE SOUTH LINE OF THE LAND CONVEYED TO G. EMMETT RAITT AND WIFE, BY DEED RECORDED OCTOBER 27, 1930 IN BOOK 423, AT PAGE 445 OF OFFICIAL RECORDS;</p> <p>THENCE EASTERLY ALONG SAID SOUTH LINE, 198 FEET, MORE OR LESS TO THE CENTER LINE OF VICTORIA DRIVE, 80 FEET IN WIDTH, AS ESTABLISHED BY DECREE RECORDED IN JUNE 14, 1927, IN BOOK 13, AT AGE 364 OF OFFICIAL RECORDS;</p> <p>THENCE NORTHERLY, ALONG SAID CENTER LINE, 82.826 FEET TO THE SOUTH LINE OF SAID LAND CONVEYED TO CALLIE E. HORTON ET. AL;</p> <p>THENCE WESTERLY ALONG SAID SOUTH LINE, 210 FEET, MORE OR LESS TO THE TRUE POINT OF BEGINNING.</p>	
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RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:

City of Santa Ana
20 Civic Center Plaza (M-30)
Santa Ana, CA 92702
Attn: Clerk of the Council

FREE RECORDING PURSUANT TO GOVERNMENT CODE § 27383

HISTORIC PROPERTY PRESERVATION AGREEMENT

This Historic Property Preservation Agreement (“Agreement”) is made and entered into by and between the City of Santa Ana, a charter city and municipal corporation duly organized and existing under the Constitution and laws of the of the State of California (hereinafter referred to as “City”), and **Andres Matzkin and Lynda Matzkin, husband and wife as Community Property with Right of Survivorship**, (hereinafter collectively referred to as “Owner”), owner of real property located at **2042 North Victoria Drive, Santa Ana, California**, in the County of Orange and listed on the Santa Ana Register of Historical Properties.

RECITALS

- A. The City Council of the City of Santa Ana is authorized by California Government Code Section 50280 et seq. (known as the “Mills Act”) to enter into contracts with owners of qualified historical properties to provide for appropriate use, maintenance, rehabilitation and restoration such that these historic properties retain their historic character and integrity.
- B. The Owner possesses fee title in and to that certain qualified real property together with associated structures and improvements thereon, located at **2042 North Victoria Drive, Santa Ana, CA, 92706** and more particularly described in Exhibit “A,” attached hereto and incorporated herein by reference, and hereinafter referred to as the “Historic Property”.
- C. The Historic Property is officially designated on the Santa Ana Register of Historical Properties pursuant to the requirements of Chapter 30 of the Santa Ana Municipal Code.
- D. City and Owner, for their mutual benefit, now desire to enter into this Agreement which defines and limits the use and alteration of this Historic Property in order to enhance and maintain its value as a cultural and historical resource for Owner and for the community; to prevent inappropriate alterations to the Historic Property and to ensure that repairs, additions, new building, and other changes are appropriate; and to ensure that rehabilitation and maintenance are carried out in an exemplary manner.

- E. Owner and City intend to carry out the purposes of California Government Code, Chapter 1, Part 5 of Division 1 of Title 5, Article 12, Section 50280 et seq., which will enable the Historic Property to qualify for an assessment of valuation as a restricted historical property pursuant to Article 1.9, Sec. 439 et seq., Chapter 3 Part 2 of Division 1 of the California Tax and Revenue Code.

NOW, THEREFORE, the City of Santa Ana and the Owner of the Historic Property agree as follows:

1. Effective Date and Terms of Agreement.

This Agreement shall be effective and commence on **May 5, 2021**, and shall remain in effect for a term of ten (10) years thereafter. Each year, upon the anniversary of the effective date of this Agreement, such initial term will automatically be extended as provided in California Government Code Sections 50280 through 50290 and in Section 2, below.

2. Renewal.

a. Each year on the anniversary of the effective date of this Agreement, a year shall automatically be added to the initial ten (10) year term of this Agreement unless written notice of nonrenewal is served as provided herein.

b. If the Owner or the City desire(s) in any year not to renew the Agreement, the Owner or City shall serve written notice of nonrenewal of the Agreement on the other party. Unless such notice is served by the Owner to the City at least ninety (90) days prior to the annual renewal date, or served by the City to the Owner at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the term of the Agreement as provided herein.

c. Within 30 days from receipt of City's notice of nonrenewal, the Owner may file a written protest of City's decision of nonrenewal. The City may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to the Owner of nonrenewal.

d. If either the Owner or the City serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, either from its original execution or from the last renewal of the Agreement, whichever may apply.

3. Standards and Conditions for Historic Property.

During the term of this Agreement, the Historic Property shall be subject to the following conditions, requirements and restrictions:

a. Owner shall maintain the Historic Property in a good state of repair and shall preserve, maintain, and, where necessary, restore or rehabilitate the property and its character-defining features described in the "Historical Property Description" attached hereto, marked as Exhibit B, notably the general architectural form, style, materials, design, scale, proportions, organization of windows, doors, and other openings, textures, details, mass, roof line, porch and other aspects of the appearance of the exterior to the satisfaction of the City.

b. All changes to the Historic Property shall comply with applicable City plans and regulations, and conform to the rules and regulations of the Office of Historic Preservation of the State Department of Parks and Recreation, namely the U.S. Secretary of the Interior's Standards and Guidelines for Historic Preservation Projects. These guidelines are attached hereto, marked as Exhibit C, and incorporated herein by this reference. Owner shall continually maintain the Historic Property in the same or better condition.

c. A view corridor enabling the general public to see the Historic Property from the public right-of-way shall be maintained, and Owner shall not be permitted to block the view corridor to the property with any new structure, such as walls, fences or shrubbery, so as to prevent the viewing of the historic landmark by the public.

d. The following are prohibited: demolition of the Historic Property or destruction of character-defining features of the building or site; removal of trees and other major vegetation unless removal is approved by a rehabilitation plan approved by the Historic Resources Commission; paving of yard surface; exterior alterations or additions unless approved by the Historic Resources Commission and such alterations are in keeping with the Secretary of Interior's Standards; deteriorating, dilapidated or unrepaired structures such as fences, roofs, doors, walls, and windows; storage of junk, trash, debris, discarded or unused objects such as cars, appliances, or furniture; and other unsightly by decoration, structure or vegetation which is unsightly by reason of its height, condition, or inappropriate location.

e. Owner shall allow reasonable periodic inspection by prior appointment, as needed or at least every five (5) years after the initial inspection, of the interior and exterior of the Historic Property by representatives of the City of Santa Ana, the County Assessor, the State Department of Parks and Recreation, and the State Board of Equalization, to determine the Owner's compliance with the terms and provisions of this Agreement.

4. Furnishing of Information.

The Owner hereby agrees to furnish the City with any and all information requested which may be necessary or advisable to determine compliance with the terms and provisions of this Agreement.

5. Cancellation.

a. The City, following a duly noticed public hearing by the City Council as set forth in Government Code Section 50280, et. seq., may cancel this Agreement if it determines that the Owner have breached any of the conditions of this Agreement, or has allowed the property to deteriorate to the point that it no longer meets the standards for a qualified Historic Property, or if the City determines that the Owner have failed to restore or rehabilitate the property in the manner specified in Section 3 of this Agreement. If a contract is cancelled for these reasons, the Owner shall pay a cancellation fee to the County Auditor as set forth in Government Code Section 50286. This cancellation fee shall be a percentage (currently set at twelve and one-half (12 ½) percent by Government Code Section 50286) of the current fair market value of the

property at the time of the cancellation, as determined by the county assessor, without regard to any restriction imposed pursuant to this Agreement.

b. If the Historic Property is destroyed by earthquake, fire, flood or other natural disaster such that in the opinion of the City Building Official more than sixty (60) percent of the original fabric of the structure must be replaced, this Agreement shall be canceled immediately because, in effect, the historic value of the structure will have been destroyed. No fee shall be imposed in the case of destruction by acts of God or natural disaster.

c. If the Historic Property is acquired by eminent domain and the City Council determines that the acquisition frustrates the purpose of this Agreement, this Agreement shall be cancelled and no fee imposed, as specified in Government Code Section 50288.

6. Enforcement of Agreement.

a. In lieu of and/or in addition to any provisions to cancel the Agreement as referenced herein, City may specifically enforce, or enjoin the breach of, the terms of the Agreement. In the event of a default, under the provisions to cancel the Agreement by Owner, the City shall give written notice to Owner by registered or certified mail, and if such a violation is not corrected to the reasonable satisfaction of the City Manager or designee within thirty (30) days thereafter, or if not corrected within such a reasonable time as may be required to cure the breach or default, or default cannot be cured within thirty (30) days (provided that acts to cure the breach or default may be commenced within thirty (30) days and shall thereafter be diligently pursued to completion by Owner), then City may, without further notice, declare a default under the terms of this Agreement and may bring any action necessary to specifically enforce the obligations of Owner growing out of the terms of this Agreement, apply to any court, state or federal, for injunctive relief against any violation by Owner or apply for such relief as may be appropriate.

b. City does not waive any claim of default by the Owner if City does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for in this Agreement or in City's regulations governing historic properties are available to City to pursue in the event that there is a breach of this Agreement. No waiver by City of any breach or default under this Agreement shall be deemed to be a waiver of any other subsequent breach thereof or default hereunder.

7. Binding effect of Agreement.

a. Owner hereby subjects the Historic Property, located at **2042 North Victoria Drive**, Assessor Parcel Number, **002-111-37**, and more particularly described in Exhibit A, in the City of Santa Ana, to the covenants, conditions, and restrictions as set forth in this Agreement.

b. City and Owner hereby declare their specific intent that the covenants, conditions and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon Owner's successors and assigns in title or interest to the Historic Property. Every contract, deed, or other instrument hereinafter executed, covering or conveying

the Historic Property or any portion thereof, shall conclusively be held to have been executed, delivered, and accepted subject to the tenants, restrictions, and reservations expressed in this Agreement regardless of whether such covenants, conditions and restrictions are set forth in such contract, deed, or other instrument.

8. No Compensation.

Owner shall not receive any payment from City in consideration of the obligation imposed under this Agreement, it being recognized that the consideration for the execution of this Agreement is the substantial public benefit to be derived therefrom and the advantage that will accrue to Owner as a result of the effect upon the assessed value of the Property on the account of the restrictions on the use and preservation of the Property.

9. Notice.

Any notice required by the terms of this Agreement shall be sent to the address of the respective parties as specified below or at other addresses that may be later specified by the parties hereto.

City: City of Santa Ana
20 Civic Center Plaza (M-30)
Santa Ana, CA 92702
Attn: Clerk of the Council

Owners: Andres and Lynda Matzkin
2042 North Victoria Drive
Santa Ana, CA 92706

10. General Provisions.

a. None of the terms, provisions, or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors, or assigns, nor shall such terms, provisions or conditions cause them to be considered joint ventures or members of any joint enterprise.

b. The Owner agrees to and shall indemnify and hold the City and its elected and appointed officials, officers, agents, and employees harmless from liability for damage or claims for damage for personal injuries, including death, and claims for property damage which may arise from the direct or indirect use or operations of the Owner or those of his or her contractor, subcontractor, agent, employee, or other person acting on his or her behalf which relates to the use, operation, and maintenance of the Historic Property. The Owner hereby agrees to and shall defend the City and its elected and appointed officials, officers, agents, and employees with respect to any and all actions for damages caused by, or alleged to have been caused by, reason of the Owner's activities in connection with the Historic Property.

c. This hold harmless provision applies to all damages and claims for damages suffered, or alleged to have been suffered, and costs of defense incurred, by reason of the operations referred to in this Agreement regardless of whether or not City prepared, supplied, or approved the plans, specifications or other documents for the Historic Property.

d. All of the agreements, rights, covenants, conditions, and restrictions contained in this Agreement shall be binding upon and shall inure to the benefit of the parties herein, their heirs, successors, legal representatives, assigns, and all persons acquiring any part or portion of the Historic Property, whether by operation of law or in any manner whatsoever.

e. In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations, or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to court costs and other relief ordered by the court.

f. In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be effected thereby.

g. This Agreement shall be construed and governed in accordance with the laws of the State of California, with venue in Orange County.

11. Recordation.

No later than twenty (20) days after the parties execute and enter into this Agreement, the City shall cause this Agreement to be recorded in the office of the County Recorder of the County of Orange.

12. Amendments.

This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.

13. Effective Date

This Agreement shall be effective on the day and year first written above in Section 1.

{Signature page follows}

ATTEST:

CITY OF SANTA ANA

DAISY GOMEZ
Clerk of the Council

KRISTINE RIDGE
City Manager

OWNER

Date: _____

By: _____
ANDRES MATZKIN

Date: _____

By: _____
LYNDA MATZKIN

APPROVED AS TO FORM:

RECOMMENDED FOR APPROVAL:

SONIA CARVALHO
City Attorney

By: _____
JOHN M. FUNK
Assistant City Attorney

MINH THAI
Executive Director
Planning and Building Agency

**EXHIBIT A
LEGAL DESCRIPTION**

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 35 OF TRACT NO. 788, AS SHOWN ON A MAP THEREOF RECORDED IN BOOK 23, AT PAGE 49 OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, AND RUNNING THENCE SOUTHERLY, ALONG THE EAST BOUNDARY OF SAID TRACT NO. 788, 185 FEET TO THE SOUTH LINE OF THE LAND CONVEYED TO CALLIE E. HORTON, ET AL., RECORDED OCTOBER 4, 1947 IN BOOK 1559, AT PAGE 132 OF OFFICIAL RECORDS, BEING THE TRUE POINT OF BEGINNING OF THE LAND HEREIN DESCRIBED; RUNNING THENCE SOUTHERLY, ALONG THE EAST BOUNDARY OF SAID TRACT NO. 788, 45.89 FEET TO THE NORTHEAST CORNER OF LOT 27 OF SAID TRACT NO. 788;

THENCE EASTERLY, ALONG THE EASTERLY EXTENSION OF THE NORTH LINE OF SAID LOT 27, 12 FEET TO THE EAST LINE OF THE LAND CONVEYED TO THOMAS E HANIGAN AND WIFE, BY DEED RECORDED JUNE 13, 1952, IN BOOK 2343, AT PAGE 104 OF OFFICIAL RECORDS;

THENCE SOUTHERLY ALONG SAID EASE LINE 39.936 FEET TO THE SOUTH LINE OF THE LAND CONVEYED TO G. EMMETT RAITT AND WIFE, BY DEED RECORDED OCTOBER 27, 1930 IN BOOK 423, AT PAGE 445 OF OFFICIAL RECORDS; THENCE EASTERLY ALONG SAID SOUTH LINE, 198 FEET, MORE OR LESS TO THE CENTER LINE OF VICTORIA DRIVE, 80 FEET IN WIDTH, AS ESTABLISHED BY DECREE RECORDED IN JUNE 14, 1927, IN BOOK 13, AT AGE 364 OF OFFICIAL RECORDS;

THENCE NORTHERLY, ALONG SAID CENTER LINE, 82.826 FEET TO THE SOUTH LINE OF SAID LAND CONVEYED TO CALLIE E. HORTON ET. AL; THENCE WESTERLY ALONG SAID SOUTH LINE, 210 FEET, MORE OR LESS TO THE TRUE POINT OF BEGINNING.

Assessor's Parcel Number: 002-111-37

EXECUTIVE SUMMARY

Hamilton-Schoppert House
2042 North Victoria Drive
Santa Ana, CA 92706

NAME	Hamilton-Schoppert House			REF. NO.
ADDRESS	2042 North Victoria Drive			
CITY	Santa Ana	ZIP	92706	ORANGE COUNTY
YEAR BUILT	1956	LOCAL REGISTER CATEGORY: Contributive		
HISTORIC DISTRICT	N/A	NEIGHBORHOOD	Floral Park	
CALIFORNIA REGISTER CRITERIA FOR EVALUATION	3	CALIFORNIA REGISTER STATUS CODE	5S3	

Location: Not for Publication Unrestricted

Prehistoric Historic Both

ARCHITECTURAL STYLE: Minimal Traditional

During the Great Depression through the immediate postwar years, the Minimal Traditional home rose in popularity as the preferred style for middle-class housing in the United States. This basic house type fulfilled both aesthetic and social needs: in terms of aesthetics, the form represented a stripped-down version of the historic-eclectic styles popular in the 1920s, in particular the Tudor and English Revival styles. In social terms, the Minimal Traditional home satisfied requirements in square footage and plan by the Federal Housing Administration (FHA), which launched a campaign in this period to expand home ownership. The Minimal Traditional home served as the prototype used by the FHA in its efforts to codify and manufacture “a standard, low-cost, minimum house that the majority of American wage earners could afford” (Greg Hise, *Magnetic Los Angeles*, p. 57). In a reflection of the Tudor and English Revival styles they mimic, Minimal Traditional homes are typically rectangular in plan and one-story in height, often with a front-gabled wing and prominent attached chimney. In contrast with the preceding styles, the Minimal Traditional home is capped with a low or intermediate pitch roof with a hipped or side gable. Sheathing materials include stucco, brick, or wood, often accompanied by stone veneer accents. Fenestration generally consists of multi-light casement, double-hung, and picture windows with wood frames. The eaves and rakes of the Minimal Traditional home are typically shallow (in a departure from the later Ranch House style, which they often resemble). Although they have little applied ornament, many Minimal Traditional homes display decorative wood shutters and porch-roof supports. By the 1950s, the Minimal Traditional home was replaced by the Ranch House as the style of choice for middle-class housing and large tract-house developments. (McAlester, pp. 476-78).

SUMMARY/CONCLUSION:

The Hamilton-Schoppert House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1 for embodiment of the distinguishing characteristics of the Minimal Traditional style, dating from the second period of development on North Victoria Lane. Additionally, the house has been categorized as “Contributive” because it “contributes to the overall character and history” of Santa Ana, and, as an early and intact example of the Minimal Traditional style in the Floral Park neighborhood, “is a good example of period architecture.”

EXPLANATION OF CODES:

- California Register Criteria for Evaluation: (From California Office of Historic Preservation, Technical Assistance Series # 7, “How to Nominate Resources to the California Register of Historical Resources,” September 4, 2001.)

3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.

- It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.

5S3: Individual property that is listed or designated locally.

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 3 Resource name(s) or number (assigned by recorder) *Hamilton-Schoppert House*

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County *Orange County*

*b. USGS 7.5' Quad *TCA 1725*

Date: *March 3, 2015*

*c. Address *2042 North Victoria Drive*

City *Santa Ana*

Zip *92706*

*e. Other Locational Data: *Assessor's Parcel Number 002-111-37*

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

Located in Floral Park, this is a two-story single-family residence constructed in a Minimal Traditional style. Asymmetrical in design, the house exhibits a gable-and-wing roof design, with a low-pitched side gable capping a two-story section on the south and a cross gable topping the one-story north wing. The roof exhibits wide, overhanging, open eaves at the first floor along the side (north and south) elevations and at the second floor, along the front (east) and rear (west) elevations. Very shallow eaves characterize the first floor along the front (east) elevations and at the second floor along the side (north and south) elevations. The roof is covered in contemporary asphalt shingle roofing, and the exterior walls are clad in smooth stucco accented by areas of brick veneers on the primary elevation and horizontal wood clapboard siding on the first floor gable ends. Centered on the front elevation, a small entry portico is sheltered by a shed roof set on simple wood porch supports with triangular braces to each side. The entry features a wide, six-panel, wood door with two half-height sidelights flanking the doorway and a divided-light metal casement picture window adjacent to the entry door. The northern and southern sections of the front elevation each feature large, divided-light, steel casement windows. Along the north, south, and west elevations, the building incorporates a series of divided-light steel windows, including casement, four-over-four sashes, and corner windows with corner supports. An exterior brick chimney attached to the side (south) elevation rises above the roof ridgeline. The property is landscaped with a mature tree, a lawn, low vegetation and a decorative walkway at the front setback. The driveway leads to a one-story, stucco-clad, one-car garage, built at the same time as the residence and connected by a breezeway. The house appears intact and is in good condition.

*P3b. Resource Attributes: (list attributes and codes) *HP2. Single-Family Residence*

*P4. Resources Present: Building Structure Object Site District Element of District Other

P5a. Photo



P5b. Photo: (view and date)

*East elevation, view west
September 2020*

*P6. Date Constructed/Age and Sources: historic
1956/ City of Santa Ana Building Permits

*P7. Owner and Address:
*Andres and Lynda Matzkin
2042 North Victoria Drive
Santa Ana, CA 92706*

*P8. Recorded by:
*Pedro Gomez
20 Civic Center Plaza M-20
Santa Ana, CA 92702*

*P9. Date Recorded:
March 25, 2021

*P10. Survey Type:
Intensive Survey Update

*P11. Report Citation: (Cite survey report and other sources, or enter "none")
None

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

Page 2 of 3

*NRHP Status Code 5S3

*Resource Name or #: Hamilton-Schoppert House

B1. Historic Name: *Hamilton-Schoppert House*

B2. Common Name: *Same*

B3. Original Use: *Single-Family Residence*

B4. Present Use: *Single-Family Residence*

***B5. Architectural Style:** *Minimal Traditional*

***B6. Construction History:** (Construction date, alterations, and date of alterations): *Constructed 1956. \$30,000.*

January 21, 1957. Addition of storage room to garage for D.C. Hamilton. \$400.

January 14, 2015. Remove bathtub and install walk-in bathtub.

May 27, 2020. Tear off existing roof, resheath, and install comp roofing. \$12,570.

***B7. Moved?** No Yes Unknown Date: _____ Original location: _____

***B8. Related Features:** *None.*

B9a. Architect: *Unknown*

b. Builder: *V.J. Anderson*

***B10. Significance: Theme** *Residential Architecture* **Area** *Santa Ana*

Period of Significance: *1956* **Property Type:** *Single-Family Residence* **Applicable Criteria:** *C/3*

(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

The Hamilton-Schoppert House is architecturally significant as an intact and characteristic example of the Minimal Traditional style, dating from the second period of development on North Victoria Lane. It was built in 1956 by V.J. Anderson and the first known residents were Dwight C. and Frances L. Hamilton. Mr. Hamilton was born in Iowa in 1905, was a U.S. Marine Corps radio operator for the steamship, "Ruth Alexander," President of the Century Toastmasters; and Assistant Trust Officer for the First National Bank. Mrs. Hamilton was born in 1907, was a teacher at Hoover School, and was on the board of the Santa Ana Community Players, a local theatre group. Mr. and Mrs. Hamilton remained at the property until it was sold to William V. and Anna J. Schoppert in 1974. Mr. Schoppert was a U.S. Marine Corps Staff Sergeant during WWII. After returning from the war Mr. Schoppert dedicated himself to the farming of strawberries. According to city directories, Mr. and Mrs. Schoppert remained at the property until Mr. Schoppert's death.

(See Continuation Sheet 3 of 3.)

B11. Additional Resource Attributes: (List attributes and codes)

***B12. References:**

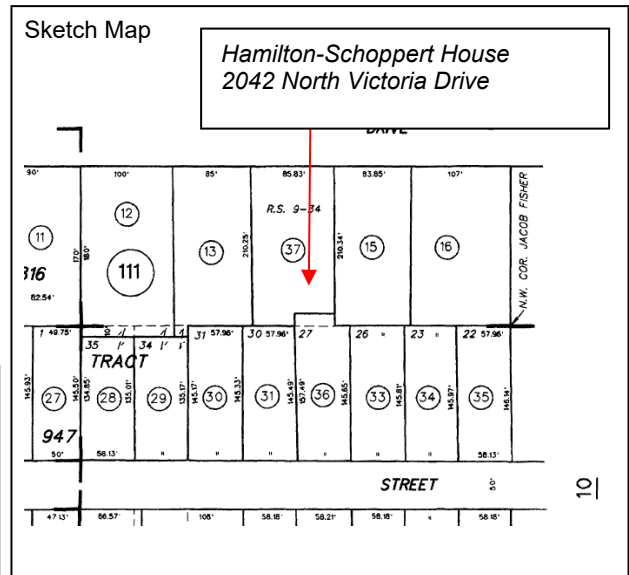
- City of Santa Ana Building Permits*
 - Santa Ana History Room Collection, Santa Ana Public Library*
 - Sanborn Maps*
- (See Continuation Sheet 3 of 3.)

B13. Remarks:

***B14. Evaluator:** *Leslie Heumann/Chattel, Inc.*

***Date of Evaluation:** *March 25, 2021*

(This space reserved for official comments.)



***B10. Significance (continued):**

Santa Ana was founded by William Spurgeon in 1869 as a speculative town site on part of the Spanish land grant known as Rancho Santiago de Santa Ana. The civic and commercial core of the community was centered around the intersection of Main and Fourth Streets. Stimulated by the arrival of the Santa Fe Railroad and incorporation as a city in 1886, and selection as the seat of the newly created County of Orange in 1889, the city grew outwards, with residential neighborhoods developing to the north, south, and east of the city center. Agricultural uses predominated in the outlying areas, with cultivated fields and orchards dotted with widely scattered farmhouses.

*The Hamilton-Schoppert House is located in Floral Park, a neighborhood northwest of downtown Santa Ana bounded by West Seventeenth Street, North Flower Street, Riverside Drive, and Broadway. Groves of oranges, avocados, and walnuts and widely scattered ranch houses characterized this area before 1920. Developer and builder Allison Honer (1897-1981), credited as the subdivider and builder of a major portion of northwest Santa Ana, arrived in Santa Ana from Beaver Falls, New York in 1922 (Talbert, pages 353-356). "Before nightfall on the day of his arrival, Mr. Honer purchased a parcel of land. And that month, he began building custom homes in Santa Ana" (*Orange County Register*, September 15, 1981). The parcel chosen became the Floral Park subdivision between Seventeenth Street and Santiago Creek. "When built in the 1920s, the Floral Park homes were the most lavish and expensive in the area. They sold for about \$45,000 each" (*Orange County Register*, September 15, 1981). Revival architecture in a wide variety of romantic styles was celebrated in the 1920s and 1930s and Floral Park showcased examples of the English Tudor, French Norman, Spanish Colonial, and Colonial Revival.*

The Allison Honer Construction Company went on to complete such notable projects as the 1935 Art Deco styled Old Santa Ana City Hall, the El Toro Marine Base during World War II, and the 1960 Honer Shopping Plaza. Honer lived in the neighborhood he had helped to create, at 615 West Santa Clara Avenue.

In the late 1920s and 1930s, another builder, Roy Roscoe Russell (1881-1965), continued developing the groves of Floral Park. An early Russell project was his 1928 subdivision of Victoria Drive between West Nineteenth Street and West Santa Clara Avenue. The homes were quite grand and displayed various revival styles, including Russell's own large, Colonial Revival mansion at 2009 Victoria Drive. In the early post World War II years, Floral Park continued its development as numerous, smaller, single-family houses were built. Continuing in the Floral Park tradition, they were mostly revival in style. In the 1950s, low, horizontal Ranch Style houses completed the growth of Floral Park. Today (2021) Floral Park maintains its identity as the premier neighborhood of Santa Ana, historically home to many affluent and prominent citizens.

The Hamilton-Schoppert House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1 for embodiment of the distinguishing characteristics of the Minimal Traditional style, dating from the second period of development on North Victoria Lane. Additionally, the house has been categorized as "Contributive" because it "contributes to the overall character and history" of Santa Ana, and, as an early and intact example of the Minimal Traditional style in the Floral Park neighborhood, "is a good example of period architecture." Character defining features of the Hamilton-Schoppert House that should be preserved include, but may not be limited to, materials and finishes (brick, stucco, horizontal wood board siding; gable-and-wing roof design with wide, overhanging, open eaves; brick chimney; wood porch supports with triangular braces to each side; and divided-light metal windows.

***B12. References (continued):**

- Harris, Cyril M. American Architecture: An Illustrated Encyclopedia. New York, WW Norton, 1998.*
Hess, Alan. Ranch House. New York: Harry N. Abrams, Inc. 2004
Marsh, Diann. Santa Ana, An Illustrated History. Encinitas, Heritage Publishing, 1994.
McAlester, Virginia and Lee. A Field Guide to American Houses. New York: Alfred A. Knopf, 1984.
National Register Bulletin 16A. "How to Complete the National Register Registration Form." Washington DC: National Register Branch, National Park Service, US Dept. of the Interior, 1991.
Office of Historic Preservation. "Instructions for Recording Historical Resources." Sacramento: March 1995.
Whiffen, Marcus. American Architecture Since 1780. Cambridge: MIT Press, 1969.
"Alison Honer Dies at 84," The Santa Ana Journal, September 21, 1981.
"Builder of Honer Plaza Dies," Orange County Register, September 15, 1981.
"History of Floral Park." <http://www.floral-park.com/page2.html>.
Santa Ana and Orange County Directories, 1940-1979.
Talbert, Thomas B. (editor). The Historical Volume and Reference Works: Orange County. Whittier, CA: Historical Publishers, 1963.

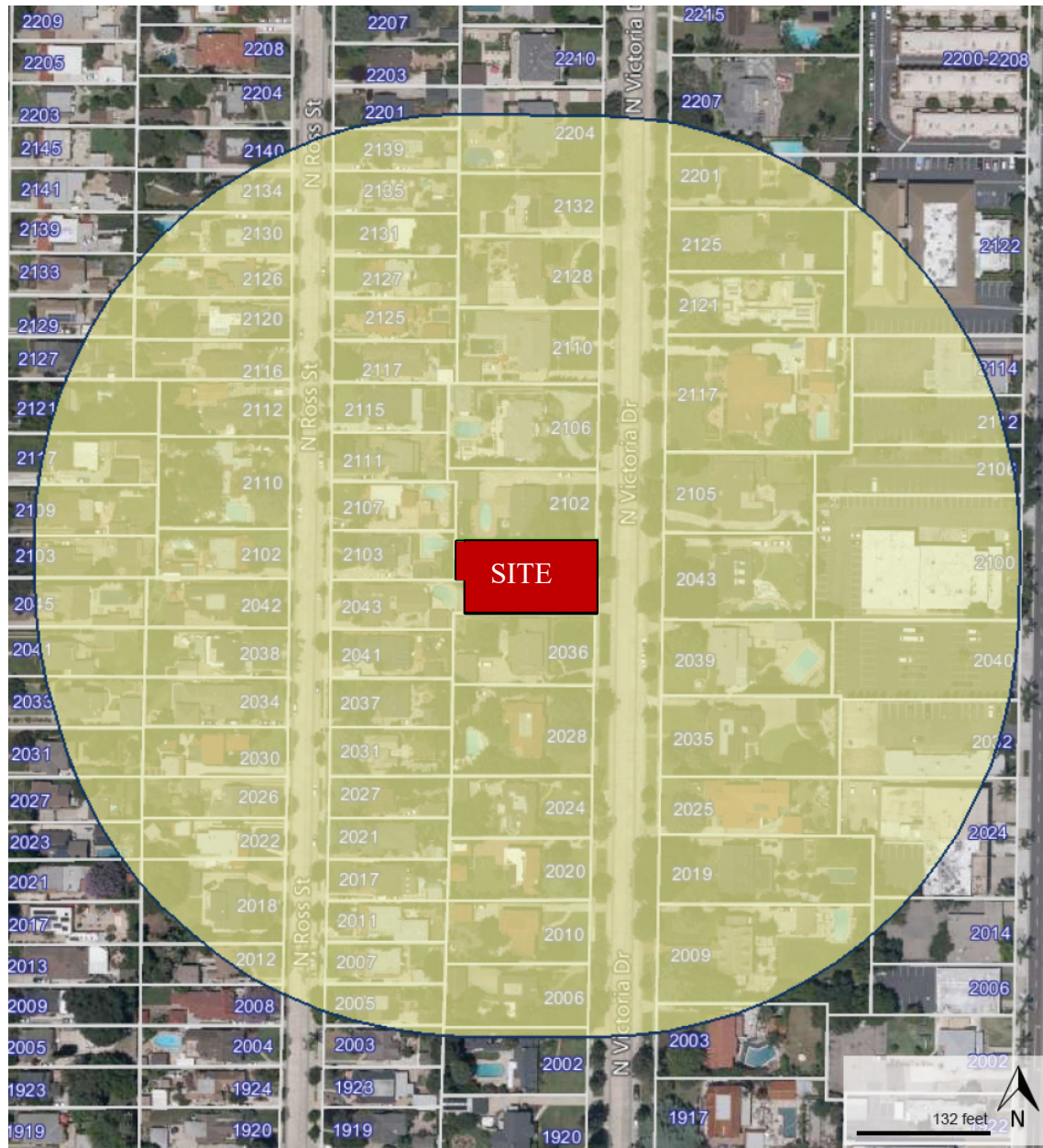
Exhibit C

Exterior work shall be reviewed by the Historic Resources Commission and subject to the U.S. Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, as follows:

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
2. The distinguishing original qualities or character of a building, structure or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from the other buildings or structures.
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
8. Every reasonable effort shall be made to protect and reserve archaeological resources affected by, or adjacent to any project.
9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with

size, scale, color, material and character of the property, neighborhood, or environment.

10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations need to be removed in the future, the essential form and integrity of the structure would be unimpaired.



500' RADIUS

HRC 2020-08/ HRCA 2020-09 / HPPA 2020-11
2042 NORTH RIVERSIDE DRIVE
HAMILTON-SCHOPPERT HOUSE



**City of Santa Ana
20 Civic Center Plaza, Santa Ana, CA 92701
Historic Resources Commission Staff Report
March 25, 2021**

Topic: HRCA No. 2021-01, HRC 2021-01, HPPA No. 2021-01 - The Witt House

RECOMMENDED ACTION

1. Adopt a resolution approving Historic Resources Commission Application No. 2021-01 and Historic Register Categorization No. 2021-01 (Exhibit 1).
2. Recommend that the City Council authorize the City Manager and Clerk of the Council to execute the attached Mills Act agreement with Chad Barker, subject to non-substantive changes approved by the City Manager and City Attorney (Exhibit 2).

EXECUTIVE SUMMARY

Chad Barker is requesting approval to designate an existing residence located at 2014 North Flower Street to the Santa Ana Register of Historical Properties, as well as approval to execute a Mills Act agreement with the City of Santa Ana.

DISCUSSION

Project Location and Site Description

The subject property is located on the west side of North Flower Street in the Floral Park neighborhood. The site consists of a 1,656-square-foot, Minimal Traditional residence and detached garage on an 8,265-square-foot residential lot (Exhibit 3).

Analysis of the Issues

Historical Listing

In March 1999, the City Council approved Ordinance No. NS-2363 establishing the Historic Resources Commission and the Santa Ana Register of Historical Properties. The Historic Resources Commission may, by resolution and at a noticed public hearing, designate as a historical property any building or part thereof, object, structure, or site

having importance to the history or architecture of the city in accordance with the criteria set forth in Section 30-2 of the Santa Ana Municipal Code (SAMC). This project entails applying the selection criteria established in Chapter 30 of the Santa Ana Municipal Code (Places of Historical and Architectural Significance) to determine if this structure is eligible for historic designation to the Santa Ana Register of Historical Properties. The first criterion for selection requires that the structures be 50 or more years old.

The structure identified meets the minimum selection criteria for inclusion on the Santa Ana Register of Historical Properties pursuant to criteria contained in Section 30-2 of the Santa Ana Municipal Code, as the property is 80 years old and is a good example of period architecture. No known code violations exist on record for this property.

The property, recognized as the Witt House, is located within the Floral Park neighborhood and has distinctive architectural features of the Minimal Traditional style. The residence was built in 1941 by prominent developer and builder Allison Honer. A majority of Floral Park was developed by Honer who was credited as the subdivider and builder of a major portion of northwest Santa Ana. In the late 1920s and 1930s, another builder, Roy Roscoe Russell, continued developing the groves of Floral Park. In the early post World War II years, Floral Park continued its development as numerous, smaller, single-family houses were built.

This one-story, single-family residence is “L” shaped in design and clad in a light smooth stucco. The house features a low-pitched, gable-and-wing roof design with the front-facing gable protruding into the front yard. The roof is clad in composition shingles and features little or no overhang. Architectural detailing along front elevation includes horizontal wood cladding in the front gable end and prominent brick chimney. A front entry is created by a partial-width porch is supported by simple paired square porch supports. Fenestration along the facade (east elevation) includes large six-over-six, wood double-hung windows, including at the projecting front gable and front entry—most with decorative shutters. The fenestration along the north, south, and west elevation include a series of eight-over-eight, six-over-six, three-over-three, and single pane wood double-hung windows, most without decorative shutters. A detached garage at the rear of the property is also clad in smooth stucco with minimal overhangs. Although it appears that the windows have been replaced, the property retains enough overall integrity, appears intact and is in good condition. Character-defining exterior features of the Witt House that should be preserved include, but may not be limited to: sheathing (clapboard); roof configuration; massing; windows; porch; chimney, and architectural details such as horizontal wood cladding in the front gable end, prominent brick chimney, and accent brick material at the front entry.

The Witt House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1 for embodiment of the distinguishing characteristics of the Minimal Traditional style with Colonial Revival detailing dating from the year just prior to World War II and Criterion 2, for its association with influential and prominent local builder,

Allison Honer. Additionally, the house has been categorized as “Contributive” because it “contributes to the overall character and history” of Floral Park and “is a good example of period architecture,” representing the Minimal Traditional architecture style in Santa Ana.

Mills Act Agreement

Ordinance No. NS-2382 authorized the Historic Resources Commission to execute Historic Property Preservation Agreements (HPPA), commonly known as Mills Act agreements for eligible properties (Exhibit 2). To be eligible for the Mills Act, the property must be listed on the Santa Ana Register of Historical Properties. The Historic Resources Commission Application and Historic Register Categorization actions proposed for this site authorize the listing of the property on the local register. The agreement provides monetary incentives to the property owner in the form of a property tax reduction in exchange for the owner’s voluntary commitment to maintain the property in a good state of repair as necessary to maintain its character and appearance. Once recorded, the agreement generates a different valuation method in determining the property’s assessed value, resulting in tax savings for the owner. Aside from the tax savings, the benefits include:

- Long term preservation of the property and visual improvement to the neighborhood
- Allows for a mechanism to provide for property rehabilitation
- Provides additional incentive for potential buyers to purchase historic structures
- Discourages inappropriate alterations to the property

The property has no identified unauthorized modifications. Upon consideration of the application, it is recommended that the City enter into a Historic Property Preservation Agreement.

Public Notification

The subject site is located within the Floral Park Neighborhood Association. The president of this Neighborhood Association was notified by mail 10 days prior to this public hearing. In addition, the project site was posted with a notice advertising this public hearing, a notice was published in the Orange County Reporter and mailed notices were sent to all property owners within 500 feet of the project site. At the time of this printing, no correspondence, either written or electronic, had been received from any members of the public.

ENVIRONMENTAL IMPACT

Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15331 of the CEQA Guidelines (Class 31 – Historical Resource Restoration/Rehabilitation) as these actions

are designed to preserve historic resources. Based on this analysis, a Notice of Exemption, Environmental Review No. 2021-02 will be filed for this project.

FISCAL IMPACT

The Historic Property Preservation Agreement will reduce the Property Tax revenue account 01102002-50011 to the City by an estimated \$911.06 annually, for a period of not less than ten years.

EXHIBIT(S)

1. Resolution
2. Mills Act Agreement
3. 500-Foot Radius Map

Submitted By:
Pedro Gomez, AICP, Associate Planner

Approved By:
Minh Thai, Executive Director of Planning and Building Agency, Planning and Building Agency

RESOLUTION NO. 2021-XXX

A RESOLUTION OF THE HISTORIC RESOURCES COMMISSION OF THE CITY OF SANTA ANA APPROVING HISTORIC RESOURCES COMMISSION APPLICATION NO. 2021-01 TO PLACE THE PROPERTY LOCATED AT 2014 NORTH FLOWER STREET, SANTA ANA, ON THE HISTORICAL REGISTER AND APPROVING HISTORIC REGISTER CATEGORIZATION NO. 2021-01 PLACING SAID PROPERTY WITHIN THE CONTRIBUTIVE CATEGORY

BE IT RESOLVED BY THE HISTORIC RESOURCES COMMISSION OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The Historic Resources Commission of the City of Santa Ana hereby finds, determines and declares as follows:

- A. On March 25, 2021, the Historic Resources Commission held a duly noticed public hearing for the placement on the Santa Ana Register of Historical Properties (Historic Resources Commission Application No. 2021-01) and categorization (Historic Resources Commission Categorization No. 2021-01) of the Witt House located at 2014 North Flower Street, Santa Ana.
- B. The Witt House has distinctive architectural features of the Minimal Traditional style and was built in 1941.
- C. The Witt House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1 for embodiment of the distinguishing characteristics of the Minimal Traditional style with Colonial Revival detailing dating from the year just prior to World War II. Additionally, the house has been categorized as “Contributive” because it “contributes to the overall character and history” of Floral Park and “is a good example of period architecture,” representing the Minimal Traditional architecture style in Santa Ana. Character-defining exterior features of the Witt House that should be preserved include, but may not be limited to: sheathing (stucco and clapboard in the gable end); roof configuration; massing; original fenestration pattern; porch; chimney, and architectural details such as shutters, prominent brick chimney, and accent brick material at the front entry.
- D. The legal owner of the property is Chad Barker.
- E. The legal description for the subject property is attached hereto as Exhibit A and incorporated by this reference as though fully set forth herein.

- F. The subject property meets the standards for placement on the City of Santa Ana Register of Historic Properties pursuant to Section 30-2 of the Santa Ana Municipal Code.
- G. The subject property meets the minimal standards for placement in the Contributive category pursuant to Section 30-2.2(3) of the Santa Ana Municipal Code.

Section 2. In accordance with the California Environmental Quality Act, the recommended actions are exempt from further review under CEQA Guidelines Section 15331, Class 31, as these actions are designed to preserve historical resources. Categorical Exemption No. ER-2021-02 will be filed for this project.

Section 3. The Historic Resources Commission of the City of Santa Ana, after conducting the public hearing, hereby approves:

- A. Historic Resources Commission Application No. 2021-01 to place the Witt House located at 2014 North Flower Street, Santa Ana, 92706 on the historical register, and
- B. Historic Register Categorization No. 2021-01 placing the Witt House located at 2014 North Flower Street, Santa Ana, 92706 within the Contributive category.

These decisions are based upon the evidence submitted at the above said hearing, which includes, but is not limited to: the Staff report and exhibits attached thereto, the report entitled "Historical Property Description," and the public testimony, all of which are incorporated herein by this reference.

Section 4. For the subject property, a report entitled "Historical Property Description" is on file with the Planning Division, and is hereby approved and adopted, and together with the staff report and this Resolution, justify the findings for placement on the City of Santa Ana Register of Historical Properties into a category. The Historic Resources Commission Secretary is authorized and directed to include this Resolution in the City of Santa Ana Register of Historical Properties.

Section 5. The Historic Resources Commission Secretary is hereby directed to file a certified copy of this Resolution with the County Recorder's Office after the adoption of this Resolution pursuant to Public Resources Code Section 5029.

ADOPTED this 25th day of March, 2021.

Alberta Christy
Chairperson

FREE RECORDING PURSUANT TO
GOVERNMENT CODE § 27383

APPROVED AS TO FORM:
Sonia R. Carvalho, City Attorney

By: _____
John M. Funk
Sr. Assistant City Attorney

AYES: Commission members _____

NOES: Commission members _____

ABSTAIN: Commission members _____

NOT PRESENT: Commission members _____

CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, SARAH BERNAL, Historic Resources Commission Secretary, do hereby attest to and certify the attached Resolution No. 2021-XXX to be the original resolution adopted by Historic Resources Commission of the City of Santa Ana on March 25, 2021.

Date: _____

Commission Secretary
City of Santa Ana

**EXHIBIT A
LEGAL DESCRIPTION**

APN	Address	Legal Description	Owner Names
399-051-05	2014 North Flower Street	LOT 15 AND THE SOUTH 20 FEET OF LOT 16 OF TRACT NO. 991, IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA AS SHOWN ON A MAP RECORDED IN BOOK 32, PAGE 47 MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA. EXCEPT THE SOUTH 16 FEET OF SAID LOT 15.	Chad Barker

RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:
City of Santa Ana
20 Civic Center Plaza (M-30)
Santa Ana, CA 92702
Attn: Clerk of the Council

FREE RECORDING PURSUANT TO GOVERNMENT CODE § 27383

HISTORIC PROPERTY PRESERVATION AGREEMENT

This Historic Property Preservation Agreement (“Agreement”) is made and entered into by and between the City of Santa Ana, a charter city and municipal corporation duly organized and existing under the Constitution and laws of the of the State of California (hereinafter referred to as “City”), and **Chad Barker, an unmarried man**, (hereinafter collectively referred to as “Owner”), owner of real property located at **2014 North Flower Street, Santa Ana, California**, in the County of Orange and listed on the Santa Ana Register of Historical Properties.

RECITALS

- A. The City Council of the City of Santa Ana is authorized by California Government Code Section 50280 et seq. (known as the “Mills Act”) to enter into contracts with owners of qualified historical properties to provide for appropriate use, maintenance, rehabilitation and restoration such that these historic properties retain their historic character and integrity.
- B. The Owner possesses fee title in and to that certain qualified real property together with associated structures and improvements thereon, located at **2014 North Flower Street, Santa Ana, CA, 92706** and more particularly described in Exhibit “A,” attached hereto and incorporated herein by reference, and hereinafter referred to as the “Historic Property”.
- C. The Historic Property is officially designated on the Santa Ana Register of Historical Properties pursuant to the requirements of Chapter 30 of the Santa Ana Municipal Code.
- D. City and Owner, for their mutual benefit, now desire to enter into this Agreement which defines and limits the use and alteration of this Historic Property in order to enhance and maintain its value as a cultural and historical resource for Owner and for the community; to prevent inappropriate alterations to the Historic Property and to ensure that repairs, additions, new building, and other changes are appropriate; and to ensure that rehabilitation and maintenance are carried out in an exemplary manner.

- E. Owner and City intend to carry out the purposes of California Government Code, Chapter 1, Part 5 of Division 1 of Title 5, Article 12, Section 50280 et seq., which will enable the Historic Property to qualify for an assessment of valuation as a restricted historical property pursuant to Article 1.9, Sec. 439 et seq., Chapter 3 Part 2 of Division 1 of the California Tax and Revenue Code.

NOW, THEREFORE, the City of Santa Ana and the Owner of the Historic Property agree as follows:

1. Effective Date and Terms of Agreement.

This Agreement shall be effective and commence on **May 5, 2021**, and shall remain in effect for a term of ten (10) years thereafter. Each year, upon the anniversary of the effective date of this Agreement, such initial term will automatically be extended as provided in California Government Code Sections 50280 through 50290 and in Section 2, below.

2. Renewal.

a. Each year on the anniversary of the effective date of this Agreement, a year shall automatically be added to the initial ten (10) year term of this Agreement unless written notice of nonrenewal is served as provided herein.

b. If the Owner or the City desire(s) in any year not to renew the Agreement, the Owner or City shall serve written notice of nonrenewal of the Agreement on the other party. Unless such notice is served by the Owner to the City at least ninety (90) days prior to the annual renewal date, or served by the City to the Owner at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the term of the Agreement as provided herein.

c. Within 30 days from receipt of City's notice of nonrenewal, the Owner may file a written protest of City's decision of nonrenewal. The City may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to the Owner of nonrenewal.

d. If either the Owner or the City serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, either from its original execution or from the last renewal of the Agreement, whichever may apply.

3. Standards and Conditions for Historic Property.

During the term of this Agreement, the Historic Property shall be subject to the following conditions, requirements and restrictions:

a. Owner shall maintain the Historic Property in a good state of repair and shall preserve, maintain, and, where necessary, restore or rehabilitate the property and its character-defining features described in the "Historical Property Description" attached hereto, marked as Exhibit B, notably the general architectural form, style, materials, design, scale, proportions, organization of windows, doors, and other openings, textures, details, mass, roof line, porch and other aspects of the appearance of the exterior to the satisfaction of the City.

b. All changes to the Historic Property shall comply with applicable City plans and regulations, and conform to the rules and regulations of the Office of Historic Preservation of the State Department of Parks and Recreation, namely the U.S. Secretary of the Interior's Standards and Guidelines for Historic Preservation Projects. These guidelines are attached hereto, marked as Exhibit C, and incorporated herein by this reference. Owner shall continually maintain the Historic Property in the same or better condition.

c. A view corridor enabling the general public to see the Historic Property from the public right-of-way shall be maintained, and Owner shall not be permitted to block the view corridor to the property with any new structure, such as walls, fences or shrubbery, so as to prevent the viewing of the historic landmark by the public.

d. The following are prohibited: demolition of the Historic Property or destruction of character-defining features of the building or site; removal of trees and other major vegetation unless removal is approved by a rehabilitation plan approved by the Historic Resources Commission; paving of yard surface; exterior alterations or additions unless approved by the Historic Resources Commission and such alterations are in keeping with the Secretary of Interior's Standards; deteriorating, dilapidated or unrepaired structures such as fences, roofs, doors, walls, and windows; storage of junk, trash, debris, discarded or unused objects such as cars, appliances, or furniture; and other unsightly by decoration, structure or vegetation which is unsightly by reason of its height, condition, or inappropriate location.

e. Owner shall allow reasonable periodic inspection by prior appointment, as needed or at least every five (5) years after the initial inspection, of the interior and exterior of the Historic Property by representatives of the City of Santa Ana, the County Assessor, the State Department of Parks and Recreation, and the State Board of Equalization, to determine the Owner's compliance with the terms and provisions of this Agreement.

4. Furnishing of Information.

The Owner hereby agrees to furnish the City with any and all information requested which may be necessary or advisable to determine compliance with the terms and provisions of this Agreement.

5. Cancellation.

a. The City, following a duly noticed public hearing by the City Council as set forth in Government Code Section 50280, et. seq., may cancel this Agreement if it determines that the Owner have breached any of the conditions of this Agreement, or has allowed the property to deteriorate to the point that it no longer meets the standards for a qualified Historic Property, or if the City determines that the Owner have failed to restore or rehabilitate the property in the manner specified in Section 3 of this Agreement. If a contract is cancelled for these reasons, the Owner shall pay a cancellation fee to the County Auditor as set forth in Government Code Section 50286. This cancellation fee shall be a percentage (currently set at twelve and one-half (12 ½) percent by Government Code Section 50286) of the current fair market value of the

property at the time of the cancellation, as determined by the county assessor, without regard to any restriction imposed pursuant to this Agreement.

b. If the Historic Property is destroyed by earthquake, fire, flood or other natural disaster such that in the opinion of the City Building Official more than sixty (60) percent of the original fabric of the structure must be replaced, this Agreement shall be canceled immediately because, in effect, the historic value of the structure will have been destroyed. No fee shall be imposed in the case of destruction by acts of God or natural disaster.

c. If the Historic Property is acquired by eminent domain and the City Council determines that the acquisition frustrates the purpose of this Agreement, this Agreement shall be cancelled and no fee imposed, as specified in Government Code Section 50288.

6. Enforcement of Agreement.

a. In lieu of and/or in addition to any provisions to cancel the Agreement as referenced herein, City may specifically enforce, or enjoin the breach of, the terms of the Agreement. In the event of a default, under the provisions to cancel the Agreement by Owner, the City shall give written notice to Owner by registered or certified mail, and if such a violation is not corrected to the reasonable satisfaction of the City Manager or designee within thirty (30) days thereafter, or if not corrected within such a reasonable time as may be required to cure the breach or default, or default cannot be cured within thirty (30) days (provided that acts to cure the breach or default may be commenced within thirty (30) days and shall thereafter be diligently pursued to completion by Owner), then City may, without further notice, declare a default under the terms of this Agreement and may bring any action necessary to specifically enforce the obligations of Owner growing out of the terms of this Agreement, apply to any court, state or federal, for injunctive relief against any violation by Owner or apply for such relief as may be appropriate.

b. City does not waive any claim of default by the Owner if City does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for in this Agreement or in City's regulations governing historic properties are available to City to pursue in the event that there is a breach of this Agreement. No waiver by City of any breach or default under this Agreement shall be deemed to be a waiver of any other subsequent breach thereof or default hereunder.

7. Binding effect of Agreement.

a. Owner hereby subjects the Historic Property, located at **2014 North Flower Street**, Assessor Parcel Number, **399-051-05**, and more particularly described in Exhibit A, in the City of Santa Ana, to the covenants, conditions, and restrictions as set forth in this Agreement.

b. City and Owner hereby declare their specific intent that the covenants, conditions and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon Owner's successors and assigns in title or interest to the Historic Property. Every contract, deed, or other instrument hereinafter executed, covering or conveying

the Historic Property or any portion thereof, shall conclusively be held to have been executed, delivered, and accepted subject to the tenants, restrictions, and reservations expressed in this Agreement regardless of whether such covenants, conditions and restrictions are set forth in such contract, deed, or other instrument.

8. No Compensation.

Owner shall not receive any payment from City in consideration of the obligation imposed under this Agreement, it being recognized that the consideration for the execution of this Agreement is the substantial public benefit to be derived therefrom and the advantage that will accrue to Owner as a result of the effect upon the assessed value of the Property on the account of the restrictions on the use and preservation of the Property.

9. Notice.

Any notice required by the terms of this Agreement shall be sent to the address of the respective parties as specified below or at other addresses that may be later specified by the parties hereto.

City: City of Santa Ana
20 Civic Center Plaza (M-30)
Santa Ana, CA 92702
Attn: Clerk of the Council

Owners: Chad Barker
2014 North Flower Street
Santa Ana, CA 92706

10. General Provisions.

a. None of the terms, provisions, or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors, or assigns, nor shall such terms, provisions or conditions cause them to be considered joint ventures or members of any joint enterprise.

b. The Owner agrees to and shall indemnify and hold the City and its elected and appointed officials, officers, agents, and employees harmless from liability for damage or claims for damage for personal injuries, including death, and claims for property damage which may arise from the direct or indirect use or operations of the Owner or those of his or her contractor, subcontractor, agent, employee, or other person acting on his or her behalf which relates to the use, operation, and maintenance of the Historic Property. The Owner hereby agrees to and shall defend the City and its elected and appointed officials, officers, agents, and employees with respect to any and all actions for damages caused by, or alleged to have been caused by, reason of the Owner's activities in connection with the Historic Property.

c. This hold harmless provision applies to all damages and claims for damages suffered, or alleged to have been suffered, and costs of defense incurred, by reason of the operations referred to in this Agreement regardless of whether or not City prepared, supplied, or approved the plans, specifications or other documents for the Historic Property.

d. All of the agreements, rights, covenants, conditions, and restrictions contained in this Agreement shall be binding upon and shall inure to the benefit of the parties herein, their heirs, successors, legal representatives, assigns, and all persons acquiring any part or portion of the Historic Property, whether by operation of law or in any manner whatsoever.

e. In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations, or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to court costs and other relief ordered by the court.

f. In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be effected thereby.

g. This Agreement shall be construed and governed in accordance with the laws of the State of California, with venue in Orange County.

11. Recordation.

No later than twenty (20) days after the parties execute and enter into this Agreement, the City shall cause this Agreement to be recorded in the office of the County Recorder of the County of Orange.

12. Amendments.

This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.

13. Effective Date

This Agreement shall be effective on the day and year first written above in Section 1.

{Signature page follows}

ATTEST:

CITY OF SANTA ANA

DAISY GOMEZ
Clerk of the Council

KRISTINE RIDGE
City Manager

OWNER

Date: _____

By: _____
CHAD BARKER

APPROVED AS TO FORM:

RECOMMENDED FOR APPROVAL:

SONIA CARVALHO
City Attorney

By: _____
JOHN M. FUNK
Assistant City Attorney

MINH THAI
Executive Director
Planning and Building Agency

EXHIBIT A
LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 15 AND THE SOUTH 20 FEET OF LOT 16 OF TRACT NO. 991, IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA AS SHOWN ON A MAP RECORDED IN BOOK 32, PAGE 47 MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

EXCEPT THE SOUTH 16 FEET OF SAID LOT 15.

Assessor's Parcel Number: 399-051-05

EXECUTIVE SUMMARY

Witt House
2014 North Flower Street
Santa Ana, CA 92706

NAME	Witt House			REF. NO.
ADDRESS	2014 North Flower Street			
CITY	Santa Ana	ZIP	92706	ORANGE COUNTY
YEAR BUILT	1941	LOCAL REGISTER CATEGORY: Contributive		
HISTORIC DISTRICT	N/A	NEIGHBORHOOD	Floral Park	
CALIFORNIA REGISTER CRITERIA FOR EVALUATION	3	CALIFORNIA REGISTER STATUS CODE	5S3	

Location: Not for Publication Unrestricted

Prehistoric Historic Both

ARCHITECTURAL STYLE: Minimal Traditional

During the Great Depression through the immediate postwar years, the Minimal Traditional home rose in popularity as the preferred style for middle-class housing in the United States. This basic house type fulfilled both aesthetic and social needs: in terms of aesthetics, the form represented a stripped-down version of the historic-eclectic styles popular in the 1920s, in particular the Tudor and English Revival styles. In social terms, the Minimal Traditional home satisfied requirements in square footage and plan by the Federal Housing Administration (FHA), which launched a campaign in this period to expand home ownership. The Minimal Traditional home served as the prototype used by the FHA in its efforts to codify and manufacture “a standard, low-cost, minimum house that the majority of American wage earners could afford” (Greg Hise, *Magnetic Los Angeles*, p. 57). Minimal Traditional homes are typically rectangular in plan and one-story in height, often with a front-gabled wing and prominent attached chimney. In contrast with the English and Tudor Revival styles the one-story version mimics, the Minimal Traditional home is capped with a low or intermediate pitch roof with a hipped or side gable. Sheathing materials include stucco, brick, or wood, often accompanied by stone veneer accents. Fenestration generally consists of multi-light casement, double-hung, and picture windows with wood frames. The eaves and rakes of the Minimal Traditional home are typically shallow (in a departure from the later Ranch House style, which they often resemble). Although they have little applied ornament, many Minimal Traditional homes often display decorative wood shutters and porch-roof supports.

SUMMARY/CONCLUSION:

The Witt House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1 for embodiment of the distinguishing characteristics of the Minimal Traditional style with Colonial Revival detailing dating from the year just prior to World War II. Additionally, the house has been categorized as “Contributive” because it “contributes to the overall character and history” of Floral Park and “is a good example of period architecture,” representing the Minimal Traditional architecture style in Santa Ana (Municipal Code, Section 30-2.2).

EXPLANATION OF CODES:

- California Register Criteria for Evaluation: (From California Office of Historic Preservation, Technical Assistance Series # 7, “How to Nominate Resources to the California Register of Historical Resources,” September 4, 2001.)
 - 3:** It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.
- It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.
 - 5S3:** Appears to be individually eligible for local listing or designation through survey evaluation

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 3 Resource name(s) or number (assigned by recorder) *Witt House*

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County Orange County

*b. USGS 7.5' Quad TCA 1725

Date: March 3, 2015

*c. Address 2014 North Flower Street

City Santa Ana

Zip 92706

*e. Other Locational Data: Assessor's Parcel Number 399-051-05

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Witt House is an intact example of the Minimal Traditional style with Colonial Revival detailing dating from the year just prior to World War II. This one-story, single-family residence is "L" shaped in design and clad in a light smooth stucco. The house features a low-pitched, gable-and-wing roof design with the front-facing gable protruding into the front yard. The roof is clad in composition shingles and features little or no overhang. Architectural detailing on the north, projecting wing facade elevation includes horizontal wood cladding in the front gable end and prominent, attached, and centered brick chimney. The main entry faces south into a partial-width porch that fronts the south, set back, side-gabled wing. The porch roof, an extension of the main roof, is supported by simple, paired, square poposts. The front entry features a simple six-panel wood door and is enclosed by low brick wall. Fenestration along the facade (east elevation) includes large six-over-six, wood double-hung windows, including at the projecting front gable and front entry—most with decorative shutters. The fenestration along the north, south, and west elevation include a series of eight-over-eight, six-over-six, three-over-three, and single pane wood double-hung and casement windows, most without decorative shutters. The west (rear) elevation features a partial-width extended patio cover, also supported by simple paired square porch supports and partially clad in horizontal wood cladding. A detached, front-gabled garage at the rear of the property is also clad in smooth stucco with minimal overhangs. A mature evergreen shading the front lawn appears to date from the same, if not earlier period, as the house. Although it appears that the windows have been replaced, the property retains enough overall integrity to convey its age and style and is in good condition.

*P3b. Resource Attributes: (list attributes and codes) *HP2. Single-Family Residence*

*P4. Resources Present: Building Structure Object Site District Element of District Other

P5a. Photo



P5b. Photo: (view and date)
January, 2021
Front elevation, facing west

*P6. Date Constructed/Age and Sources: historic
1941/ City of Santa Ana Building Permit

*P7. Owner and Address:
Chad Barker
2014 North Flower Street
Santa Ana, CA 92706

*P8. Recorded by:
Pedro Gomez, Associate Planner
20 Civic Center Plaza M-20
Santa Ana, CA 92702

*P9. Date Recorded:
March 25, 2021

*P10. Survey Type:
Intensive Survey Update

*P11. Report Citation: (Cite survey report and other sources, or enter "none")
None

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or #: *Witt House*

B1. Historic Name: *Witt House*

B2. Common Name: *Same*

B3. Original Use: *Single-Family Residence*

B4. Present Use: *Single-Family Residence*

*B5. Architectural Style: *Minimal Traditional*

*B6. Construction History: (Construction date, alterations, and date of alterations): *Constructed May 28, 1941. \$6,000.*

November 8, 1954. Disposal for O.S. Witt by MacFarlane.

April 6, 1960. Addition to garage (8'x18') for R. W. Townsend by Home Construction Co. \$350.

October 15, 2004. In-ground pool and spa. \$21,000.

September 26, 2017. Reroof sfd & detached garage. Tear-off & apply sheathing/composition shingles. \$12,000.

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: *Garage.*

B9a. Architect: *Unknown*

b. Builder: *Allison Honer*

*B10. Significance: Theme *Residential Architecture* Area *Santa Ana*
Period of Significance: *1941* Property Type: *Single-family Residence* Applicable Criteria: *C/3*
(Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

The Witt House is significant as a representative example of a Minimal Traditional house, typical of the period just before World War II and the post-war popularity of the ranch style. It was built in 1941 by prominent developer and builder Allison Honer, the subdivider of Floral Park. The house was first sold to Oscar Solomon Witt, a long time Santa Ana resident and farmer who married his wife Blanche Talcott in Santa Ana in 1909. Witt raised various fruits and citrus. In 1958, the property was sold to Olive M. Hadley, a bookkeeper, stenographer, and divorcee. Ms. Hadley frequently moved within Orange County, beginning in the 1920's, settling at 1812 Heliotrope in 1964. In 1959, the property was transferred to Hyman and Rose Rosen, a Jewish family who came to America prior to World War I and migrated from the East coast to Los Angeles where Hyman worked in the garment industry prior to 1920. Mr. and Mrs. Rosen would later move to Orange County and become involved in residential real estate in their shared retirement. The property was transferred to Raymond W. Townsend and Dorothy M. Townsend in 1960. Mr. Townsend came to Santa Ana after World War I and worked as a car salesman before he operated his own dealership on South Main Street near downtown. He was one of the first operators of a Hudson Garage in Santa Ana in 1921.

(See Continuation Sheet 3 of 3.)

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

- City of Santa Ana Building Permits*
- Harris, Cyril M. American Architecture: An Illustrated Encyclopedia. New York, WW Norton, 1998.*
- Santa Ana History Room Collection, Santa Ana Public Library*
- Sanborn Maps*

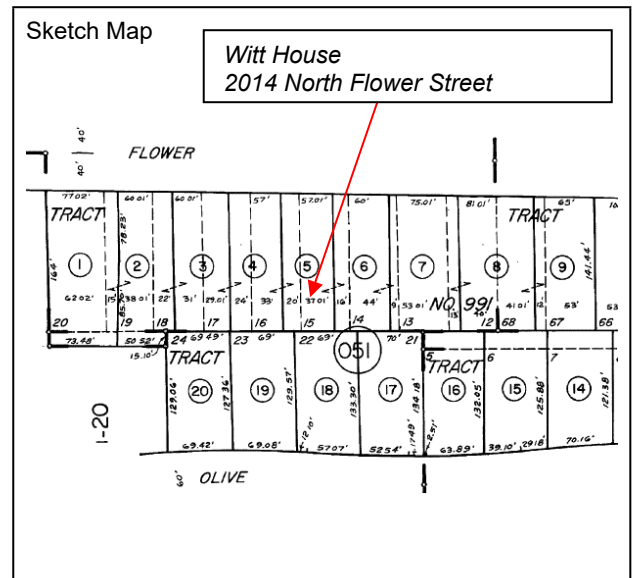
(See Continuation Sheet 3 of 3.)

B13. Remarks:

*B14. Evaluator: *Leslie Heumann, Chattel, Inc.*

*Date of Evaluation: *March 25, 2021*

(This space reserved for official comments.)



***B10. Significance (continued):**

Santa Ana was founded by William Spurgeon in 1869 as a speculative town site on part of the Spanish land grant known as Rancho Santiago de Santa Ana. The civic and commercial core of the community was centered around the intersection of Main and Fourth Streets. Stimulated by the arrival of the Santa Fe Railroad and incorporation as a city in 1886, and selection as the seat of the newly created County of Orange in 1889, the city grew outwards, with residential neighborhoods developing to the north, south, and east of the city center. Agricultural uses predominated in the outlying areas, with cultivated fields and orchards dotted with widely scattered farmhouses.

The Witt House is located in Floral Park, a neighborhood northwest of downtown Santa Ana bounded by West Seventeenth Street, North Flower Street, Riverside Drive, and Broadway. Groves of oranges, avocados, and walnuts and widely scattered ranch houses characterized this area before 1920. Developer and builder Allison Honer (1897-1981), credited as the subdivider and builder of a major portion of northwest Santa Ana, arrived in Santa Ana from Beaver Falls, New York in 1922 (Talbert, pages 353-356). "Before nightfall on the day of his arrival, Mr. Honer purchased a parcel of land. And that month, he began building custom homes in Santa Ana" (Orange County Register, September 15, 1981). The parcel chosen became the Floral Park subdivision between Seventeenth Street and Santiago Creek. "When built in the 1920s, the Floral Park homes were the most lavish and expensive in the area. They sold for about \$45,000 each" (Orange County Register, September 15, 1981). Revival architecture in a wide variety of romantic styles was celebrated in the 1920s and 1930s and Floral Park showcased examples of the English Tudor, French Norman, Spanish Colonial, and Colonial Revival. The Allison Honer Construction Company went on to complete such notable projects as the 1935 Art Deco styled Old Santa Ana City Hall, the El Toro Marine Base during World War II, and the 1960 Honer Shopping Plaza. Honer lived in the neighborhood he had helped to create, at 615 West Santa Clara Avenue.

In the late 1920s and 1930s, another builder, Roy Roscoe Russell (1881-1965), continued developing the groves of Floral Park. An early Russell project was his 1928 subdivision of Victoria Drive between West Nineteenth Street and West Santa Clara Avenue. The homes were quite grand and displayed various revival styles, including Russell's own large, Colonial Revival mansion at 2009 Victoria Drive. In the early post World War II years, Floral Park continued its development as numerous, smaller, single-family houses were built. Continuing in the Floral Park tradition, they were mostly revival in style. In the 1950s, low, horizontal Ranch Style houses completed the growth of Floral Park. Today (2021) Floral Park maintains its identity as the premier neighborhood of Santa Ana, historically home to many affluent and prominent citizens.

The Witt House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1 for embodiment of the distinguishing characteristics of the Minimal Traditional style with Colonial Revival detailing dating from the year just prior to World War II. Additionally, the house has been categorized as "Contributive" because it "contributes to the overall character and history" of Floral Park and "is a good example of period architecture," representing the Minimal Traditional architecture style in Santa Ana. Character-defining exterior features of the Witt House that should be preserved include, but may not be limited to: sheathing (stucco and clapboard in the gable end); roof configuration; massing; original fenestration pattern; porch; chimney, and architectural details such as shutters, prominent brick chimney, and accent brick material at the front entry.

***B12. References (continued):**

- Harris, Cyril M. American Architecture: An Illustrated Encyclopedia. New York, WW Norton, 1998.*
Marsh, Diann. Santa Ana, An Illustrated History. Encinitas, Heritage Publishing, 1994.
McAlester, Virginia and Lee. A Field Guide to American Houses. New York: Alfred A. Knopf, 1984.
National Register Bulletin 16A. "How to Complete the National Register Registration Form." Washington DC: National Register Branch, National Park Service, US Dept. of the Interior, 1991.
Office of Historic Preservation. "Instructions for Recording Historical Resources." Sacramento: March 1995.
Whiffen, Marcus. American Architecture Since 1780. Cambridge: MIT Press, 1969.
Santa Ana and Orange County Directories, 1905-2017.
Ancestry.com
Newspapers.com (Santa Ana Register)
"Marriage Licenses." Santa Ana Register, 3 September 1909.
"Hudson Garge Firm Files Incorporation." Santa Ana Register, 8 February 1921.
"Floral Park Tract Plans Development." Santa Ana Register, 14 July 14 1929.
"Harry H. Ball Dies Suddenly." Santa Ana Register, 6 October 1936.
"Heliotrope Drive Will Be Opened To North Park Blvd." Santa Ana Register, 7 September 1938.
"Bon Voyage Party Given By Witts." Santa Ana Register, 10 July 1941.
"S.A. People In Islands Listed." Santa Ana Register, 8 December 1941.
"Mrs. Norval Witt Here From Honolulu." Santa Ana Register, 3 July 1942.

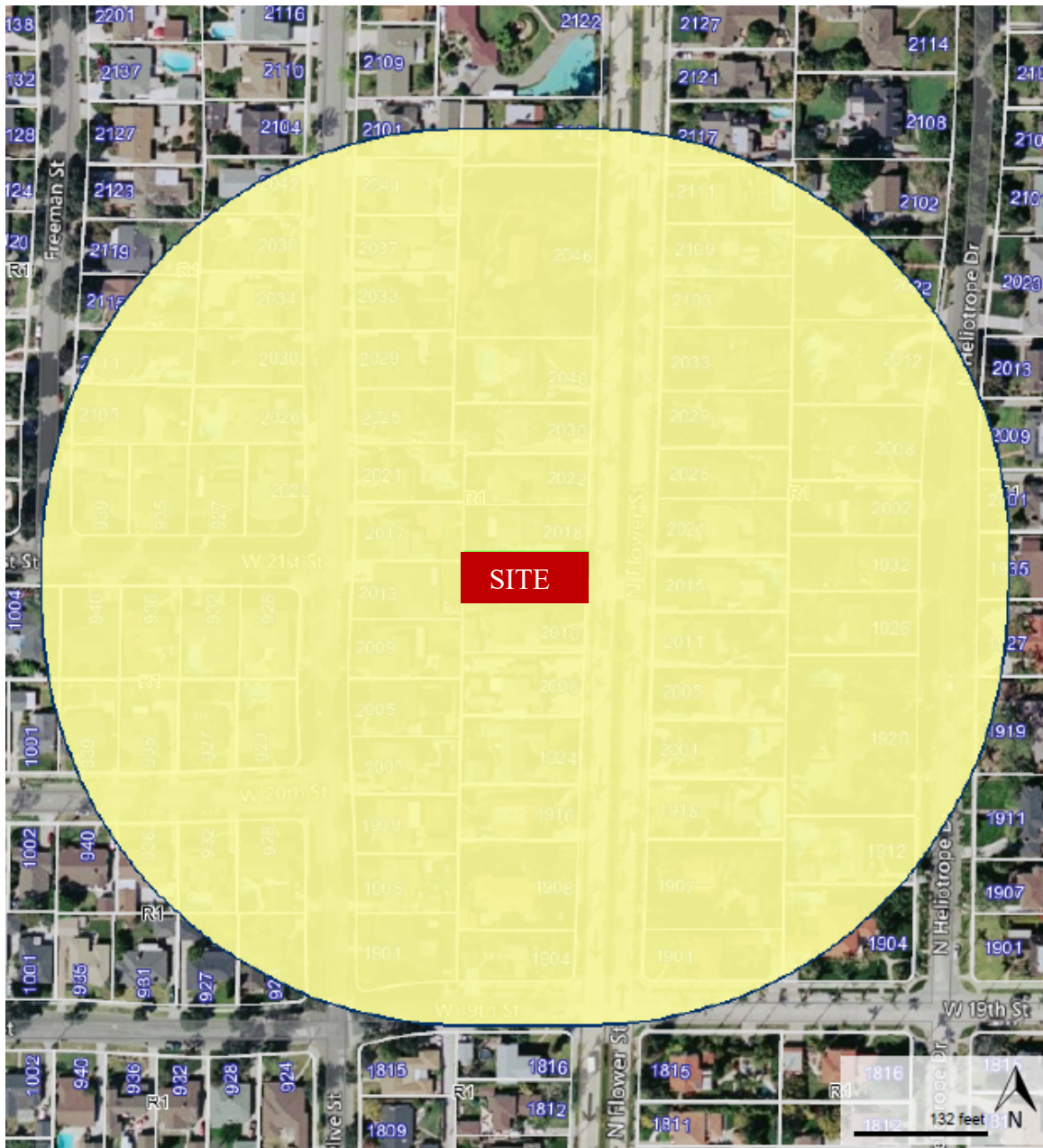
Exhibit C

Exterior work shall be reviewed by the Historic Resources Commission and subject to the U.S. Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, as follows:

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
2. The distinguishing original qualities or character of a building, structure or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from the other buildings or structures.
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
8. Every reasonable effort shall be made to protect and reserve archaeological resources affected by, or adjacent to any project.
9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with

size, scale, color, material and character of the property, neighborhood, or environment.

10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations need to be removed in the future, the essential form and integrity of the structure would be unimpaired.



500' RADIUS

HRC 2021-01/ HRCA 2021-01/ HPPA 2021-01
2014 NORTH FLOWER STREET
WITT HOUSE



**City of Santa Ana
20 Civic Center Plaza, Santa Ana, CA 92701
Historic Resources Commission Staff Report
March 25, 2021**

Topic: HRCA No. 2021-14, HRC 2021-14, HPPA No. 2021-20 - The Elwood Bear House

RECOMMENDED ACTION

1. Adopt a resolution approving Historic Resources Commission Application No. 2021-14 and Historic Register Categorization No. 2021-14 (Exhibit 1).
2. Recommend that the City Council authorize the City Manager and Clerk of the Council to execute the attached Mills Act agreement with Robert M. and Connie J. Yoakum, subject to non-substantive changes approved by the City Manager and City Attorney (Exhibit 2).

EXECUTIVE SUMMARY

Robert M. and Connie J. Yoakum are requesting approval to designate an existing residence located at 520 West Nineteenth Street to the Santa Ana Register of Historical Properties, as well as approval to execute a Mills Act agreement with the City of Santa Ana.

DISCUSSION

Project Location and Site Description

The subject property is located on the south side of West Nineteenth Street in the Floral Park neighborhood. The site consists of a 1,108-square-foot, Spanish Colonial Revival residence and detached garage on a 7,500-square-foot residential lot (Exhibit 3).

Analysis of the Issues

Historical Listing

In March 1999, the City Council approved Ordinance No. NS-2363 establishing the Historic Resources Commission and the Santa Ana Register of Historical Properties. The Historic Resources Commission may, by resolution and at a noticed public hearing, designate as a historical property any building or part thereof, object, structure, or site

having importance to the history or architecture of the city in accordance with the criteria set forth in Section 30-2 of the Santa Ana Municipal Code (SAMC). This project entails applying the selection criteria established in Chapter 30 of the Santa Ana Municipal Code (Places of Historical and Architectural Significance) to determine if this structure is eligible for historic designation to the Santa Ana Register of Historical Properties. The first criterion for selection requires that the structures be 50 or more years old.

The structure identified meets the minimum selection criteria for inclusion on the Santa Ana Register of Historical Properties pursuant to criteria contained in Section 30-2 of the Santa Ana Municipal Code, as the property is 98 years old and is a good example of period architecture. No known code violations exist on record for this property.

The property, recognized as the Elwood Bear House, is located within the Floral Park neighborhood and has distinctive architectural features of the Spanish Colonial Revival style. The residence was originally constructed in 1923 and was valued at approximately \$4,750, according to the original building permit. A majority of Floral Park was developed by prominent developer and builder Allison Honer who was credited as the subdivider and builder of a major portion of northwest Santa Ana. In the late 1920s and 1930s, another builder, Roy Roscoe Russell, continued developing the groves of Floral Park. In the early post World War II years, Floral Park continued its development as numerous, smaller, single-family houses were built.

The house is asymmetric in design and clad in a light smooth stucco finish. A stepped parapet, with clay barrel tile coping, shields the rear (south) half of the roof along the south, east, and west elevations. The front (north), cross-gabled, half of the roof that once featured a red composition slate tile roof is now covered in composition shingles with rolled edges with little or no overhang. The façade (north elevation) consists of three bays, each containing a tripartite window grouping. The right (west) bay is capped by a front-facing gable, whose extended west rake tops an arched opening in a wing wall. Centered beneath the front gable is a set of three, multi-light, wood, arched windows of Palladian inspiration. With a fixed center and composed in an A-B-A pattern, the windows are separated by engaged spiral colonnettes. The recessed center bay is fronted by an uncovered patio area, enclosed by a low wall and featuring terracotta tile pavers along the front steps and porch floor. The left bay features a shed roof extension of the side gable that terminates at a lower height than the rest of the bays. Fenestration along the side (east and west) elevations consists of six-over-six, wood, double-hung windows, and multi-light wood casement windows, some shaded by fabric awnings. Character-defining features of the Elwood Bear House that should be preserved include, but may not be limited to: materials and finishes (stucco); unusual shingled tile roof configuration, materials, and treatment (clay barrel tile coping and rolled edges); massing and composition; Palladian-influenced treatments of the façade windows; fenestration; front patio enclosure (waist high wall and terracotta tile pavers); and original exterior lighting and lighting bracket.

The Elwood Bear House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1, as a very intact and well-documented example of a Spanish Colonial Revival bungalow in Santa Ana. It appears very much as it was pictured in the Santa Ana Register advertisement published on June 16, 1923. Additionally, the house has been categorized as “Key” because it has a “distinctive architectural style and quality” as an example of the Spanish Colonial Revival style in Santa Ana, featuring distinctive features include the Palladian-influenced treatments of the façade windows, unusual shingled tile roof, and front patio enclosure.

Mills Act Agreement

Ordinance No. NS-2382 authorized the Historic Resources Commission to execute Historic Property Preservation Agreements (HPPA), commonly known as Mills Act agreements for eligible properties (Exhibit 2). To be eligible for the Mills Act, the property must be listed on the Santa Ana Register of Historical Properties. The Historic Resources Commission Application and Historic Register Categorization actions proposed for this site authorize the listing of the property on the local register. The agreement provides monetary incentives to the property owner in the form of a property tax reduction in exchange for the owner’s voluntary commitment to maintain the property in a good state of repair as necessary to maintain its character and appearance. Once recorded, the agreement generates a different valuation method in determining the property’s assessed value, resulting in tax savings for the owner. Aside from the tax savings, the benefits include:

- Long term preservation of the property and visual improvement to the neighborhood
- Allows for a mechanism to provide for property rehabilitation
- Provides additional incentive for potential buyers to purchase historic structures
- Discourages inappropriate alterations to the property

The property has no identified unauthorized modifications. Upon consideration of the application, it is recommended that the City enter into a Historic Property Preservation Agreement.

Public Notification

The subject site is located within the Floral Park Neighborhood Association. The president of this Neighborhood Association was notified by mail 10 days prior to this public hearing. In addition, the project site was posted with a notice advertising this public hearing, a notice was published in the Orange County Reporter and mailed notices were sent to all property owners within 500 feet of the project site. At the time of this printing, no correspondence, either written or electronic, had been received from any members of the public.

ENVIRONMENTAL IMPACT

Pursuant to the California Environmental Quality Act (CEQA) and the CEQA Guidelines, the project is exempt from further review pursuant to Section 15331 of the CEQA Guidelines (Class 31 – Historical Resource Restoration/Rehabilitation) as these actions are designed to preserve historic resources. Based on this analysis, a Notice of Exemption, Environmental Review No. 2021-07 will be filed for this project.

FISCAL IMPACT

The Historic Property Preservation Agreement will reduce the Property Tax revenue account 01102002-50011 to the City by an estimated \$769.46 annually, for a period of not less than ten years.

EXHIBIT(S)

1. Resolution
2. Mills Act Agreement
3. 500-Foot Radius Map

Submitted By:
Pedro Gomez, AICP, Associate Planner

Approved By:
Minh Thai, Executive Director of Planning and Building Agency, Planning and Building Agency

RESOLUTION NO. 2021-XXX

A RESOLUTION OF THE HISTORIC RESOURCES COMMISSION OF THE CITY OF SANTA ANA APPROVING HISTORIC RESOURCES COMMISSION APPLICATION NO. 2021-14 TO PLACE THE PROPERTY LOCATED AT 520 WEST NINETEENTH STREET, SANTA ANA, ON THE HISTORICAL REGISTER AND APPROVING HISTORIC REGISTER CATEGORIZATION NO. 2021-14 PLACING SAID PROPERTY WITHIN THE KEY CATEGORY

BE IT RESOLVED BY THE HISTORIC RESOURCES COMMISSION OF THE CITY OF SANTA ANA AS FOLLOWS:

Section 1. The Historic Resources Commission of the City of Santa Ana hereby finds, determines and declares as follows:

- A. On March 25, 2021, the Historic Resources Commission held a duly noticed public hearing for the placement on the Santa Ana Register of Historical Properties (Historic Resources Commission Application No. 2021-14) and categorization (Historic Resources Commission Categorization No. 2021-14) of the Elwood Bear House located at 520 West Nineteenth Street, Santa Ana.
- B. The Elwood Bear House has distinctive architectural features of the Spanish Colonial Revival style and was built in 1923.
- C. The Elwood Bear House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1, as an intact and well-documented example of a Spanish Colonial Revival bungalow in Santa Ana. It appears very much as it was pictured in the Santa Ana Register advertisement published on June 16, 1923. Additionally, the house has been categorized as “Key” because it has a “distinctive architectural style and quality” as an example of the Spanish Colonial Revival style in Santa Ana, featuring distinctive features include the Palladian-influenced treatments of the façade windows, unusual shingled tile roof, and front patio enclosure. Character-defining features of the Elwood Bear House that should be preserved include, but may not be limited to: materials and finishes (stucco); unusual shingled tile roof configuration, materials, and treatment (clay barrel tile coping and rolled edges); massing and composition; Palladian-influenced treatments of the façade windows; fenestration; front patio enclosure (waist high wall and terracotta tile pavers); and original exterior lighting and lighting bracket.
- D. The legal owners of the property are Robert M. and Connie J. Yoakum.
- E. The legal description for the subject property is attached hereto as Exhibit A and incorporated by this reference as though fully set forth herein.

- F. The subject property meets the standards for placement on the City of Santa Ana Register of Historic Properties pursuant to Section 30-2 of the Santa Ana Municipal Code.
- G. The subject property meets the minimal standards for placement in the Key category pursuant to Section 30-2.2(2) of the Santa Ana Municipal Code.

Section 2. In accordance with the California Environmental Quality Act, the recommended actions are exempt from further review under CEQA Guidelines Section 15331, Class 31, as these actions are designed to preserve historical resources. Categorical Exemption No. ER-2021-07 will be filed for this project.

Section 3. The Historic Resources Commission of the City of Santa Ana after conducting the public hearing hereby approves:

- A. Historic Resources Commission Application No. 2021-14 to place the Elwood Bear House located at 520 West Nineteenth Street, Santa Ana, 92706 on the historical register, and
- B. Historic Register Categorization No. 2021-14 placing the Elwood Bear House located at 520 West Nineteenth Street, Santa Ana, 92706 within the Key category.

These decisions are based upon the evidence submitted at the above said hearing, which includes, but is not limited to: the Staff report and exhibits attached thereto, the report entitled "Historical Property Description," and the public testimony, all of which are incorporated herein by this reference.

Section 4. For the subject property, a report entitled "Historical Property Description" is on file with the Planning Division, and is hereby approved and adopted, and together with the staff report and this Resolution, justify the findings for placement on the City of Santa Ana Register of Historical Properties into a category. The Historic Resources Commission Secretary is authorized and directed to include this Resolution in the City of Santa Ana Register of Historical Properties.

Section 5. The Historic Resources Commission Secretary is hereby directed to file a certified copy of this Resolution with the County Recorder's Office after the adoption of this Resolution pursuant to Public Resources Code Section 5029.

ADOPTED this 25th day of March, 2021.

Alberta Christy
Chairperson

FREE RECORDING PURSUANT TO
GOVERNMENT CODE § 27383

APPROVED AS TO FORM:
Sonia R. Carvalho, City Attorney

By: _____
John M. Funk
Sr. Assistant City Attorney

AYES: Commission members _____

NOES: Commission members _____

ABSTAIN: Commission members _____

NOT PRESENT: Commission members _____

CERTIFICATE OF ATTESTATION AND ORIGINALITY

I, SARAH BERNAL, Historic Resources Commission Secretary, do hereby attest to and certify the attached Resolution No. 2021-XXX to be the original resolution adopted by Historic Resources Commission of the City of Santa Ana on March 25, 2021.

Date: _____

Commission Secretary
City of Santa Ana

**EXHIBIT A
LEGAL DESCRIPTION**

APN	Address	Legal Description	Owner Names
002-104-12	520 West Nineteenth Street	LOT 3 IN BLOCK B OF TRACT NO. 256, IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER, MAP RECORDED IN BOOK 14, PAGE(S) 23 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY REOCRDER OF SAID COUNTY.	Robert M. and Connie J. Yoakum

RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:
City of Santa Ana
20 Civic Center Plaza (M-30)
Santa Ana, CA 92702
Attn: Clerk of the Council

FREE RECORDING PURSUANT TO GOVERNMENT CODE § 27383

HISTORIC PROPERTY PRESERVATION AGREEMENT

This Historic Property Preservation Agreement (“Agreement”) is made and entered into by and between the City of Santa Ana, a charter city and municipal corporation duly organized and existing under the Constitution and laws of the of the State of California (hereinafter referred to as “City”), and **Robert M. Yoakum and Connie J. Yoakum, Trustees of the Yoakum Family Trust dated August 6, 2004**, (hereinafter collectively referred to as “Owner”), owner of real property located at **520 West Nineteenth Street, Santa Ana, California**, in the County of Orange and listed on the Santa Ana Register of Historical Properties.

RECITALS

- A. The City Council of the City of Santa Ana is authorized by California Government Code Section 50280 et seq. (known as the “Mills Act”) to enter into contracts with owners of qualified historical properties to provide for appropriate use, maintenance, rehabilitation and restoration such that these historic properties retain their historic character and integrity.
- B. The Owner possesses fee title in and to that certain qualified real property together with associated structures and improvements thereon, located at **520 West Nineteenth Street, Santa Ana, CA, 92706** and more particularly described in Exhibit “A,” attached hereto and incorporated herein by reference, and hereinafter referred to as the “Historic Property”.
- C. The Historic Property is officially designated on the Santa Ana Register of Historical Properties pursuant to the requirements of Chapter 30 of the Santa Ana Municipal Code.
- D. City and Owner, for their mutual benefit, now desire to enter into this Agreement which defines and limits the use and alteration of this Historic Property in order to enhance and maintain its value as a cultural and historical resource for Owner and for the community; to prevent inappropriate alterations to the Historic Property and to ensure that repairs, additions, new building, and other changes are appropriate; and to ensure that rehabilitation and maintenance are carried out in an exemplary manner.

- E. Owner and City intend to carry out the purposes of California Government Code, Chapter 1, Part 5 of Division 1 of Title 5, Article 12, Section 50280 et seq., which will enable the Historic Property to qualify for an assessment of valuation as a restricted historical property pursuant to Article 1.9, Sec. 439 et seq., Chapter 3 Part 2 of Division 1 of the California Tax and Revenue Code.

NOW, THEREFORE, the City of Santa Ana and the Owner of the Historic Property agree as follows:

1. Effective Date and Terms of Agreement.

This Agreement shall be effective and commence on **May 5, 2021**, and shall remain in effect for a term of ten (10) years thereafter. Each year, upon the anniversary of the effective date of this Agreement, such initial term will automatically be extended as provided in California Government Code Sections 50280 through 50290 and in Section 2, below.

2. Renewal.

a. Each year on the anniversary of the effective date of this Agreement, a year shall automatically be added to the initial ten (10) year term of this Agreement unless written notice of nonrenewal is served as provided herein.

b. If the Owner or the City desire(s) in any year not to renew the Agreement, the Owner or City shall serve written notice of nonrenewal of the Agreement on the other party. Unless such notice is served by the Owner to the City at least ninety (90) days prior to the annual renewal date, or served by the City to the Owner at least sixty (60) days prior to the annual renewal date, one (1) year shall automatically be added to the term of the Agreement as provided herein.

c. Within 30 days from receipt of City's notice of nonrenewal, the Owner may file a written protest of City's decision of nonrenewal. The City may, at any time prior to the annual renewal date of the Agreement, withdraw its notice to the Owner of nonrenewal.

d. If either the Owner or the City serves notice to the other of nonrenewal in any year, the Agreement shall remain in effect for the balance of the term then remaining, either from its original execution or from the last renewal of the Agreement, whichever may apply.

3. Standards and Conditions for Historic Property.

During the term of this Agreement, the Historic Property shall be subject to the following conditions, requirements and restrictions:

a. Owner shall maintain the Historic Property in a good state of repair and shall preserve, maintain, and, where necessary, restore or rehabilitate the property and its character-defining features described in the "Historical Property Description" attached hereto, marked as Exhibit B, notably the general architectural form, style, materials, design, scale, proportions, organization of windows, doors, and other openings, textures, details, mass, roof line, porch and other aspects of the appearance of the exterior to the satisfaction of the City.

b. All changes to the Historic Property shall comply with applicable City plans and regulations, and conform to the rules and regulations of the Office of Historic Preservation of the State Department of Parks and Recreation, namely the U.S. Secretary of the Interior's Standards and Guidelines for Historic Preservation Projects. These guidelines are attached hereto, marked as Exhibit C, and incorporated herein by this reference. Owner shall continually maintain the Historic Property in the same or better condition.

c. A view corridor enabling the general public to see the Historic Property from the public right-of-way shall be maintained, and Owner shall not be permitted to block the view corridor to the property with any new structure, such as walls, fences or shrubbery, so as to prevent the viewing of the historic landmark by the public.

d. The following are prohibited: demolition of the Historic Property or destruction of character-defining features of the building or site; removal of trees and other major vegetation unless removal is approved by a rehabilitation plan approved by the Historic Resources Commission; paving of yard surface; exterior alterations or additions unless approved by the Historic Resources Commission and such alterations are in keeping with the Secretary of Interior's Standards; deteriorating, dilapidated or unrepaired structures such as fences, roofs, doors, walls, and windows; storage of junk, trash, debris, discarded or unused objects such as cars, appliances, or furniture; and other unsightly by decoration, structure or vegetation which is unsightly by reason of its height, condition, or inappropriate location.

e. Owner shall allow reasonable periodic inspection by prior appointment, as needed or at least every five (5) years after the initial inspection, of the interior and exterior of the Historic Property by representatives of the City of Santa Ana, the County Assessor, the State Department of Parks and Recreation, and the State Board of Equalization, to determine the Owner's compliance with the terms and provisions of this Agreement.

4. Furnishing of Information.

The Owner hereby agrees to furnish the City with any and all information requested which may be necessary or advisable to determine compliance with the terms and provisions of this Agreement.

5. Cancellation.

a. The City, following a duly noticed public hearing by the City Council as set forth in Government Code Section 50280, et. seq., may cancel this Agreement if it determines that the Owner have breached any of the conditions of this Agreement, or has allowed the property to deteriorate to the point that it no longer meets the standards for a qualified Historic Property, or if the City determines that the Owner have failed to restore or rehabilitate the property in the manner specified in Section 3 of this Agreement. If a contract is cancelled for these reasons, the Owner shall pay a cancellation fee to the County Auditor as set forth in Government Code Section 50286. This cancellation fee shall be a percentage (currently set at twelve and one-half (12 ½) percent by Government Code Section 50286) of the current fair market value of the

property at the time of the cancellation, as determined by the county assessor, without regard to any restriction imposed pursuant to this Agreement.

b. If the Historic Property is destroyed by earthquake, fire, flood or other natural disaster such that in the opinion of the City Building Official more than sixty (60) percent of the original fabric of the structure must be replaced, this Agreement shall be canceled immediately because, in effect, the historic value of the structure will have been destroyed. No fee shall be imposed in the case of destruction by acts of God or natural disaster.

c. If the Historic Property is acquired by eminent domain and the City Council determines that the acquisition frustrates the purpose of this Agreement, this Agreement shall be cancelled and no fee imposed, as specified in Government Code Section 50288.

6. Enforcement of Agreement.

a. In lieu of and/or in addition to any provisions to cancel the Agreement as referenced herein, City may specifically enforce, or enjoin the breach of, the terms of the Agreement. In the event of a default, under the provisions to cancel the Agreement by Owner, the City shall give written notice to Owner by registered or certified mail, and if such a violation is not corrected to the reasonable satisfaction of the City Manager or designee within thirty (30) days thereafter, or if not corrected within such a reasonable time as may be required to cure the breach or default, or default cannot be cured within thirty (30) days (provided that acts to cure the breach or default may be commenced within thirty (30) days and shall thereafter be diligently pursued to completion by Owner), then City may, without further notice, declare a default under the terms of this Agreement and may bring any action necessary to specifically enforce the obligations of Owner growing out of the terms of this Agreement, apply to any court, state or federal, for injunctive relief against any violation by Owner or apply for such relief as may be appropriate.

b. City does not waive any claim of default by the Owner if City does not enforce or cancel this Agreement. All other remedies at law or in equity which are not otherwise provided for in this Agreement or in City's regulations governing historic properties are available to City to pursue in the event that there is a breach of this Agreement. No waiver by City of any breach or default under this Agreement shall be deemed to be a waiver of any other subsequent breach thereof or default hereunder.

7. Binding effect of Agreement.

a. Owner hereby subjects the Historic Property, located at **520 West Nineteenth Street**, Assessor Parcel Number, **002-104-12**, and more particularly described in Exhibit A, in the City of Santa Ana, to the covenants, conditions, and restrictions as set forth in this Agreement.

b. City and Owner hereby declare their specific intent that the covenants, conditions and restrictions as set forth herein shall be deemed covenants running with the land and shall pass to and be binding upon Owner's successors and assigns in title or interest to the Historic Property. Every contract, deed, or other instrument hereinafter executed, covering or conveying

the Historic Property or any portion thereof, shall conclusively be held to have been executed, delivered, and accepted subject to the tenants, restrictions, and reservations expressed in this Agreement regardless of whether such covenants, conditions and restrictions are set forth in such contract, deed, or other instrument.

8. No Compensation.

Owner shall not receive any payment from City in consideration of the obligation imposed under this Agreement, it being recognized that the consideration for the execution of this Agreement is the substantial public benefit to be derived therefrom and the advantage that will accrue to Owner as a result of the effect upon the assessed value of the Property on the account of the restrictions on the use and preservation of the Property.

9. Notice.

Any notice required by the terms of this Agreement shall be sent to the address of the respective parties as specified below or at other addresses that may be later specified by the parties hereto.

City: City of Santa Ana
20 Civic Center Plaza (M-30)
Santa Ana, CA 92702
Attn: Clerk of the Council

Owners: Robert M. and Connie J. Yoakum
520 West Nineteenth Street
Santa Ana, CA 92706

10. General Provisions.

a. None of the terms, provisions, or conditions of this Agreement shall be deemed to create a partnership between the parties hereto and any of their heirs, successors, or assigns, nor shall such terms, provisions or conditions cause them to be considered joint ventures or members of any joint enterprise.

b. The Owner agrees to and shall indemnify and hold the City and its elected and appointed officials, officers, agents, and employees harmless from liability for damage or claims for damage for personal injuries, including death, and claims for property damage which may arise from the direct or indirect use or operations of the Owner or those of his or her contractor, subcontractor, agent, employee, or other person acting on his or her behalf which relates to the use, operation, and maintenance of the Historic Property. The Owner hereby agrees to and shall defend the City and its elected and appointed officials, officers, agents, and employees with respect to any and all actions for damages caused by, or alleged to have been caused by, reason of the Owner's activities in connection with the Historic Property.

c. This hold harmless provision applies to all damages and claims for damages suffered, or alleged to have been suffered, and costs of defense incurred, by reason of the operations referred to in this Agreement regardless of whether or not City prepared, supplied, or approved the plans, specifications or other documents for the Historic Property.

d. All of the agreements, rights, covenants, conditions, and restrictions contained in this Agreement shall be binding upon and shall inure to the benefit of the parties herein, their heirs, successors, legal representatives, assigns, and all persons acquiring any part or portion of the Historic Property, whether by operation of law or in any manner whatsoever.

e. In the event legal proceedings are brought by any party or parties to enforce or restrain a violation of any of the covenants, reservations, or restrictions contained herein, or to determine the rights and duties of any party hereunder, the prevailing party in such proceeding may recover all reasonable attorney's fees to be fixed by the court, in addition to court costs and other relief ordered by the court.

f. In the event that any of the provisions of this Agreement are held to be unenforceable or invalid by any court of competent jurisdiction, or by subsequent preemptive legislation, the validity and enforceability of the remaining provisions, or portions thereof, shall not be effected thereby.

g. This Agreement shall be construed and governed in accordance with the laws of the State of California, with venue in Orange County.

11. Recordation.

No later than twenty (20) days after the parties execute and enter into this Agreement, the City shall cause this Agreement to be recorded in the office of the County Recorder of the County of Orange.

12. Amendments.

This Agreement may be amended, in whole or in part, only by a written recorded instrument executed by the parties hereto.

13. Effective Date

This Agreement shall be effective on the day and year first written above in Section 1.

{Signature page follows}

ATTEST:

CITY OF SANTA ANA

DAISY GOMEZ
Clerk of the Council

KRISTINE RIDGE
City Manager

OWNER

Date: _____

By: _____
ROBERT M. YOAKUM
TRUSTEE OF THE YOAKUM FAMILY
TRUST DATED AUGUST 6, 2004

Date: _____

By: _____
CONNIE J. YOAKUM
TRUSTEE OF THE YOAKUM FAMILY
TRUST DATED AUGUST 6, 2004

APPROVED AS TO FORM:

RECOMMENDED FOR APPROVAL:

SONIA CARVALHO
City Attorney

By: _____
JOHN M. FUNK
Assistant City Attorney

MINH THAI
Executive Director
Planning and Building Agency

EXHIBIT A
LEGAL DESCRIPTION

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AND IS DESCRIBED AS FOLLOWS:

LOT 3 IN BLOCK B OF TRACT NO. 256, IN THE CITY OF SANTA ANA, COUNTY OF ORANGE, STATE OF CALIFORNIA, AS PER, MAP RECORDED IN BOOK 14, PAGE(S) 23 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

Assessor's Parcel Number: 002-104-12

EXECUTIVE SUMMARY

Elwood Bear House
520 West Nineteenth Street
Santa Ana, CA 92706

NAME	Elwood Bear House			REF. NO.
ADDRESS	520 West Nineteenth Street			
CITY	Santa Ana	ZIP	92706	ORANGE COUNTY
YEAR BUILT	1923	LOCAL REGISTER CATEGORY: Key		
HISTORIC DISTRICT	None	NEIGHBORHOOD	Floral Park	
CALIFORNIA REGISTER CRITERIA FOR EVALUATION	C/3	CALIFORNIA REGISTER STATUS CODE	5S3	

Location: Not for Publication Unrestricted

Prehistoric Historic Both

ARCHITECTURAL STYLE: Spanish Colonial Revival

The Mission/Spanish Colonial Revival style, as its name implies, encompasses two major subcategories. The Mission Revival vocabulary, popular between 1890 and 1920, drew its inspiration from the missions of the Southwest. Identifying features include curved parapets (or espadaña); red tiled roofs and coping; low-pitched roofs, often with overhanging eaves; porch roofs supported by large, square piers; arches; and wall surfaces commonly covered in smooth stucco. The Spanish Colonial Revival flourished between 1915 and 1940, reaching its apex during the 1920s and 1930s. The movement received widespread attention after the Panama-California Exposition in San Diego in 1915, where lavish interpretations of Spanish and Mexican prototypes were showcased. Easily recognizable hallmarks of the Spanish Colonial Revival are low-pitched roofs, usually with little or no overhangs and red tile roof coverings, flat roofs surrounded by tiled parapets, and stuccoed walls. The Spanish vocabulary also includes arches, asymmetry, balconies and patios, window grilles, and wood, wrought iron, tile, or stone decorative elements.

SUMMARY/CONCLUSION:

The Elwood Bear House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1, as a very intact and well-documented example of a Spanish Colonial Revival bungalow in Santa Ana. Additionally, the house has been categorized as “Key” because it has a “distinctive architectural style and quality” as an example of the Spanish Colonial Revival style in Santa Ana, exhibiting distinctive features such as the Palladian-influenced treatments of the façade windows, unusual shingled tile roof, and front patio enclosure (Santa Ana Municipal Code, Section 30-2.2).

EXPLANATION OF CODES:	
<ul style="list-style-type: none"> • <u>California Register Criteria for Evaluation:</u> (From California Office of Historic Preservation, Technical Assistance Series # 7, “How to Nominate Resources to the California Register of Historical Resources,” September 4, 2001.) 	
<p>C/3: It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values.</p>	
<ul style="list-style-type: none"> • It embodies the distinctive characteristics of a type, period, region, or method of construction, or represents the work of a master, or possesses high artistic values. 	
<p>5S3: Appears to be individually eligible for local listing or designation through survey evaluation</p>	

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
PRIMARY RECORD

Primary # _____
HRI # _____
Trinomial _____
NRHP Status Code _____

Other Listings _____
Review Code _____ Reviewer _____ Date _____

Page 1 of 4 Resource name(s) or number (assigned by recorder) *Elwood Bear House*

P1. Other Identifier:

*P2. Location: Not for Publication Unrestricted

*a. County Orange County

*b. USGS 7.5' Quad TCA 1725

Date: March 3, 2015

*c. Address 520 West Nineteenth Street

City Santa Ana

Zip 92706

*e. Other Locational Data: Assessor's Parcel Number 002-104-12

*P3a. Description: (Describe resource and its major elements. Include design, materials, condition, alterations, size, setting, and boundaries)

The Elwood Bear House is a one-story house constructed in the Spanish Colonial Revival architectural style. The house is asymmetric in design and clad in a light smooth stucco finish. A stepped parapet, with clay barrel tile coping, shields the rear (south) half of the roof along the south, east, and west elevations. The front (north), cross-gabled, half of the roof which once featured a red composition slate tile roof is now covered in composition shingles with rolled edges with little or no overhang. The façade (north elevation) consists of three bays, each containing a tripartite window grouping. The right (west) bay is capped by a front-facing gable, whose extended west rake tops an arched opening in a wing wall. Centered beneath the front gable is a set of three, multi-light, wood, arched windows of Palladian inspiration. With a fixed center and composed in an A-B-A pattern, the windows are separated by engaged spiral colonnettes. The recessed center bay is fronted by an uncovered patio area, enclosed by a low wall and featuring terracotta tile pavers along the front steps and porch floor. A non-original entry door is oriented perpendicular to the street and is shaded by a fabric awning. North of the entry, a large, stuccoed bracket from which a wrought iron and glass lantern is suspended, extends to the north over the patio wall. Three flat-headed, multi-light, wood, casement windows, also with a fixed center, overlook the patio. The left bay features a shed roof extension of the side gable that terminates at a lower height than the rest of the bays. Tucked beneath the eave line, a third tripartite grouping of wood casement windows, features an arched center window with radiating muntins in the Palladian manner flanked by shorter, eight-light, flat-headed windows.

(See Continuation Sheet 3 of 4.)

*P3b. Resource Attributes: (list attributes and codes) *HP2. Single-family residence*

*P4. Resources Present: Building Structure Object Site District Element of District Other

P5a. Photo



P5b. Photo: (view and date)

January 2021

Front elevation, facing south.

*P6. Date Constructed/Age and

Sources: historic

1923/City of Santa Ana Building Permit

*P7. Owner and Address:

Robert M. and Connie J. Yoakum

520 West Nineteenth Street

Santa Ana, CA 92706

*P8. Recorded by:

Pedro Gomez, Associate Planner

20 Civic Center Plaza M-20

Santa Ana, CA 92702

*P9. Date Recorded:

March 25, 2021

*P10. Survey Type:

Intensive Survey

*P11. Report Citation: (Cite survey report and other sources, or enter "none")

None

*Attachments: None Location Map Sketch Map Continuation Sheet Building, Structure, and Object Record
 Archaeological Record District Record Linear Feature Record Milling Station Record Rock Art Record
 Artifact Record Photograph Record Other (list)

BUILDING, STRUCTURE, AND OBJECT RECORD

*Resource Name or #: *Elwood Bear House*

- B1. Historic Name: *Elwood Bear House*
- B2. Common Name: *Same*
- B3. Original Use: *Single-family residence*
- B4. Present Use: *Single-family Residence*
- *B5. Architectural Style: *Spanish Colonial Revival*
- *B6. Construction History: (Construction date, alterations, and date of alterations): *Constructed March, 1923. \$4,750.*

*July 9, 1943. Reroof by Owen Roof Company. \$75.
 December 27, 1945. Floor furnace by L.O. Crossnickle. \$165.
 June 18, 1954. Private garage (20'x20') by Ivan F. \$700.
 July 19, 1954. Plastering for I. May, owner by Tucker.
 December 6, 2004. T/O existing comp shingles and replace on pitched roof. \$3,686.
 August 16, 2018. Voluntary seismic retrofit. \$3,800.
 August 30, 2018. Repair masonry chimney. \$11,000.*

*B7. Moved? No Yes Unknown Date: _____ Original Location: _____

*B8. Related Features: *Garage.*

B9a. Architect: *Unknown*

b. Builder: *Elwood Bear (owner)*

*B10. Significance: Theme *Residential Architecture* Area *Santa Ana*
 Period of Significance: *1923* Property Type: *Single-family Residence* Applicable Criteria: *C/3*
 (Discuss importance in terms of historical or architectural context as defined by theme, period, and geographic scope. Also address integrity)

The Elwood Bear House is architecturally significant as a characteristic example of the Spanish Colonial Revival style. This house was originally constructed in 1923 and was valued at approximately \$4,750, according to the original building permit. At the time of its construction, the listed property owner was Elwood Hartman Bear, a notable violin soloist both on the East Coast and as an instructor in the City of Santa Ana. Bear arrived in Santa Ana in 1921 from Pennsylvania while under the instruction of both Henry Schradyeck and Frederick Hahn, two of the most noted violinists during that time. Bear instructed students both from his home and from the Santa Ana Conservatory of Music. Prior to coming to Santa Ana, Bear served in the army during World War I, as director of the training camp band at Camp Lee, Virginia. Apparently, Bear initially intended to sell this house, fully furnished. It was featured in a full page advertisement, with a photograph, editorial commentary, and advertisements from all of the building subcontractors in the Santa Ana Register on June 16, 1923 and was open for inspection for eight days. The 1923 photograph substantiates the integrity of the house; only the front door and roof have been replaced and the landscaping has evolved. Despite his intentions, Bear and his wife Cora occupied the house into the early 1940s, according to city directories and voter registration records.

(See Continuation Sheet 3 of 4.)

B11. Additional Resource Attributes: (List attributes and codes) _____

*B12. References:

- City of Santa Ana Building Permits*
- Harris, Cyril M. American Architecture: An Illustrated Encyclopedia. New York, WW Norton, 1998.*
- Santa Ana History Room Collection, Santa Ana Public Library*
- Sanborn Maps*

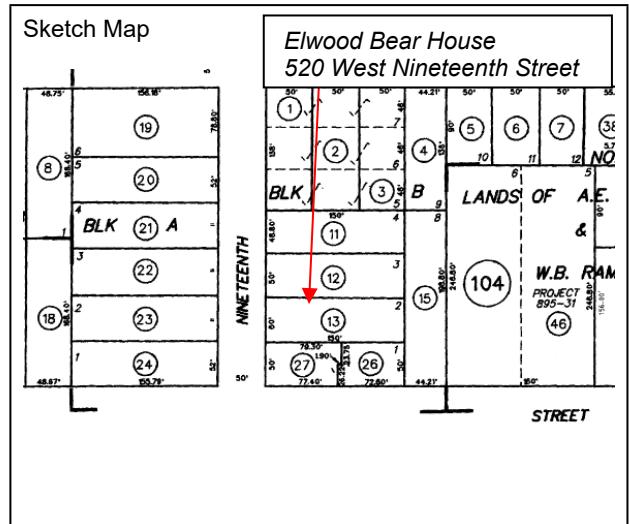
(See Continuation Sheet 3 of 4.)

B13. Remarks:

*B14. Evaluator: *Leslie Heumann, Chattel, Inc.*

*Date of Evaluation: *March 25, 2021*

(This space reserved for official comments.)



***P3a. Description (continued):**

Fenestration along the side (east and west) elevations consists of six-over-six, wood, double-hung windows, and multi-light wood casement windows, some shaded by fabric awnings. A secondary entry on the east elevation faces the driveway and is characterized by a simple wood multi-panel door, also shaded by a fabric awning. A small patio cover is attached to the rear of the residence, but due to their location and design, they do not impact the integrity of the building. There is a one-story detached garage (built in 1954) at the rear of the property that not considered a character-defining feature. The property is generally landscaped with low vegetation, shrubs, and lawn. The property retains a high degree of integrity.

***B10. Significance (continued):**

In 1945, the home was sold to Hans and Lenora Haug. In 1949, the home was sold to Ivan F. and Hazel I. Macy. Mr. Macy worked locally as a laborer and later as a building inspector. Mr. Macy passed in 1968 and Mrs. Hazel resided in the home until 1981. The home was subsequently sold to James R. Trevorrow who resided at the property until 2000 until it was sold to Gary and Susan Weber.

Santa Ana was founded by William Spurgeon in 1869 as a speculative town site on part of the Spanish land grant known as Rancho Santiago de Santa Ana. The civic and commercial core of the community was centered around the intersection of Main and Fourth Streets. Stimulated by the arrival of the Santa Fe Railroad and incorporation as a city in 1886, and selection as the seat of the newly created County of Orange in 1889, the city grew outwards, with residential neighborhoods developing to the north, south, and east of the city center. Agricultural uses predominated in the outlying areas, with cultivated fields and orchards dotted with widely scattered farmhouses.

The Elwood Bear House is located in Floral Park, a neighborhood northwest of downtown Santa Ana bounded by West Seventeenth Street, North Flower Street, Riverside Drive, and Broadway. Groves of oranges, avocados, and walnuts and widely scattered ranch houses characterized this area before 1920. Developer and builder Allison Honer (1897-1981), credited as the subdivider and builder of a major portion of northwest Santa Ana, arrived in Santa Ana from Beaver Falls, New York in 1922 (Talbert, pages 353-356). "Before nightfall on the day of his arrival, Mr. Honer purchased a parcel of land. And that month, he began building custom homes in Santa Ana" (Orange County Register, September 15, 1981). The parcel chosen became the Floral Park subdivision between Seventeenth Street and Santiago Creek. "When built in the 1920s, the Floral Park homes were the most lavish and expensive in the area. They sold for about \$45,000 each" (Orange County Register, September 15, 1981). Revival architecture in a wide variety of romantic styles was celebrated in the 1920s and 1930s and Floral Park showcased examples of the English Tudor, French Norman, Spanish Colonial, and Colonial Revival. The Allison Honer Construction Company went on to complete such notable projects as the 1935 Art Deco styled Old Santa Ana City Hall, the El Toro Marine Base during World War II, and the 1960 Honer Shopping Plaza. Honer lived in the neighborhood he had helped to create, at 615 West Santa Clara Avenue.

In the late 1920s and 1930s, another builder, Roy Roscoe Russell (1881-1965), continued developing the groves of Floral Park. An early Russell project was his 1928 subdivision of Victoria Drive between West Nineteenth Street and West Santa Clara Avenue. The homes were quite grand and displayed various revival styles, including Russell's own large, Colonial Revival mansion at 2009 Victoria Drive. In the early post World War II years, Floral Park continued its development as numerous, smaller, single-family houses were built. Continuing in the Floral Park tradition, they were mostly revival in style. In the 1950s, low, horizontal Ranch Style houses completed the growth of Floral Park. Today (2021) Floral Park maintains its identity as the premier neighborhood of Santa Ana, historically home to many affluent and prominent citizens.

The Elwood Bear House qualifies for listing in the Santa Ana Register of Historical Properties under Criterion 1, as a very intact and well-documented example of a Spanish Colonial Revival bungalow in Santa Ana. It appears very much as it was pictured in a Santa Ana Register advertisement published on June 16, 1923. Additionally, the house has been categorized as "Key" because it has a "distinctive architectural style and quality" as an example of the Spanish Colonial Revival style in Santa Ana, exhibiting distinctive features such as the Palladian-influenced treatments of the façade windows, unusual shingled tile roof, and front patio enclosure. Character-defining features of the Elwood Bear House that should be preserved include, but may not be limited to: materials and finishes (stucco); unusual shingled tile roof configuration, materials, and treatment (clay barrel tile coping and rolled edges); massing and composition; Palladian-influenced treatments of the façade windows; fenestration; front patio enclosure (waist high wall and terracotta tile pavers); and original exterior lighting and lighting bracket.

***B12. References (continued):**

- Harris, Cyril M. American Architecture: An Illustrated Encyclopedia. New York, WW Norton, 1998.
Marsh, Diann. Santa Ana, An Illustrated History. Encinitas, Heritage Publishing, 1994.
McAlester, Virginia and Lee. A Field Guide to American Houses. New York: Alfred A. Knopf, 1984.*

State of California — The Resources Agency
DEPARTMENT OF PARKS AND RECREATION
CONTINUATION SHEET

Primary # _____
HRI # _____
Trinomial _____

Page 4 of 4

Resource Name: *Elwood Bear House*

*Recorded by *Pedro Gomez*

*Date *March 25, 2021* Continuation Update

National Register Bulletin 16A. "How to Complete the National Register Registration Form." Washington DC: National Register Branch, National Park Service, US Dept. of the Interior, 1991.

Office of Historic Preservation. "Instructions for Recording Historical Resources." Sacramento: March 1995.

Whiffen, Marcus. American Architecture Since 1780. Cambridge: MIT Press, 1969.

Santa Ana and Orange County Directories, 1905-2017.

Ancestry.com

Newspapers.com (Santa Ana Register)

"Elwood H. Bear is a Talented Violinist." Santa Ana Register, 22 September 1922.

"Elwood Bear's Smart Spanish House Open for Inspection Tomorrow." Santa Ana Register, 16 June 1923.

"Mr. Elwood Bear, Teacher of Violin." Display Ad. Santa Ana Register, 28 September 1923.

Exhibit C

Exterior work shall be reviewed by the Historic Resources Commission and subject to the U.S. Secretary of the Interior's Standards for Rehabilitation of Historic Buildings, as follows:

1. Every reasonable effort shall be made to provide a compatible use for a property which requires minimal alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.
2. The distinguishing original qualities or character of a building, structure or site and its environment shall not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.
3. All buildings, structures, and sites shall be recognized as products of their own time. Alterations that have no historical basis and which seek to create an earlier appearance shall be discouraged.
4. Changes which may have taken place in the course of time are evidence of the history and development of a building, structure, or site and its environment. These changes may have acquired significance in their own right, and this significance shall be recognized and respected.
5. Distinctive stylistic features or examples of skilled craftsmanship which characterize a building, structure, or site shall be treated with sensitivity.
6. Deteriorated architectural features shall be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in composition, design, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplications of features, substantiated by historic, physical, or pictorial evidence rather than on conjectural designs or the availability of different architectural elements from the other buildings or structures.
7. The surface cleaning of structures shall be undertaken with the gentlest means possible. Sandblasting and other cleaning methods that will damage the historic building materials shall not be undertaken.
8. Every reasonable effort shall be made to protect and reserve archaeological resources affected by, or adjacent to any project.
9. Contemporary design for alterations and additions to existing properties shall not be discouraged when such alterations and additions do not destroy significant historical, architectural or cultural material, and such design is compatible with

size, scale, color, material and character of the property, neighborhood, or environment.

10. Wherever possible, new additions or alterations to structures shall be done in such a manner that if such additions or alterations need to be removed in the future, the essential form and integrity of the structure would be unimpaired.

